



ABE JAYSON
Architect
Principal-in-Charge





KATIE STUART

Architect

Associate, Project Manager





YOLANDE WILBURN
Librarian

Library Director





BONNIE LIPSCOMB

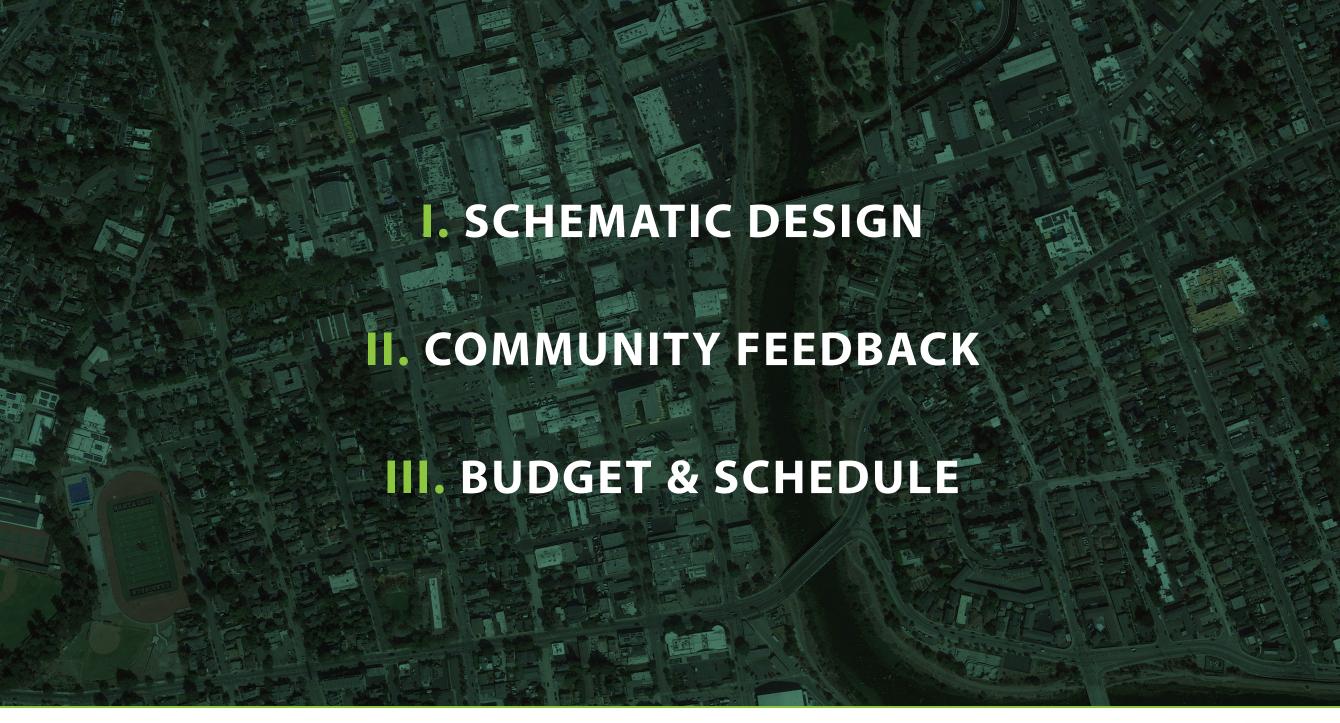
Executive Director









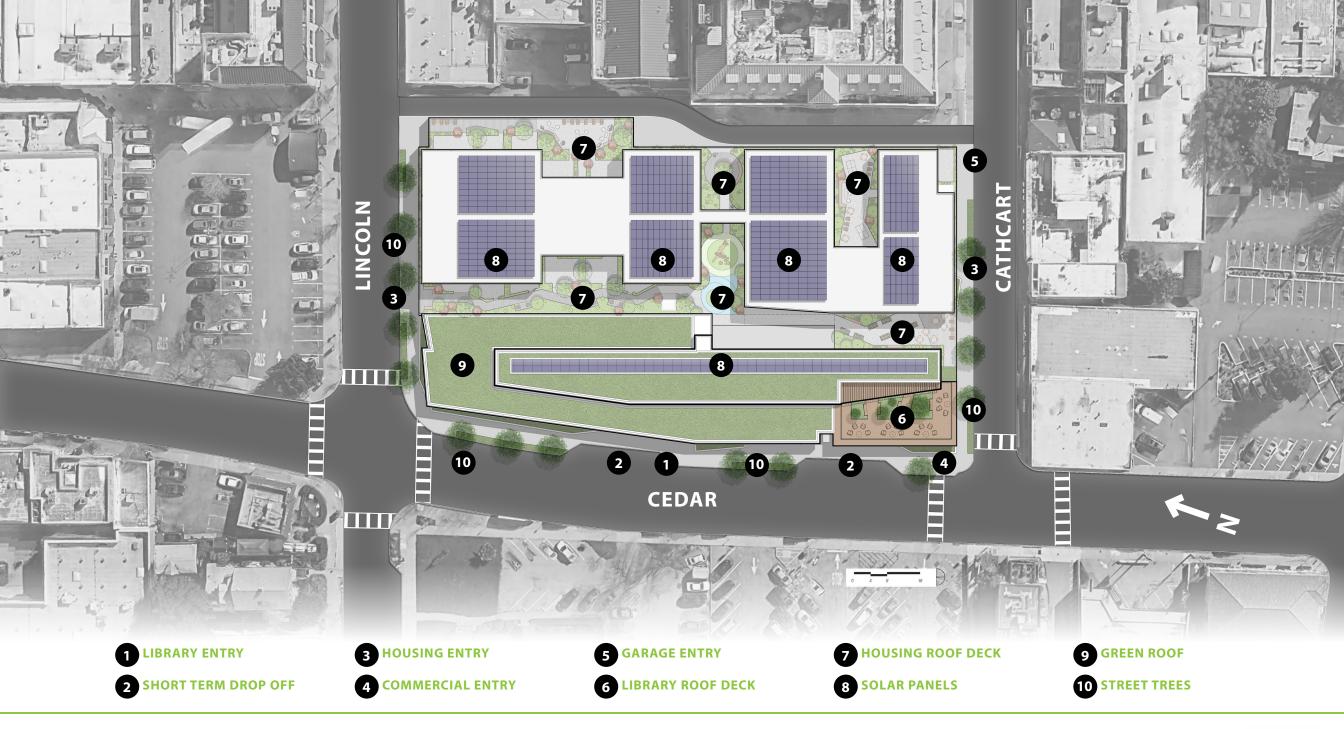












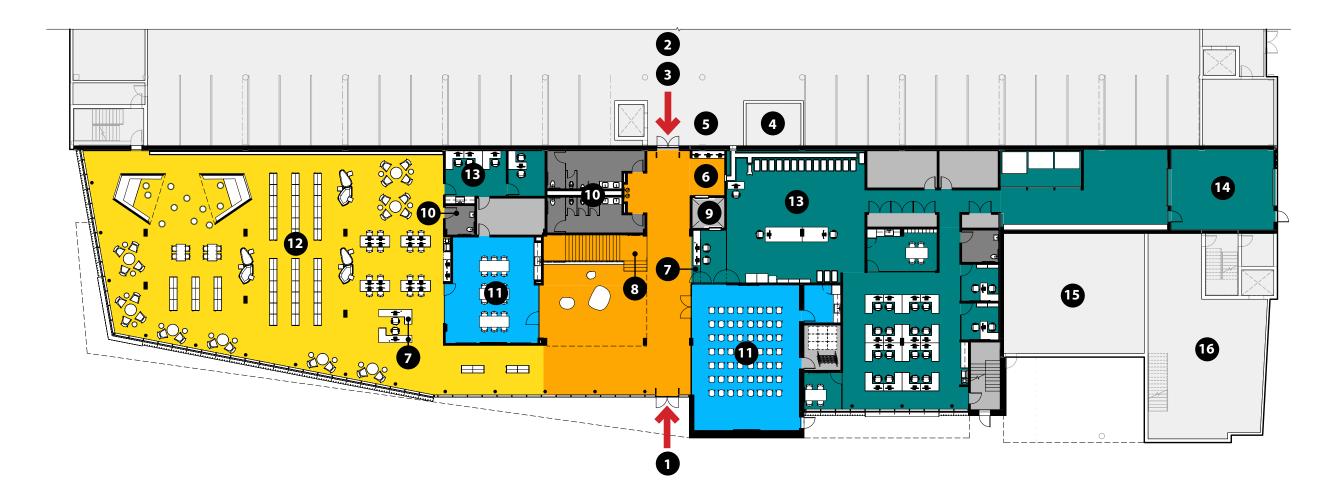








SITE PLAN





4 SECURE BIKE PARKING

PUBLIC PARKING GARAGE

- **5** AFTER HOURS BOOK DROP
- 6 BOOK RETURN/ SELF CHECK
- 7 INFO DESKS **PARKING GARAGE ENTRY**
 - 8 MAIN STAIR

- 9 **ELEVATOR**
- 10 RESTROOMS
- 11 MEETING ROOM
- 12 CHILDREN'S COLLECTION

- 13 STAFF
- **14 LOADING DOCK**
- 15 DAYCARE
- 16 COMMERCIAL

CHILDREN'S/TEEN'S











RESTROOM

STAFF







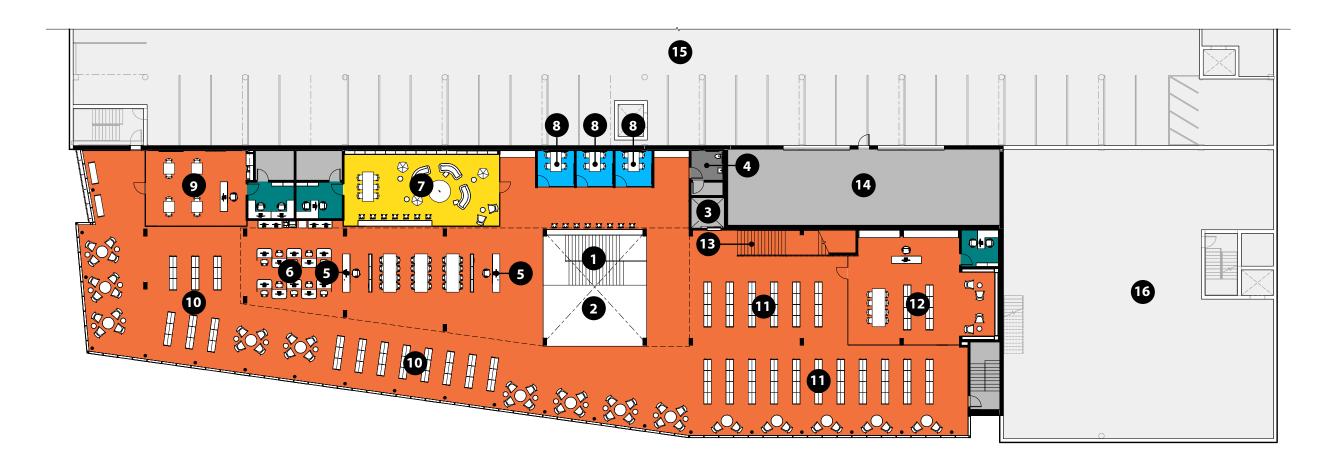














- **OPEN TO BELOW**
- **ELEVATOR**
- 4 RESTROOM

- 5 INFO DESKS
- 6 COMPUTER/TECHNOLOGY
- 7 TEEN
- **8 GROUP STUDY ROOMS**

- 9 LIFE LITERACIES
- 10 FICTION
- 11 NON-FICTION
- 12 GENEALOGY / LOCAL HISTORY

- **13** STAIR TO MEZZANINE
- **MECHANICAL**
- 15 PARKING
- 16 COMMERCIAL

CHILDREN'S/TEEN'S











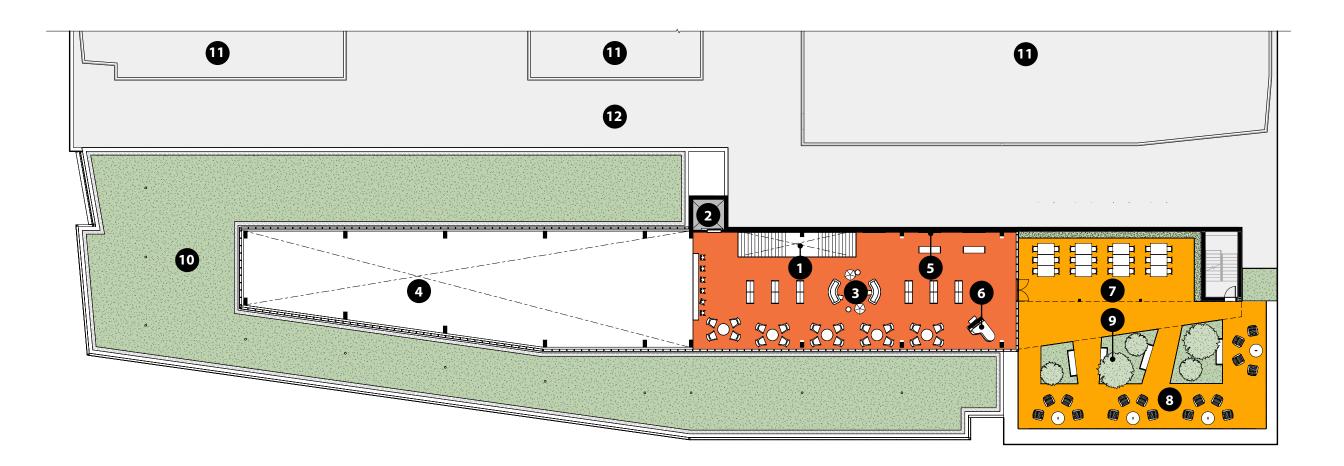














4. OPEN TO BELOW

10 GREEN ROOF

CHILDREN'S/TEEN'S ADULT'S



5 ART GALLERY

11 RESIDENTIAL



3 MEZZANINE

6 PIANO

9 TREES

7 SHADED LIBRARY DECK

8 SUNNY LIBRARY DECK

12 RESIDENTIAL ROOF DECK

PUBLIC/ LOBBY





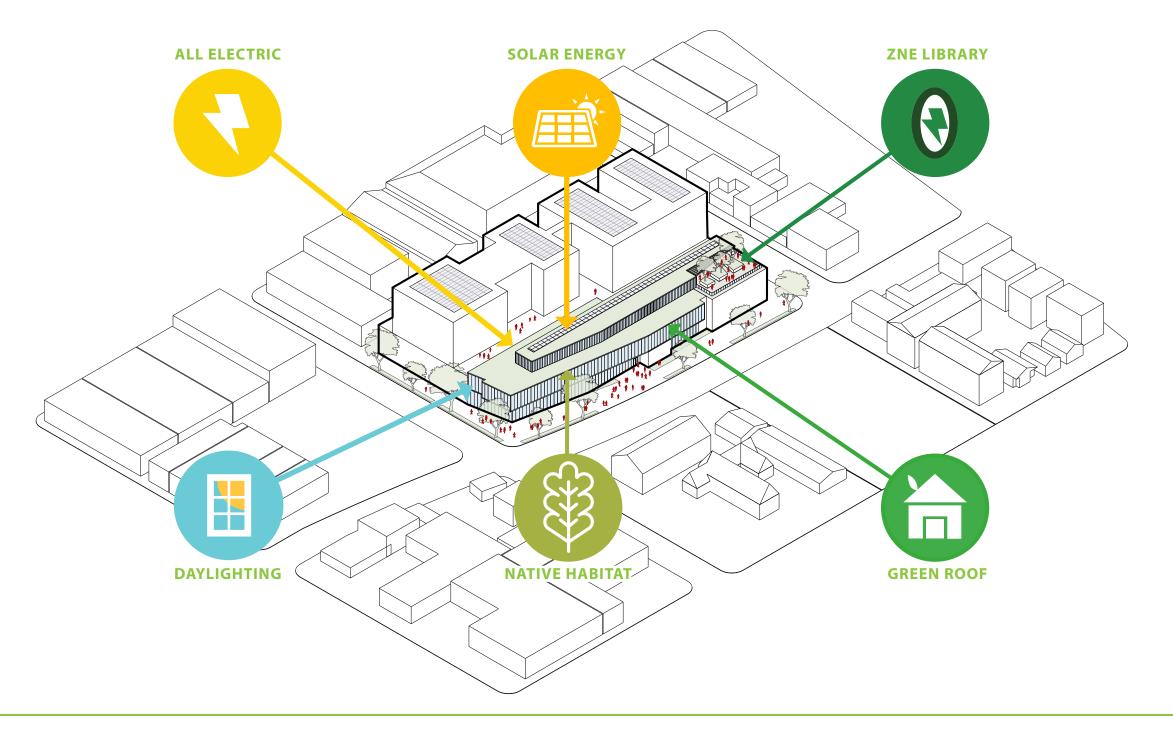










































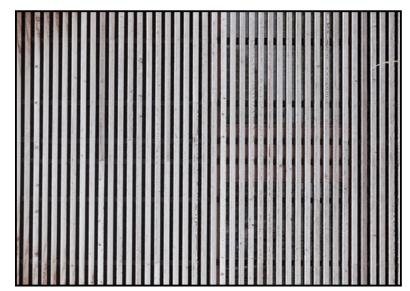


























CEDAR & LINCOLN VIEW































































































































PROJECT SOURCES

Measure S Library Funding \$25,500,0		
Building Forward California State Library Grant	\$10,000,000	2
Friends of Santa Cruz Library FF&E	\$2,000,000	
Total	\$37,500,000	
Base Gap	(\$2,485,881)	
Base + Alts Gap	(\$5,073,876)	
GAP SOURCES ⁵		
AHSC, IIG, EPIC	\$5-10M	

PROJECT USES

Total Base + Alts	\$42,573,876
Alts	\$2,587,995
Total Base Cost	\$39,985,881 3
Soft Costs	\$7,671,784
Total Hard Costs	\$32,314,097
TIs	\$24,014,097
Shell and Core	\$8,300,000

- 1 Measure S Funding may increase after project close outs for the Branciforte and Garfield branches
- 2 Grant submitted, pending approval
- 3 Base Cost Includes FF&E
- 4 Alts include Roof Deck Patio TIs and Zero Net Energy/PV System
- 5 Gap Strategies beyond grants above include additional fundraising for alts (roof deck TIs, PVs), value engineering and/or decreasing library size from 38K+ to 35K







CLOSEST "APPLES TO APPLES"

	Renovation 2019 Study	Renovation Escalated/Temp	Mixed Use Project	Mixed Use Project	Comparable Ground-Up
	(Base + Alts)	(Base + Alts)**	(Base)	(Base + Alts)***	Projects ROM
1. Square Footage	30,230	30,230	38,086	38,086	38,086
2. Construction Hard Costs	\$23,094,000 *	\$25,724,840	\$24,014,097	\$26,366,820	\$50,463,950
3. Soft Cost %	49%*	49%	32%	30%	40%
4. Soft Costs	\$11,201,260 *	\$12,476,547	\$7,671,784	\$7,907,056	\$20,185,580
5. Construction Hard + Soft Costs	\$34,295,260 *	\$38,202,133	\$31,685,881	\$34,273,876	\$70,649,530
6. Temp Library Costs	Not Included *	\$2,103,750	Not Required	Not Required	Not Required
7. Core & Shell Costs	Included *	Included	\$8,300,000	\$8,300,000	Included
8. Total Project Cost	\$34,295,260*	\$40,305,883 †	\$39,985,881	\$42,573,876	\$70,649,530 †
9. Cost per SF, Project	\$1,134*	\$1,333	\$1,050	\$1,118	\$1,855

^{*} RENOVATION NUMBERS DO NOT CAPTURE COST FOR ESCALATION & TEMPORARY LIBRARY







^{**} RENOVATION ALTS: CEILINGS, ACOUSTICS, PLANTING, INTERIOR & EXTERIOR FINISH IMPROVEMENTS

^{***} MIXED USE ALTS: ZERO NET ENERGY & ROOF DECK PATIO

[†] DOEST NOT INCLUDE +/- \$2 MILLION ENCUMBERED MIXED USE PROJECT COSTS THROUGH 2022

