

831 WATER ST.

831 Water St, Santa Cruz, CA

09/11/24



**APPENDIX A
STORM WATER AND LOW-IMPACT DEVELOPMENT BMP REQUIREMENT WORKSHEET**

How to Use This Worksheet

The City's Storm Water BMP requirements are based on project type, proposed impervious area, and location within the watershed. This worksheet was developed to help permit applicants determine and meet storm water BMP requirements applicable to a proposed development or redevelopment.

- 1 - Download this fillable form online at www.cityofsantacruz.com/LID
- 2 - Fill out the Worksheet to determine what stormwater BMP requirements apply to a proposed project.
- 3 - Attach Worksheet and additional documentation required as listed in the City Storm Water Best Management Practices for Private and Public Development Projects to plans for review by the Department of Public Works
- 4 - Please contact the Public Works Environmental Project Analyst at 420-5160 if you have any questions on completing the worksheet.

Project Address: **831 Water Street, Santa Cruz** Bldg Permit #: **TBD**

A - Project Type

Check project type that applies:

- Single Family Home Multi-family, Commercial, Industrial, Public facilities

Check development type that applies:

- New Development Redevelopment / Remodel

B - Proposed Development Area and Impervious Area:

Pre-project impervious surface area: 39,659 sq ft
 Post-project impervious surface area: 33,921 sq ft
 Amount of impervious surface area that will be replaced: 33,921 sq ft
 Amount of new impervious surface area that will be created: 0 sq ft
 Reduced Impervious Area Credit: 5738 sq ft

New and Replaced Impervious Area = 33921 sq ft

Net Impervious Area = 28183 sq ft

(Net Impervious Area = Impervious Area created + Impervious Area replaced - Reduced Impervious Area Credit)

C - Post-Construction BMP Tier requirement:

Check Project Type and Impervious Area (from calculations above) that applies.
BMP requirements are cumulative (e.g. a project subject to BMP Tier 3 is also subject to Tiers 1 and 2), permit review fees are not cumulative.
 Projects requiring a Stormwater Control Plan will need to involve a civil engineer.

SINGLE-FAMILY HOMES	BMP TIER	Permit Review Fee	Stormwater Control Plan required?
<input type="checkbox"/> Single-family Home with Net Impervious Area < 15,000 sf, please consult Chapter 6A, BMPs for Single-Family Homes on Small Lots	N/A	\$0	No
<input type="checkbox"/> Net Impervious Area ≥ 15,000 sf; New and replaced impervious area < 22,500 sf	3	\$330	Yes
<input type="checkbox"/> New and replaced impervious area ≥ 22,500 sf	4	\$550	Yes
MULTI-FAMILY, COMMERCIAL, INDUSTRIAL, PUBLIC FACILITIES	BMP TIER	Permit Review Fee	Stormwater Control Plan Required?
<input type="checkbox"/> New and Replaced Impervious Area ≥ 2,500 sf; Net Impervious Area < 5,000 sf	1	\$0	No
<input type="checkbox"/> Net Impervious Area ≥ 5,000 sf; New and Replaced Impervious Area < 15,000 sf	2	\$330	Yes
<input type="checkbox"/> New and Replaced Impervious Area ≥ 15,000 sf but < 22,500 sf	3	\$550	Yes
<input checked="" type="checkbox"/> New and replaced impervious area ≥ 22,500 sf	4	\$550	Yes

If the proposed project is only subject to BMP Tiers 1 or 2, skip to Step F.

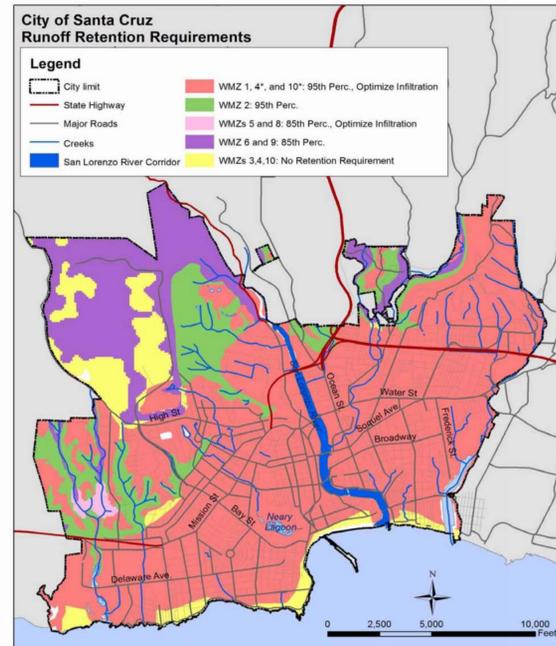
D - Watershed Management Zones - For projects subject to Tiers 3 Post-Construction BMP requirements only.

Watershed Management Zones are viewable online on the City of Santa Cruz GIS website at: <http://gis.cityofsantacruz.com/gis/index.html>

Watershed Management Zones and associated Tier 3 (Runoff Retention) Post-Construction BMP requirements

If Tier 3 BMP requirements are applicable to the project, check the watershed management zone area where the project is located.

- WMZ 1, and portions of 4, and 10 overlying groundwater basin WMZ 2
 WMZ 5 and 8 WMZ 6 and 9
 WMZ 3, 4 and 10



E - Special Circumstances - For projects subject to Tiers 3 and 4 Post-Construction BMP requirements only.

Check if special circumstance applies to the project

- Highly Altered Channel and Intermediate Flow Control Facility Urban Sustainability Area

F - Additional Stormwater BMP Requirements for Multi-family, Commercial and Industrial projects

Check if additional BMP requirements apply to the project

- a) State Construction Activities Storm Water General Permit
 Construction activity resulting in land disturbance of one acre or more, or part of a larger common plan of development
- b) Additional Source Control BMP requirements for specific facilities
- | | |
|--|--|
| <input type="checkbox"/> Commercial or industrial facility | <input checked="" type="checkbox"/> Parking areas |
| <input type="checkbox"/> Material Storage Areas | <input type="checkbox"/> Pools, spas and other water features |
| <input type="checkbox"/> Vehicle fueling, maintenance and wash areas | <input checked="" type="checkbox"/> Trash Storage Areas |
| <input type="checkbox"/> Equipment and accessory wash areas | <input type="checkbox"/> Restaurants and food processing or manufacturing facilities |
| <input checked="" type="checkbox"/> Interior and parking garage floor drains | <input type="checkbox"/> Miscellaneous drain or wash water |

G - Complete if your project is only subject to Tier 1 Requirements - Site planning and LID design measures.

LID design measures shall be clearly marked on site plans

Check applicable boxes and provide short description of measure and location

- Conserve natural areas, riparian areas and wetlands
 Description: _____
- Concentrate improvements on the least-sensitive portions of the site and minimize grading
 Description: _____
- Direct roof runoff into cisterns or rain barrels
 Description: _____
- Direct roof downspouts to landscaped areas or rain gardens
 Description: _____
- Use pervious pavement (pervious concrete or asphalt, turf block, crushed aggregate, etc.)
 Description: _____
- Disperse runoff from paved areas to adjacent pervious areas
 Description: _____

C-C Community Commercial (Part 8 - 24.10.700)

Standard	Reference	Requirement		
Height	24.10.750.1.a		3	stories
Setbacks	24.10.750.1.c	Front	40	feet
		Streetside	0	feet
		Interior Side	20	feet*
		Rear	0	feet
*20 feet required where C-C abuts any residential district				
Open Space	24.10.750.1.d	Private	100	sf per unit
		Common	150	sf per unit

MXHD Mixed-Use High Density (2030 General Plan Chapter 4)

Standard	Reference	Requirement		
FAR			1.75	max. as of right
DU/AC			55 du/ac	max.
Max density exception	LU 3.8		SRO units	
			SOU	

Lot Size	39,659 SF	0.91	acres
Base FAR	1.75		
Max Base GSF	69,403 SF		
Proposed Total GSF	92,057 SF		
Proposed Residential GSF	87,830 SF		
Proposed FAR	2.32		
Proposed # of Units	140 units		
GSF / Building Area	628 SF		
Base Unit Count	109 units		

100% affordable housing unlimited density*
*the development is located within one-half mile of public transit

OPEN SPACE (Part 8 - 24.10.750)

BASE CASE		Required	Provided
Common Open Space	150 SF/unit	16,350 SF	17,000 SF
Private Open Space	100 SF/unit	10,900 SF	11,000 SF
Total		27,250 SF	28,000 SF
PROPOSED			
Common Open Space	150 SF/unit	21,000 SF	10,431 SF
Private Open Space	100 SF/unit	14,000 SF	3,411 SF
Total		35,000 SF	13,842 SF



BASE PROJECT Ground Floor Program



BASE PROJECT Residential Program



PROPOSED PROJECT Ground Floor Program



PROPOSED PROJECT Residential Program

BASE
 LOT SIZE 39,659

Building A

	Ground		Lev 2		Lev 3		
	NSF	GSF	NSF	GSF	NSF	GSF	
Studio			399	499	399	499	
			399	499	399	499	
1BR	467	613	461	576	461	576	
	457	600	457	571	457	571	
	448	588	448	560	448	560	
	457	600	457	571	457	571	
	456	599	457	571	457	571	
			457	571	457	571	
			497	621	497	621	
			408	510	408	510	
			450	563	450	563	
			450	563	450	563	
			430	538	430	538	
			430	538	430	538	
			430	538	430	538	
			430	538	430	538	
		423	529	423	529		
2BR	748	982	650	813	650	813	
	748	982	647	809	647	809	
	748	982	647	809	647	809	
3BR	748	982	1169	1,461	1169	1,461	
UNIT COUNT	9		21		21		TOTAL 51
TOTAL RES. GSF		6,930 gsf		13,245 gsf		13,245 gsf	
FLOOR PLATE GSF		11,942 gsf		13,245 gsf		13,245 gsf	
		OVERALL RESIDENTIAL GSF				33,420 gsf	
		NON-RESIDENTIAL GSF			Live/work Retail	2,482 gsf 2,530	
		GRAND TOTAL GSF				38,432 gsf	

Building B

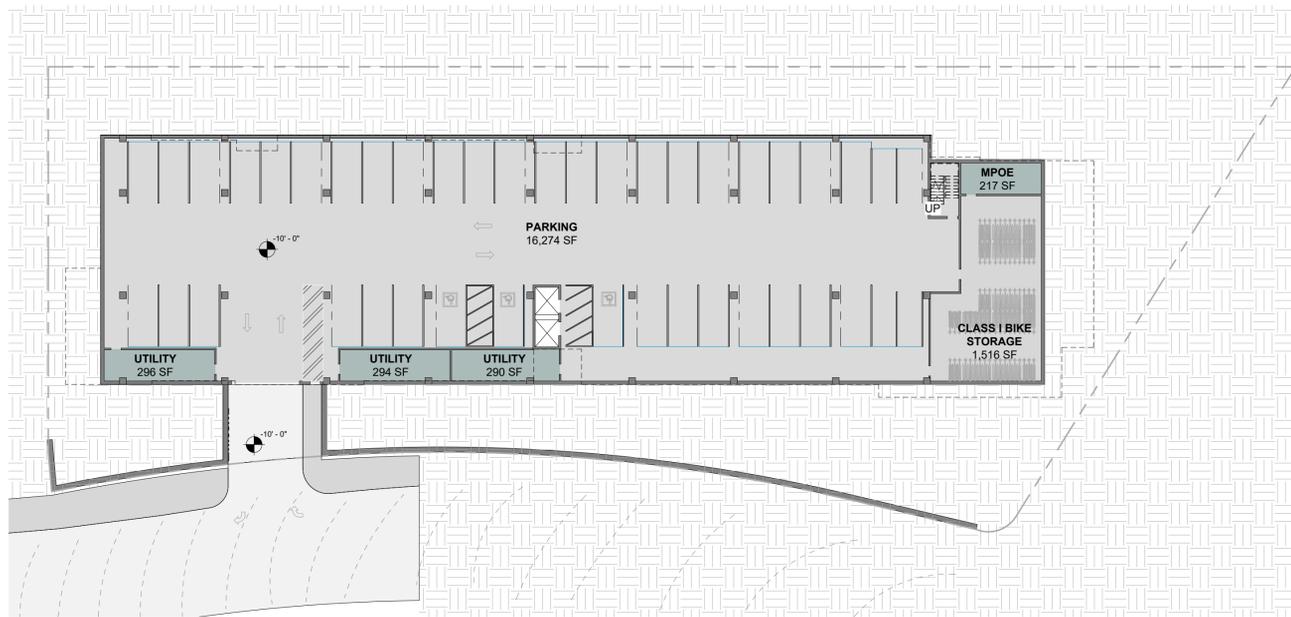
	Ground		Lev 2		Lev 3		
	NSF	GSF	NSF	GSF	NSF	GSF	
Studio	345	454	345	431	345	431	
	342	450	386	483	386	483	
	386	508	386	483	386	483	
	342	450	386	483	386	483	
	386	508	386	483	386	483	
	383	504	386	483	386	483	
	386	508	386	483	386	483	
	342	450	386	483	386	483	
	386	508	386	483	386	483	
	342	450	386	483	386	483	
	386	508	386	483	386	483	
	386	508	386	483	386	483	
	386	508	386	483	386	483	
	386	508	386	483	386	483	
	386	508	386	483	386	483	
	386	508	386	483	386	483	
	1BR	423	557	438	548	438	548
423		557	494	618	494	618	
2BR	748	984	716	895	716	895	
UNIT COUNT	16		21		21		TOTAL UNITS 58
TOTAL RES. GSF		8,411 gsf		10,580 gsf		10,580 gsf	
FLOOR PLATE GSF		9,811 gsf		10,580 gsf		10,580 gsf	
		OVERALL RESIDENTIAL GSF				29,571 gsf	
		NON-RESIDENTIAL GSF				1,400 gsf	
		GRAND TOTAL GSF				30,971 gsf	
		PROJECT GRAND TOTAL GSF				69,402 gsf	109 units
						1.75 FAR	



DENSITY BONUS CALCULATIONS - BASE

831 WATER ST. - 09/11/24

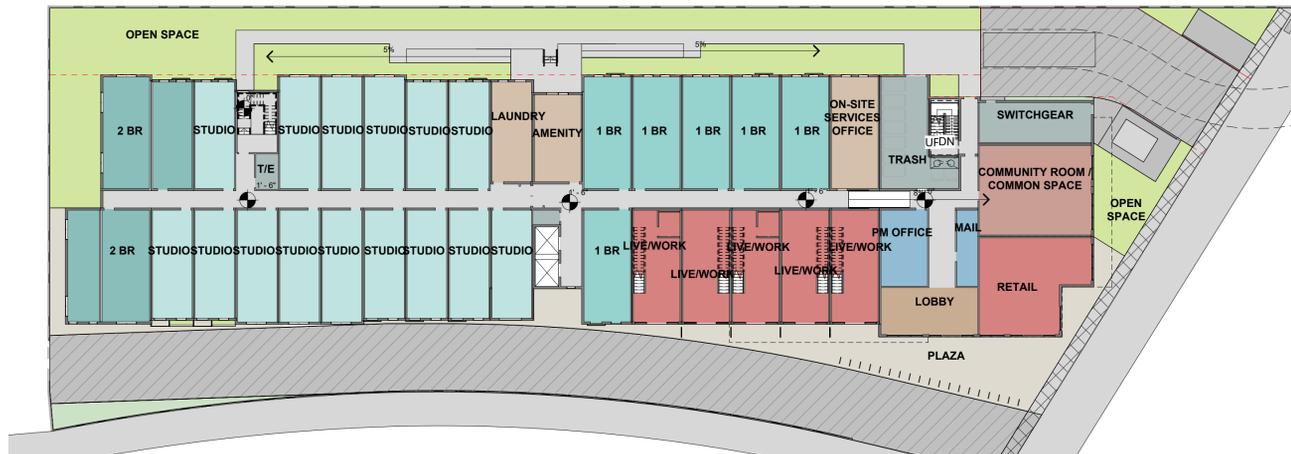
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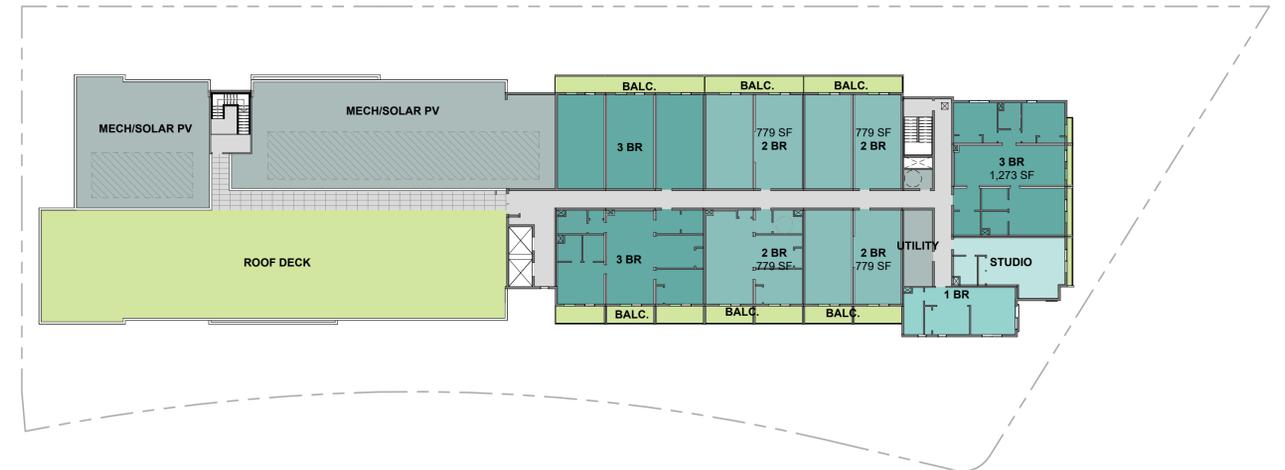
PROPOSED PROJECT Basement Level Parking



PROPOSED PROJECT Levels 3 & 4 Program



PROPOSED PROJECT Ground Floor Program



PROPOSED PROJECT Level 5 Program

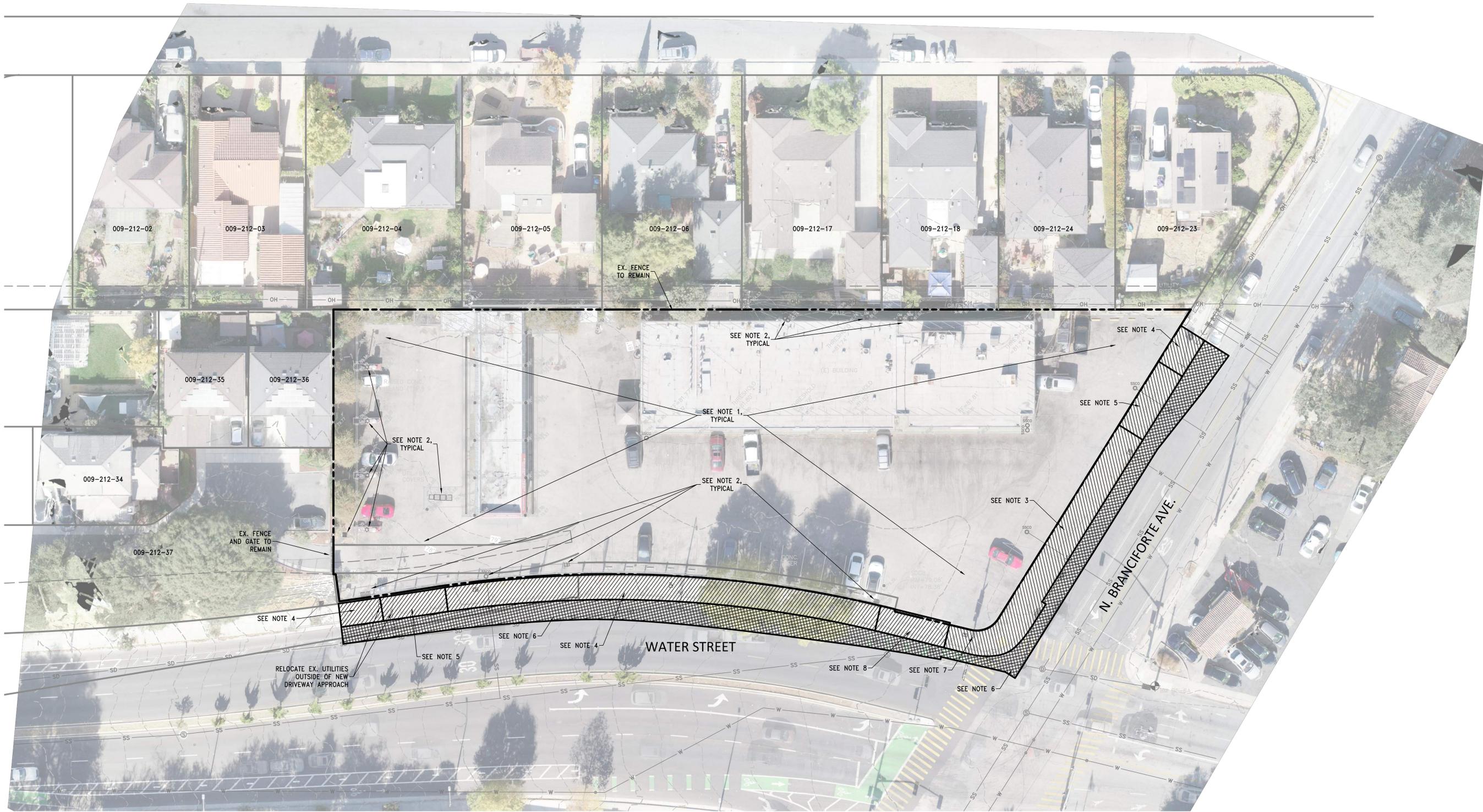


PROPOSED PROJECT Level 2 Program

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- RESIDENTIAL LOBBY
- AMENITY
- COMMUNITY
- OFFICE
- RETAIL
- PUBLIC SPACE
- OPEN SPACE
- UTILITY
- CIRCULATION

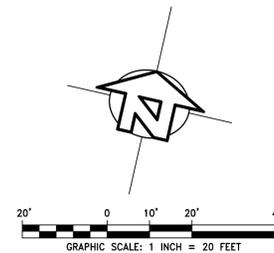


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NOTES:

1. ALL SITE IMPROVEMENTS AND STRUCTURES WITHIN THE PROPERTY BOUNDARIES ARE TO BE DEMOLISHED.
2. ON-SITE UTILITIES NOT SERVING ADJACENT PARCELS ARE TO BE REMOVED.
3. EXISTING DRIVEWAY APPROACH, CURB, GUTTER, AND SIDEWALK ON N. BRANCIORTE AVE TO BE REMOVED TO ACCOMMODATE RIGHT TURN LANE. NEW CURB, GUTTER, AND SIDEWALK TO BE CONSTRUCTED PER CITY STANDARDS.
4. EXISTING CURB, GUTTER, AND SIDEWALK TO BE REMOVED AND REPLACED PER CITY STANDARDS. EXISTING STREET TREES TO REMAIN.
5. NEW DRIVEWAY APPROACH WITH WRAPAROUND SIDEWALKS SHALL BE CONSTRUCTED PER CITY STANDARDS.
6. SAWCUT EXISTING AC. SAWCUT SHALL BE ON PROPOSED WHITE LINE. WHERE SAWCUT INTERSECTS BIKE LANE, SAWCUT SHALL BE PERPENDICULAR TO PATH OF TRAVEL. REPLACE DISTURBED BIKE LANE STRIPING ON WATER ST IN KIND. EXISTING BIKE LANE CHANNELIZERS ON WATER ST TO BE REMOVED.
7. EXISTING LIGHT POLE TO BE RELOCATED. NEW LIGHT POLE TO BE INSTALLED FOR SIGNAL ON SOUTHBOUND BRANCIORTE.
8. EXISTING DRIVEWAY APPROACH ON WATER ST TO BE REMOVED AND REPLACED WITH SIDEWALK, ROLLED CURB, AND GUTTER PER CITY STANDARDS FOR FIRE TRUCK EGRESS.



SCHEMATIC

DEMOLITION PLAN

831 WATER STREET DEVELOPMENT

SANTA CRUZ, CALIFORNIA

NOT FOR CONSTRUCTION

DATE	09/11/2024	DESIGN	MJR	DRAWN	STAFF
APN	009-212-30, 31, & 38	SCHEMATIC DESIGN			

SHEET	C1.0
JOB NO.	20035

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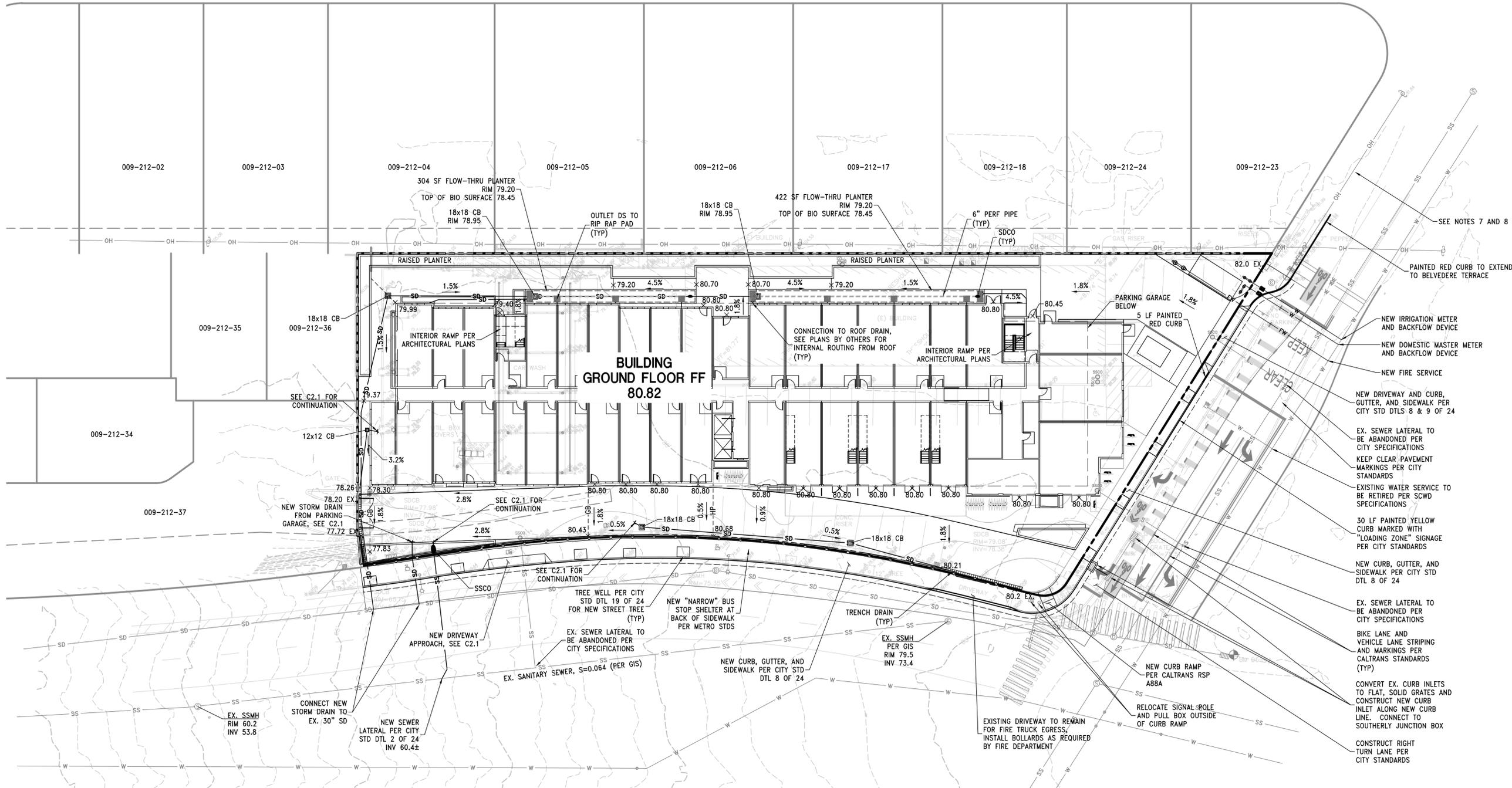
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BY	REVISION	DATE

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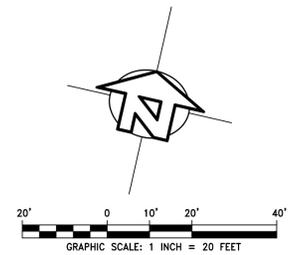


ESTIMATED EARTHWORK QUANTITIES	
17,800	CUBIC YARDS CUT
0	CUBIC YARDS FILL
17,800	CUBIC YARDS EXPORT

NOTES:

- ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
- ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.

- NOTES:**
- SCHEMATIC SITE PLAN PROVIDED BY LOWNEY ARCHITECTS.
 - SEE SHEET C4.0 FOR DESCRIPTION OF ON-SITE DRAINAGE IMPROVEMENTS.
 - SIZING OF NEW UTILITIES SERVICES WILL BE DETERMINED DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS. INFORMATION SHOWN HEREON IS FOR CONCEPTUAL PURPOSES ONLY AND SUBJECT TO CHANGE.
 - GRADING INFORMATION SHOWN HEREON IS SCHEMATIC, INTENDED TO COMMUNICATE GENERAL DESIGN INTENT ONLY, AND IS SUBJECT TO CHANGE.
 - BUILDING SHALL HAVE INTERNAL RAMPS AS NEEDED TO PROVIDE EXITING AT BACKS OF SIDEWALKS THAT MAY VARY IN ELEVATION.
 - NARROW BUS SHELTER TO BE INSTALLED AT EXISTING BUS STOP ON WATER STREET PER SANTA CRUZ METRO STANDARDS.
 - REMOVE ALL EXISTING "NO PARKING VEHICLES OVER 6 FEET HIGH" SIGNS BETWEEN BELVEDERE TERRACE AND WATER STREET, AND REPLACE WITH "NO PARKING ANY TIME" SIGNS.
 - REMOVE ANY VEGETATION WITHIN THE RIGHT-OF-WAY TALLER THAN 3 FEET AND REPLACE WITH LOW GROUND COVER (FROM PROPOSED DRIVEWAY APPROACH NORTHWARD TO BELVEDERE TERRACE).



NOT FOR CONSTRUCTION

SCHEMATIC
GRADING, DRAINAGE & UTILITY PLAN
831 WATER STREET DEVELOPMENT

APN 009-212-30, 31, & 38
SCHEMATIC DESIGN
DATE 09/11/2024
DESIGN MUR
DRAWN STAFF

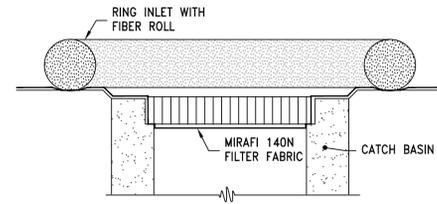
SHEET
C2.0

JOB NO. 20035

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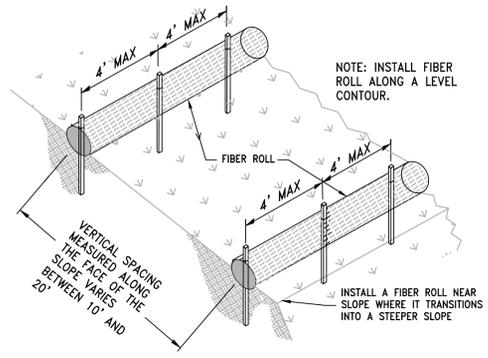


INSPECTION AND MAINTENANCE:

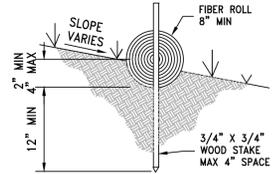
1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

CATCH BASIN PROTECTION
NTS

2



TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

FIBER ROLLS PART 1
NTS

CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

FIBER ROLLS PART 2
NTS

SLOPE INSTALLATION TABLE	
SLOPE	MAX FIBER ROLL SPACING (FT)
4:1 (OR FLATTER)	20
4:1 TO 2:1	15
GREATER THAN 2:1	10

1

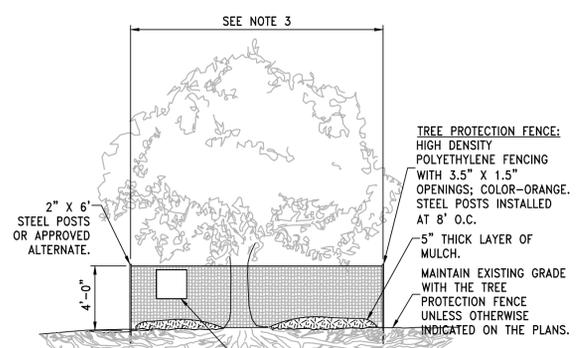
EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 1ST AND APRIL 30TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
3. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
4. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 1ST AND APRIL 30TH, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
5. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
6. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION REQUIRED BY SECTION 16.19-140 SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 1ST AND APRIL 30TH. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
10. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
11. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
12. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE SPILL RESPONSE REQUIREMENTS SPECIFIED IN THE SWPPP DOCUMENT AND THE CONTRACTORS O&M STANDARDS.
13. CONTRACTOR SHALL OFF-HAUL DIRT IMMEDIATELY AFTER EXCAVATION, STOCKPILING OF DIRT NOT ALLOWED.

NOT FOR CONSTRUCTION

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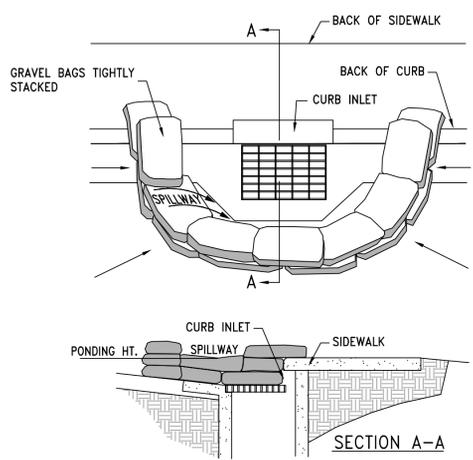
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- NOTES:**
1. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 2. ARBORIST SHALL INSPECT THE TREE PROTECTION PRIOR TO START OF WORK.
 3. IF NOT POSSIBLE TO INSTALL FENCING IN CLOSE PROXIMITY TO THE DRIP LINE OF TREE CONSIDERING CONSTRUCTION ACTIVITY, THEN THE FENCING SHOULD BE PLACED AS CLOSE AS POSSIBLE TO CONSTRUCTION PERIMETER TO LIMIT ROOT COMPACTION.
 4. SEE PLANS FOR FENCE ALIGNMENT.
 5. ANY REQUIRED ADJUSTMENTS TO THE PROTECTION FENCING MUST BE APPROVED BY THE PROJECT ARBORIST.

TREE PROTECTION
NTS

4



CURB INLET PROTECTION PART 1
NTS

CONSTRUCTION SPECIFICATIONS:

1. PLACE THE BARRIERS ON GENTLY SLOPING STREETS WHERE WATER CAN POND.
2. THE BARRIERS MUST ALLOW FOR OVERFLOW FROM A SEVERE STORM EVENT. SLOPE RUNOFF SHALL BE ALLOWED TO FLOW OVER BLOCKS AND GRAVEL AND NOT BE BYPASSED OVER THE CURB. A SPILLWAY SHALL BE CONSTRUCTED WITH THE SANDBAG STRUCTURES TO ALLOW OVERFLOW.
3. THE SANDBAG SHOULD BE OF WOVEN-TYPE GEOTEXTILE FABRIC.
4. THE SANDBAGS SHALL BE FILLED WITH 3/4 INCH (19 MM) DRAIN ROCK OR 1/4 INCH (6 MM) PEA GRAVEL.
5. THE SANDBAGS SHALL BE PLACED IN A CURVED ROW FROM THE TOP OF CURB AT LEAST 3 FEET (0.9 M) INTO THE STREET. THE ROW SHOULD BE CURVED AT THE ENDS, POINTING UPHILL.
6. SEVERAL LAYERS OF BAGS SHOULD BE OVERLAPPED AND PACKED TIGHTLY.
7. LEAVE A ONE-SANDBAG GAP IN THE TOP ROW TO ACT AS A SPILLWAY.

FOR BLOCK AND GRAVEL TYPE BARRIERS:

8. PLACE TWO CONCRETE BLOCKS ON THEIR SIDES PERPENDICULAR TO THE CURB AT EITHER END OF THE INLET OPENING. THESE WILL SERVE AS SPACER BLOCKS.
9. PLACE CONCRETE BLOCKS ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS. THE OPENINGS IN THE BLOCKS SHOULD FACE OUTWARD, NOT UPWARD.
10. CUT A 2 BY 4 INCH (51 BY 102 MM) STUD THE LENGTH OF THE CURB INLET PLUS THE WIDTH OF THE TWO SPACER BLOCKS. PLACE THE STUD THROUGH THE OUTER HOLE OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
11. PLACE WIRE MESH OVER THE OUTSIDE VERTICAL FACE (OPEN ENDS) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE BLOCKS.
12. USE CHICKEN WIRE, HARDWARE CLOTH WITH 1/2 INCH (13 MM) OPENINGS, OR FILTER FABRIC. REFER TO APPENDIX - GEOTEXTILES/GEOSYNTHETICS.
13. PLACE 3/4 - 1 1/2 INCH (19-34 MM) GRAVEL AGAINST THE WIRE TO THE TOP OF THE BARRIER.

INSPECTION AND MAINTENANCE:

14. INSPECT AND CLEAN BARRIER DURING AND AFTER EACH SIGNIFICANT STORM AND REMOVE SEDIMENT FROM BEHIND SANDBAG STRUCTURE AFTER EVERY STORM.
15. ANY SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM THE TRAVELED WAY OF ROADS.
16. THE REMOVED SEDIMENT SHALL BE PLACED WHERE IT CANNOT ENTER A STORM DRAIN, STREAM, OR BE TRANSPORTED OFF SITE.
17. IF THE GRAVEL BECOMES CLOGGED WITH SEDIMENT, IT MUST BE CAREFULLY REMOVED FROM THE INLET AND EITHER CLEARED OR REPLACED.

CURB INLET PROTECTION PART 2
NTS

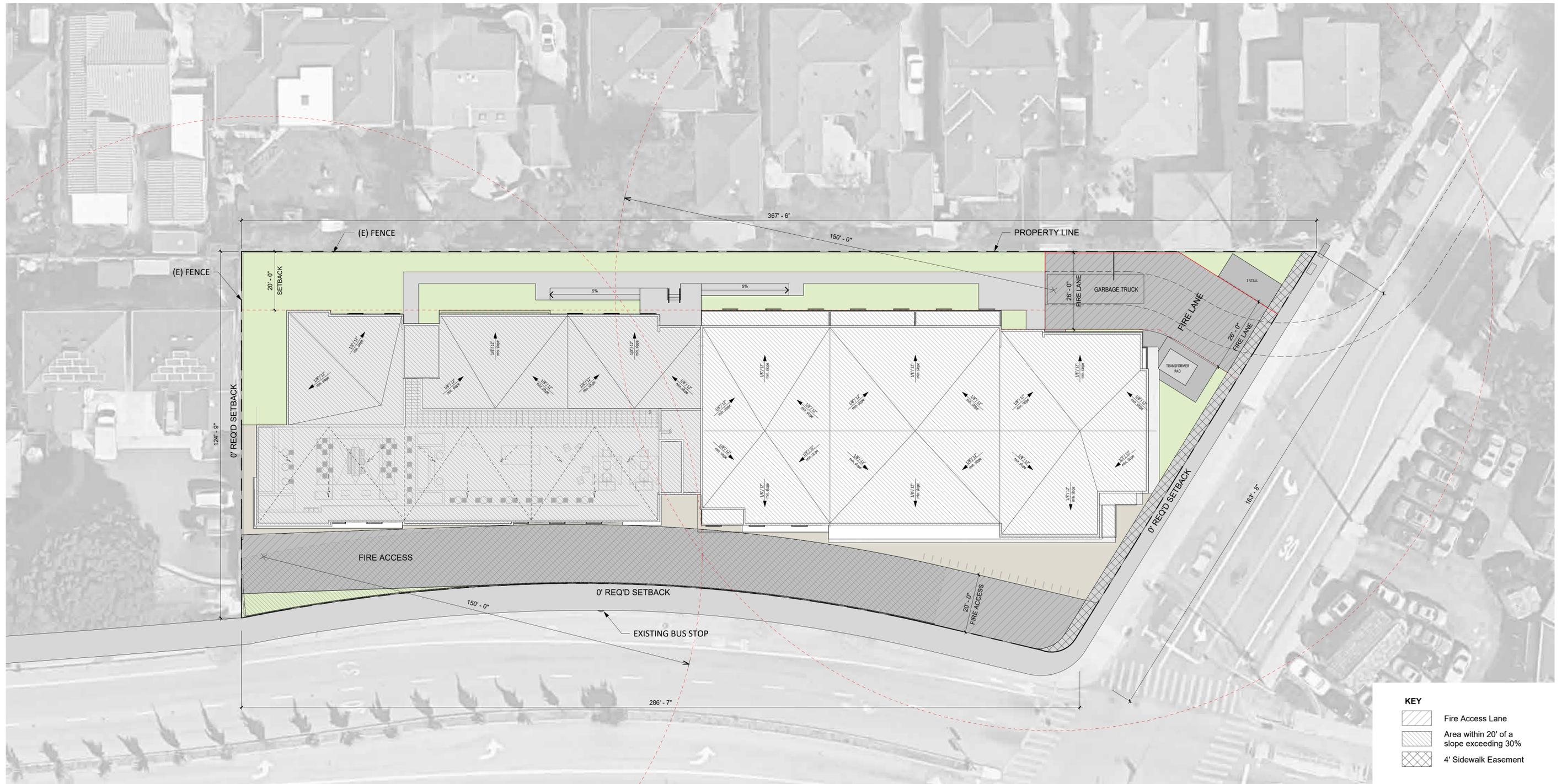
SCHEMATIC

EROSION CONTROL NOTES AND DETAILS
831 WATER STREET DEVELOPMENT
SANTA CRUZ, CALIFORNIA

APN 009-212-30, 31, & 38
SCHEMATIC DESIGN
DATE 09/11/2024
DESIGN MUR
DRAWN STAFF

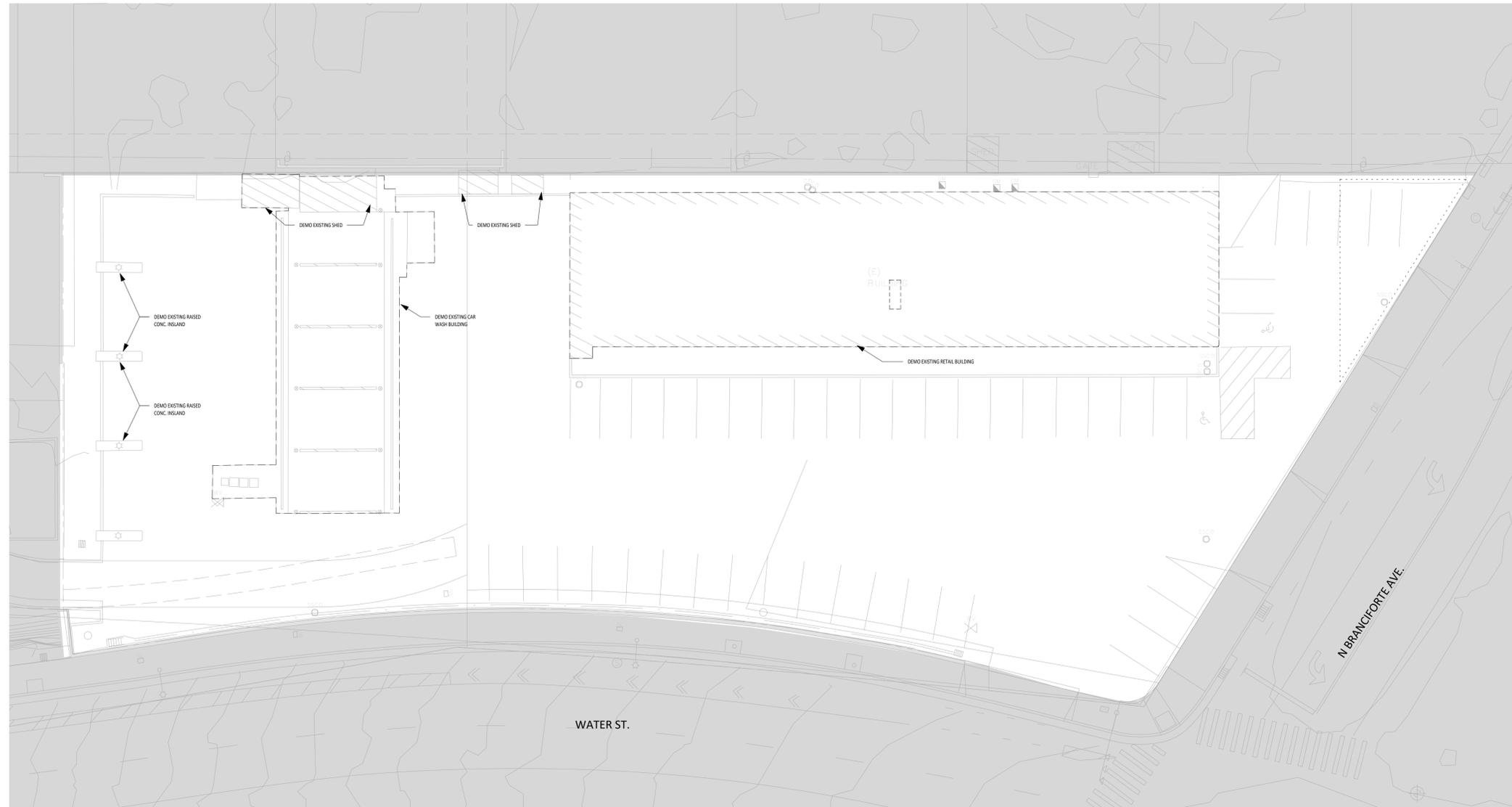
SHEET **C3.0**

JOB NO. 20035

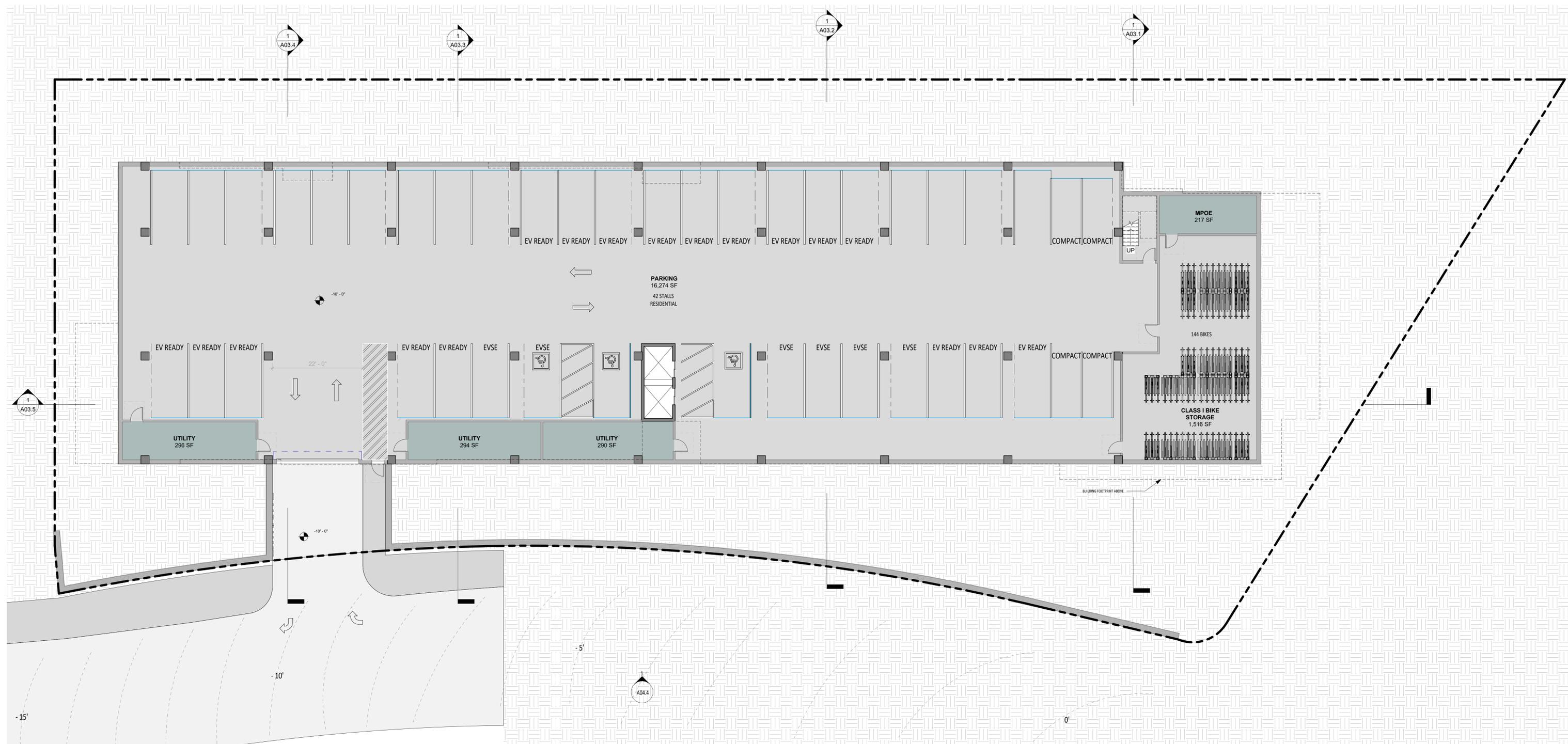


Sheet Notes:

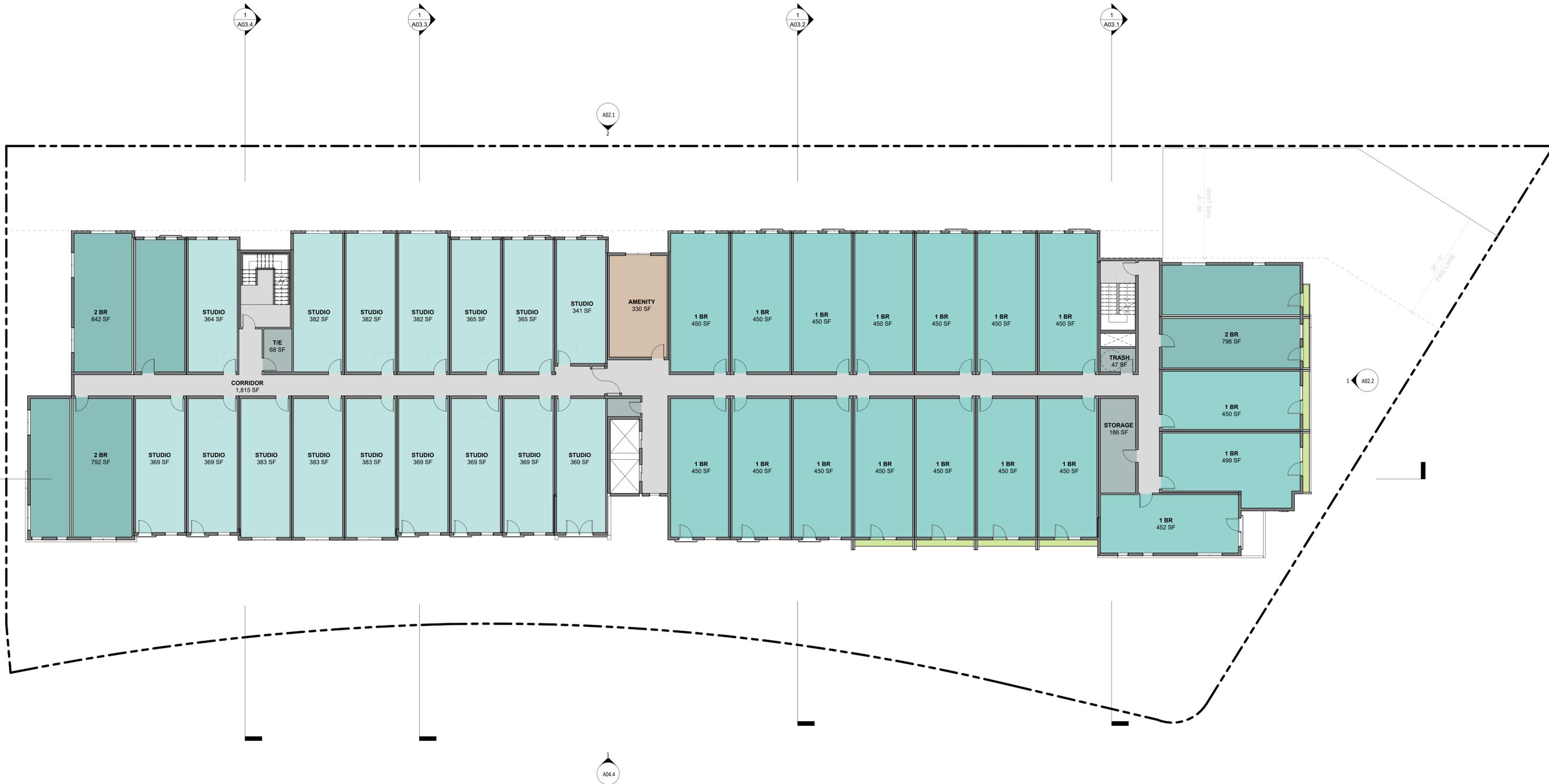
1. Natural Gas-Free Design as required by SCMC 6.100
2. New utilities to be undergrounded.
3. See Ground Floor Plan for detailed view of bike parking at grade



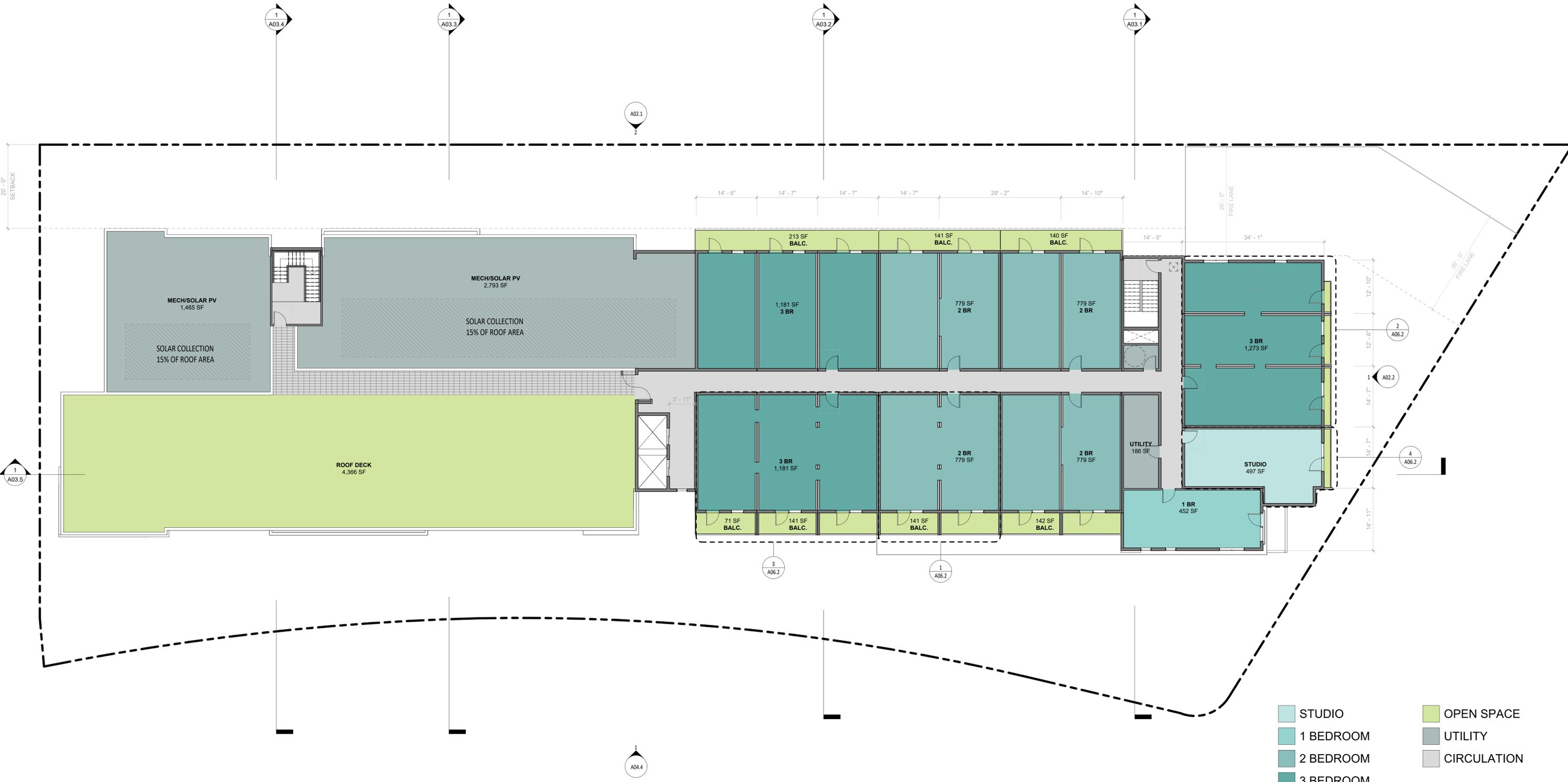
LEGEND	
	EXISTING WALL TO BE DEMOLISHED
	EXISTING ITEM TO BE DEMOLISHED, REFER TO KEY NOTES ABOVE
	EXISTING WALL TO REMAIN
	AREA NOT IN CONTRACT



TOTAL GROSS SF: 20,107 SF

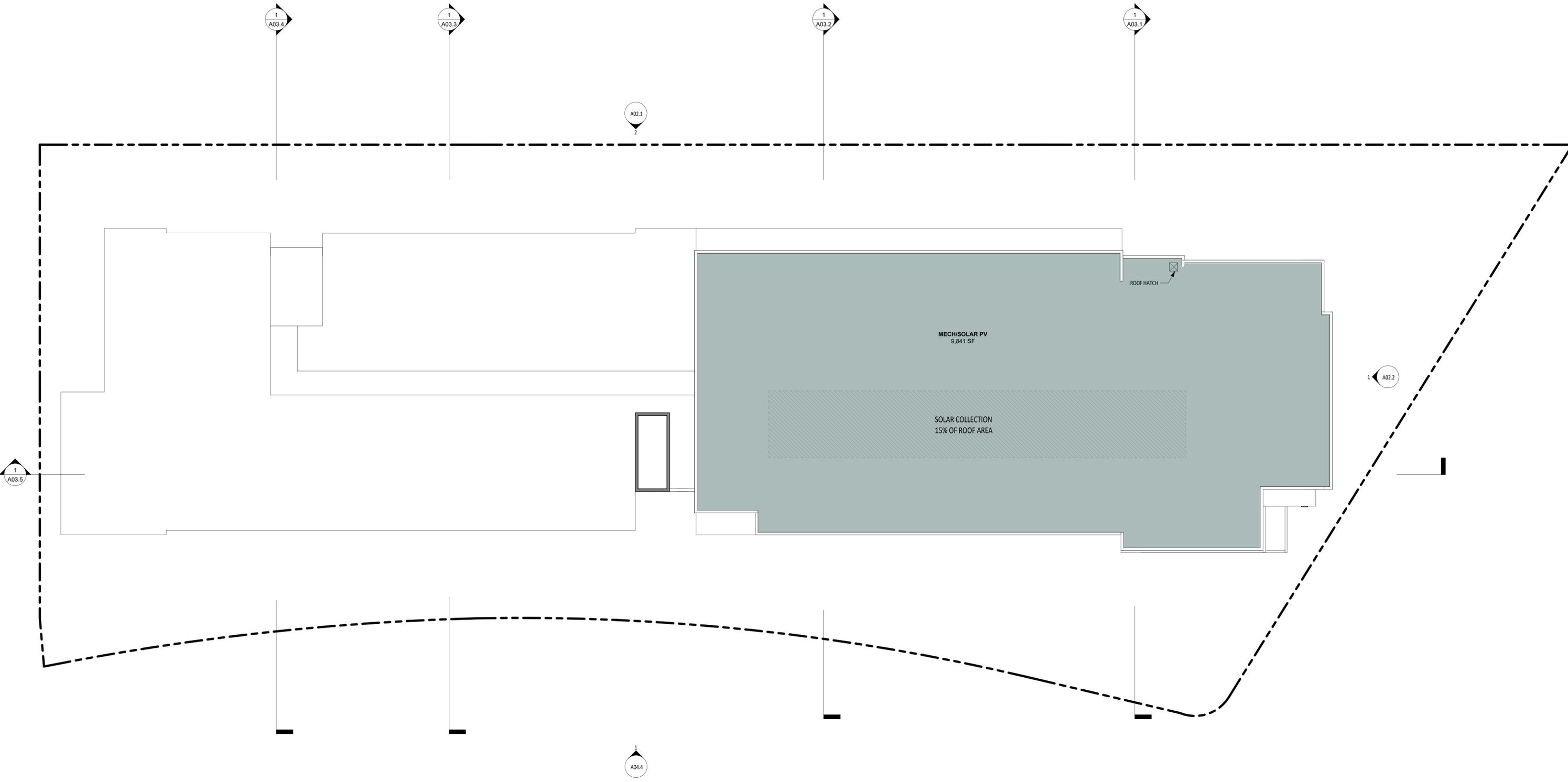


TOTAL GROSS SF: 20,537 SF



- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- OPEN SPACE
- UTILITY
- CIRCULATION

TOTAL GROSS SF: 9,755 SF





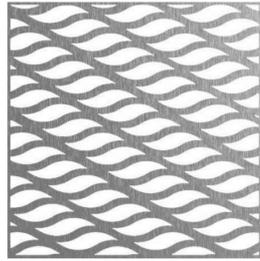
W1

NICHIHA VINTAGEWOOD
Spruce



S1

STUCCO
Extra White - SW 7006



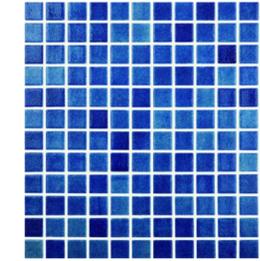
M1

BRUSHED ALUMINUM
METAL PANEL
C18



F1

WINDOW FRAME
Black Vinyl Clad



T1

CUSTOM GLASS TILE
Fog Navy Blue



W2

NICHIHA VINTAGEWOOD
Ash



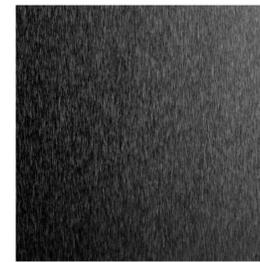
S2

STUCCO
Gris - SW 7659



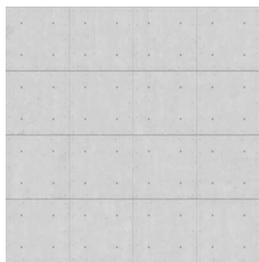
M2

CENTRIA METAL PANEL
Yellow



F2

WINDOW FRAME
Black Anodized Aluminum



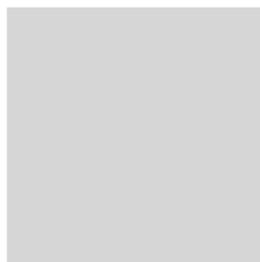
C1

CONCRETE



S3

PAINTED STUCCO
Inky Blue - SW 9149



P1

TRESPA PANEL
Winter Gray



REVISED BUILDING ELEVATION - SOUTH

1" = 10'-0"



REVISED BUILDING ELEVATION - NORTH

1" = 10'-0"

Sheet Notes: a) the balcony overhangs on the south side will shade windows in the summer while letting sun in during the winter months (due to the lower angle of the sun);
 b) the windows and doors are operational, allowing for passive heating/cooling; c) operational window coverings will be installed to allow for control of solar heating.



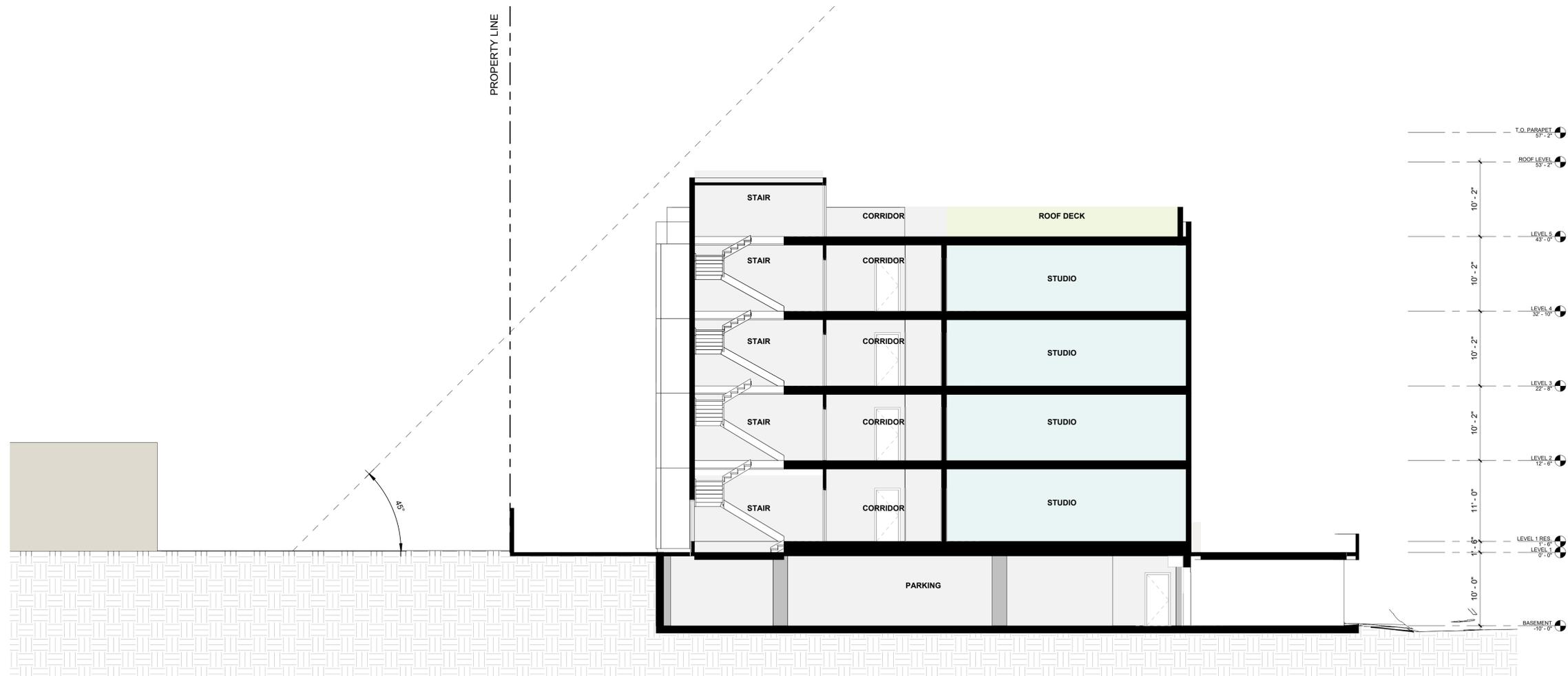
Sheet Notes: a) the balcony overhangs on the south side will shade windows in the summer while letting sun in during the winter months (due to the lower angle of the sun);
 b) the windows and doors are operational, allowing for passive heating/cooling; c) operational window coverings will be installed to allow for control of solar heating.



① BUILDING SECTION - 1
1/8" = 1'-0"



① BUILDING SECTION - 2
1/8" = 1'-0"



① BUILDING SECTION - 4
1/8" = 1'-0"



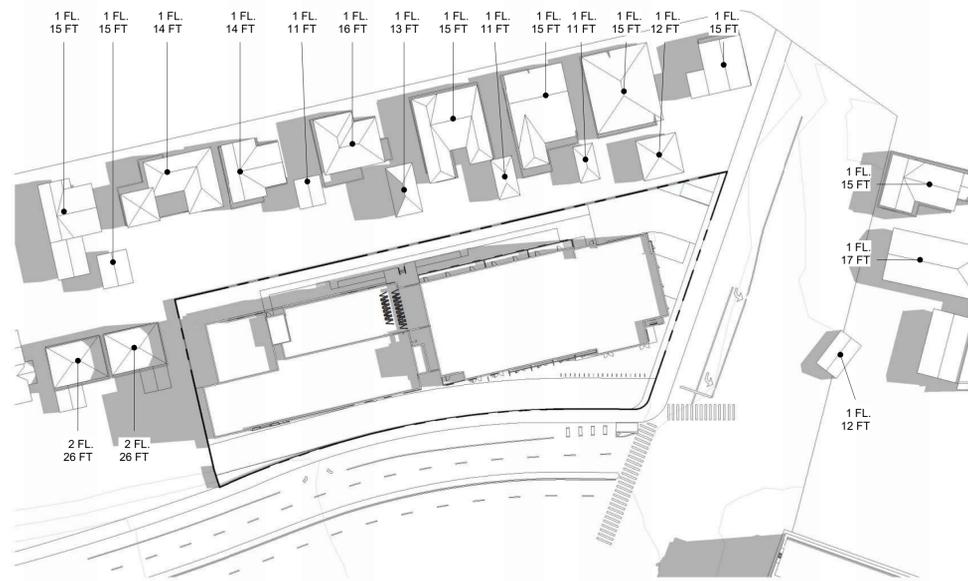




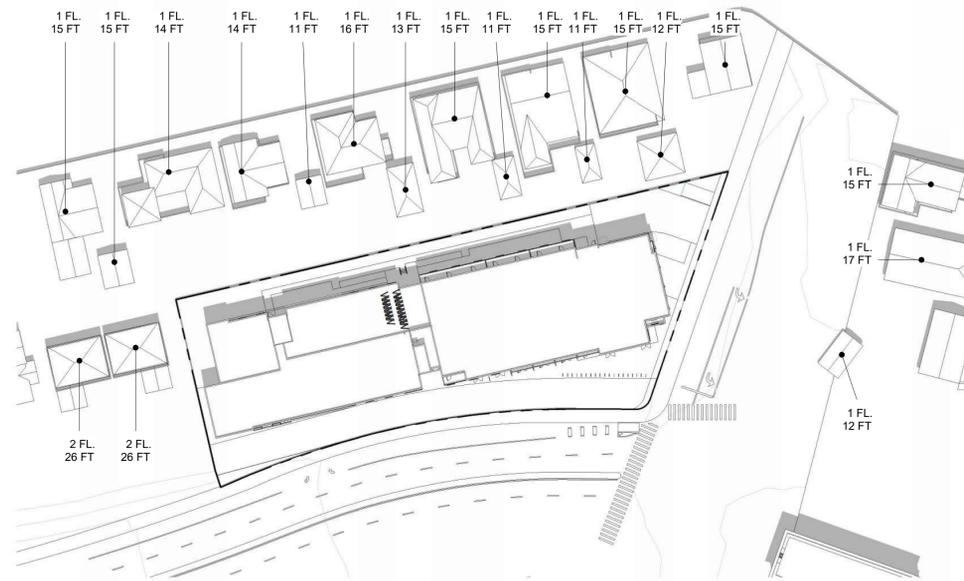




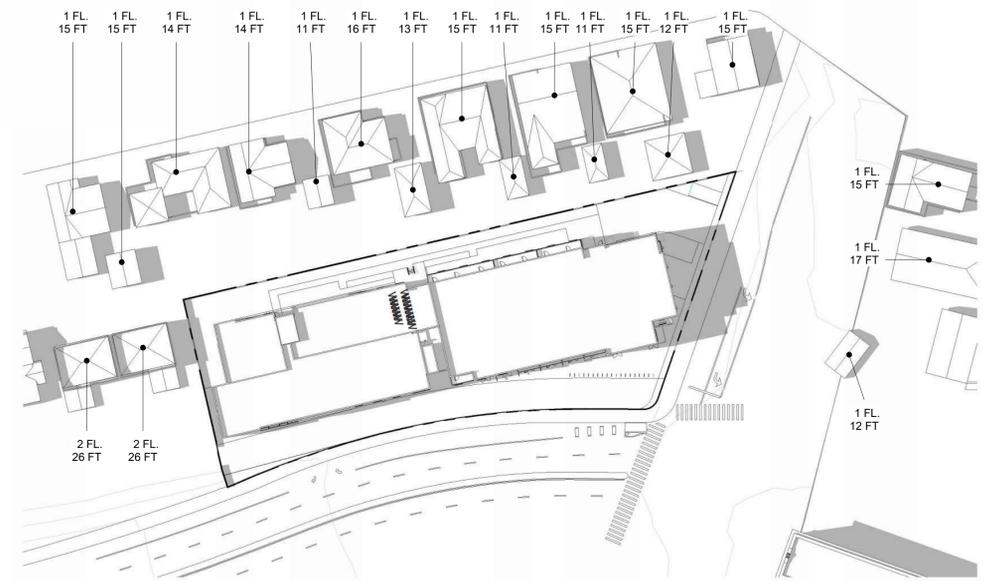
① STREET ELEVATION - WATER STREET
1/16" = 1'-0"



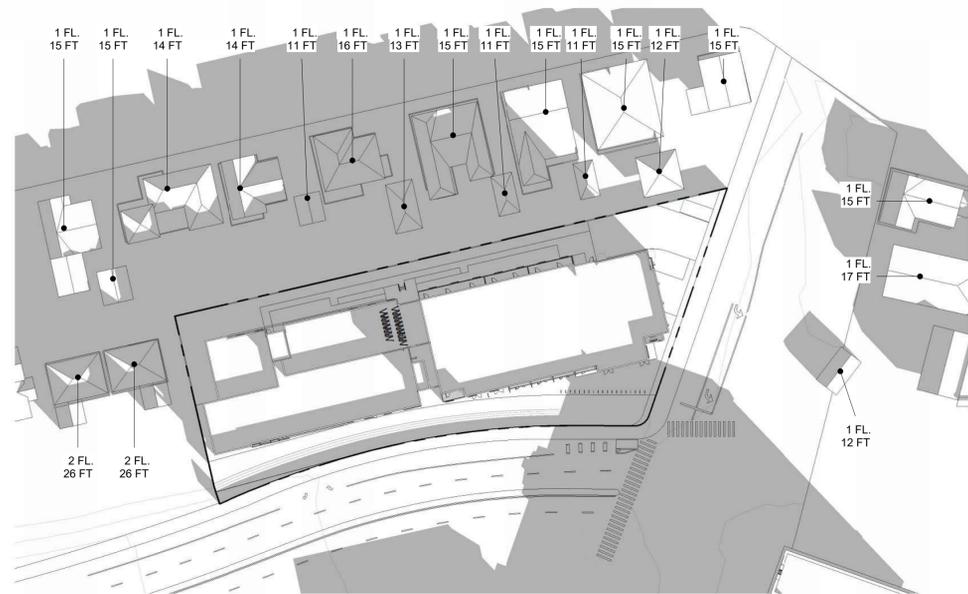
JUN 21 9AM



JUN 21 12PM



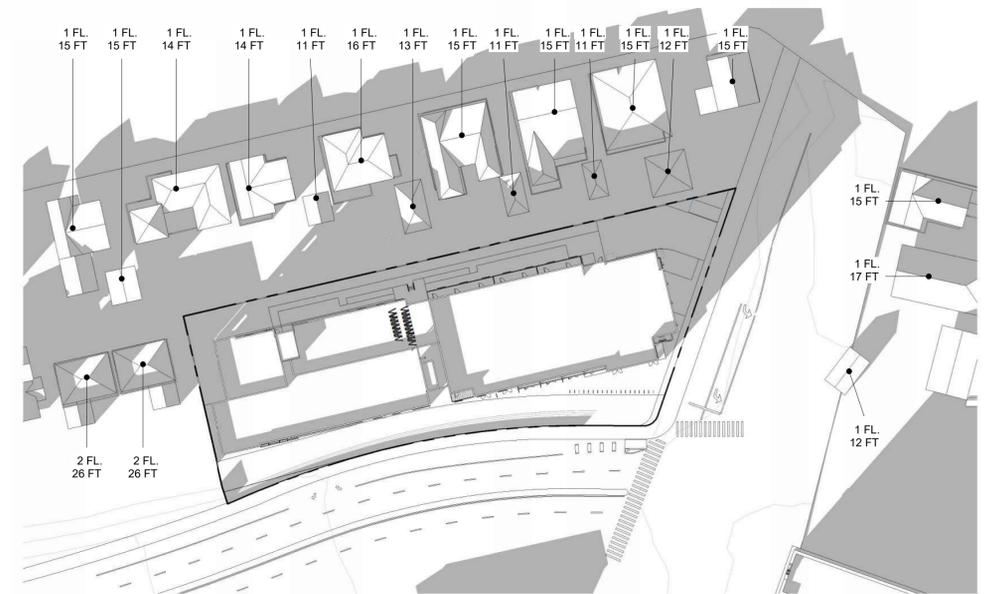
JUN 21 3PM



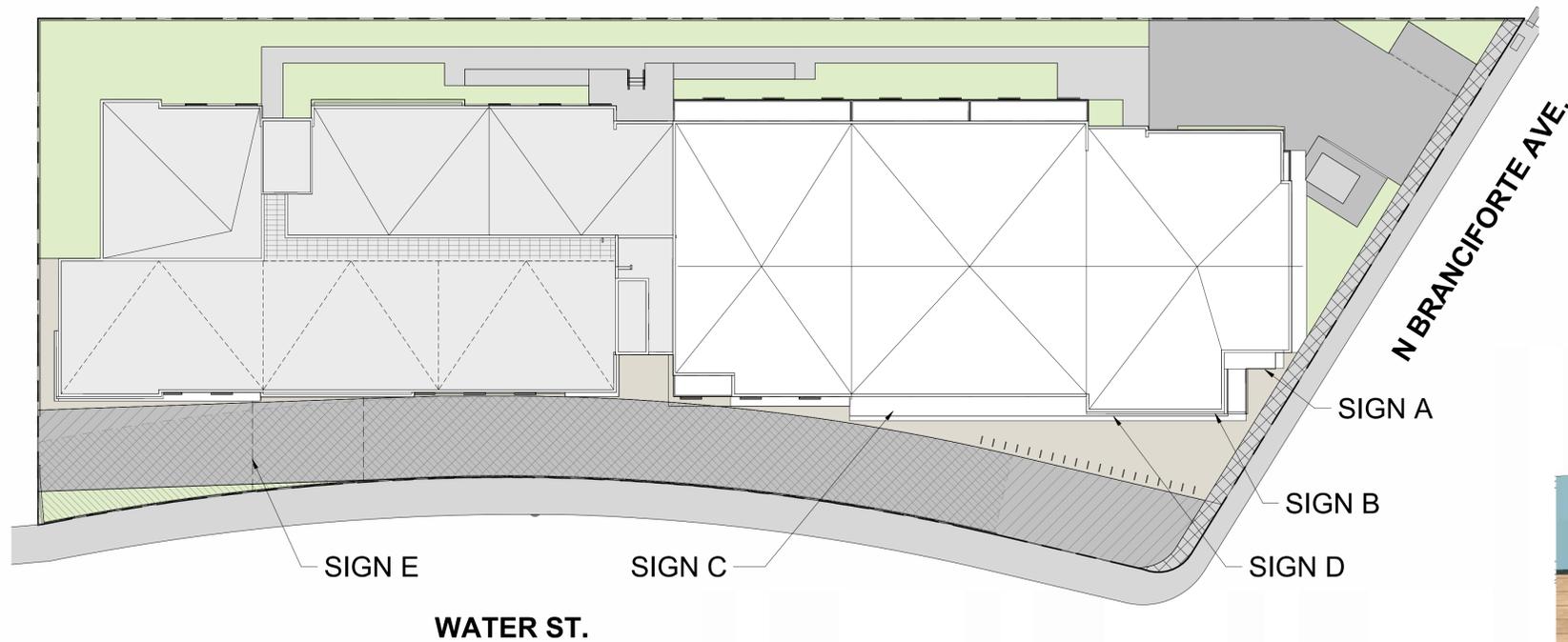
DEC 21 9AM



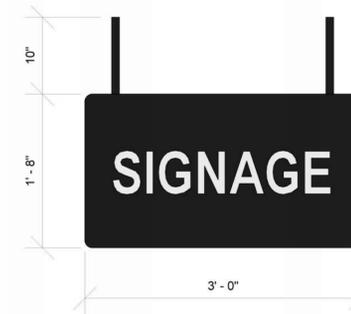
DEC 21 12PM



DEC 21 3PM



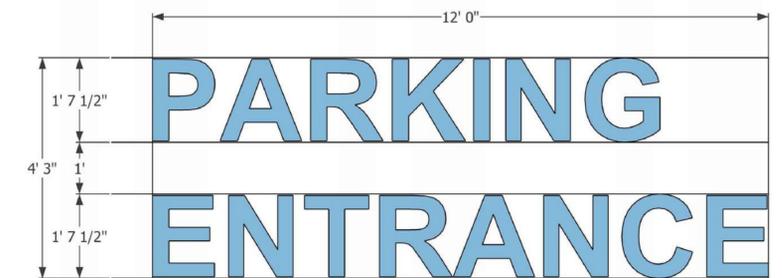
1 SIGNAGE PLAN
1" = 20'-0"



SIGN C
BLADE SIGN WITH BLACK FRAME



SIGN B.D
WHITE PAINTED ALUMINUM LETTERS



SIGN E
BLUE PAINTED ALUMINUM LETTERS



2 SIGN D - LOBBY



3 SIGN B - RETAIL



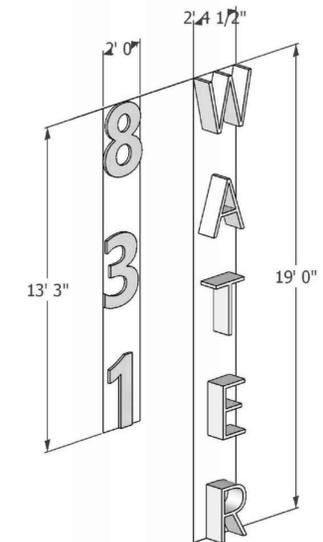
6 SIGN C - BLADE SIGN



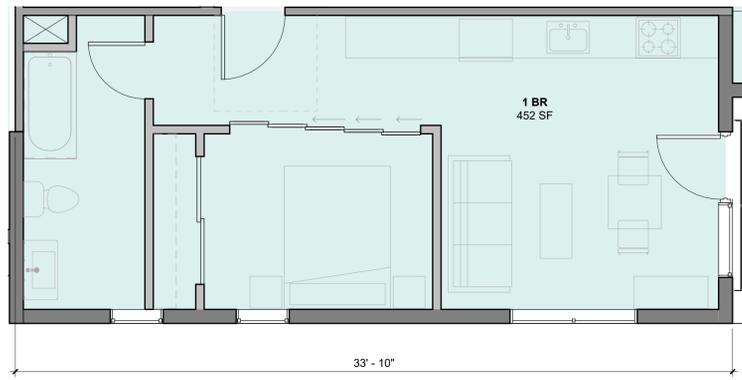
7 SIGN E - PARKING ENTRANCE



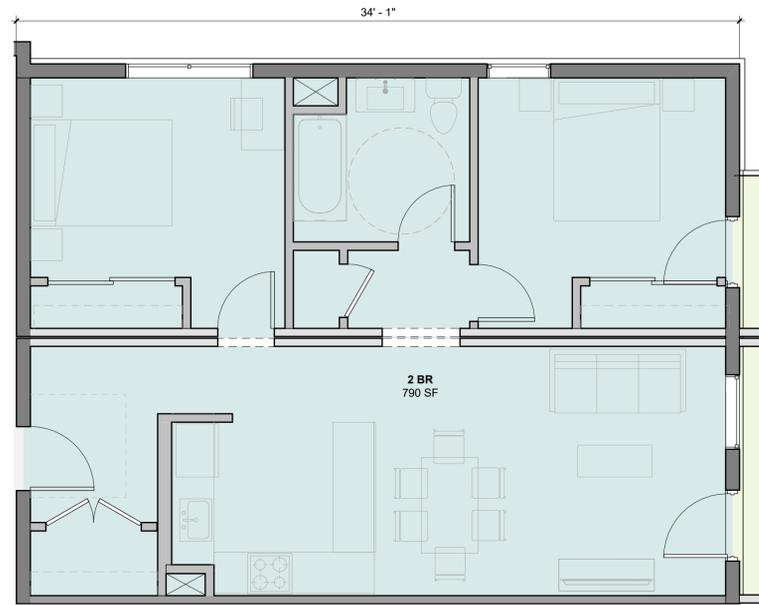
4 SIGN A - 831 WATER STREET



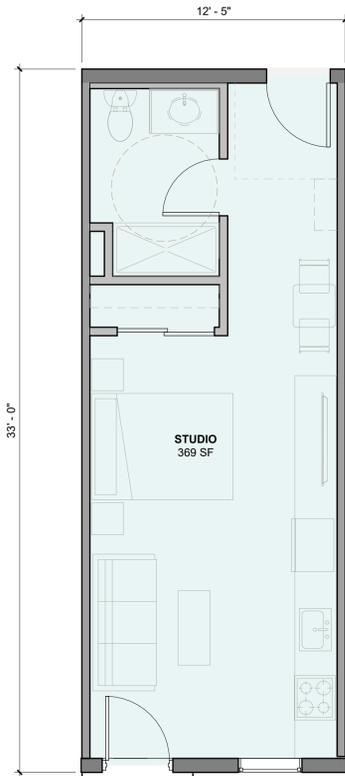
SIGN A
WHITE PAINTED ALUMINUM LETTERS
WITH HALO ILLUMINATION



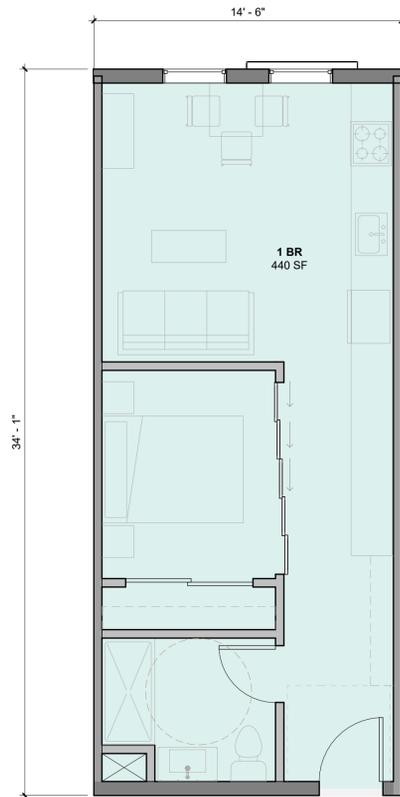
05 LEVEL 2-4_1 BEDROOM TYPE B
1/4" = 1'-0"



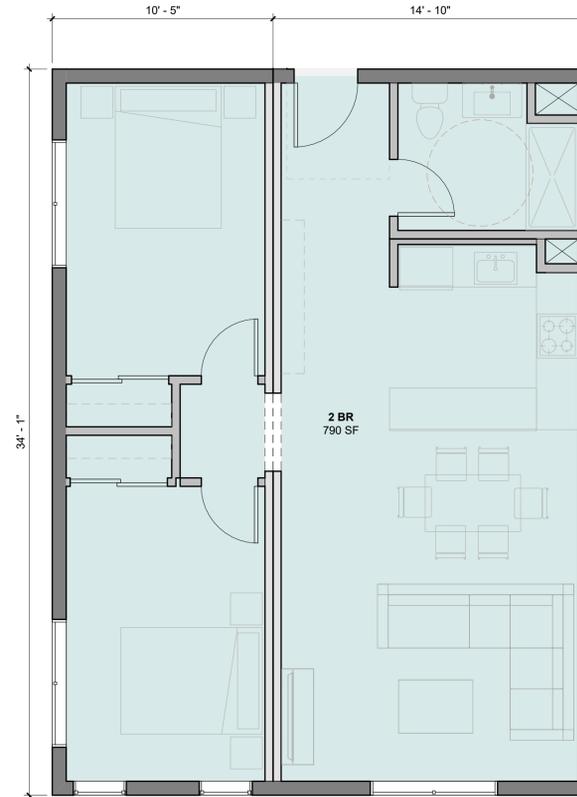
06 LEVEL 2-4_2 BEDROOM TYPE C
1/4" = 1'-0"



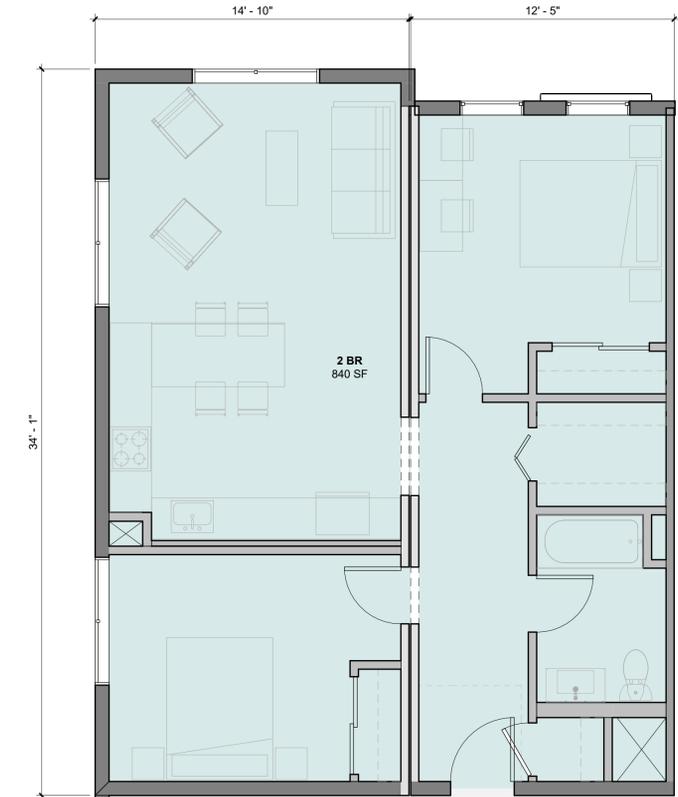
01 LEVEL 2-4_STUDIO
1/4" = 1'-0"



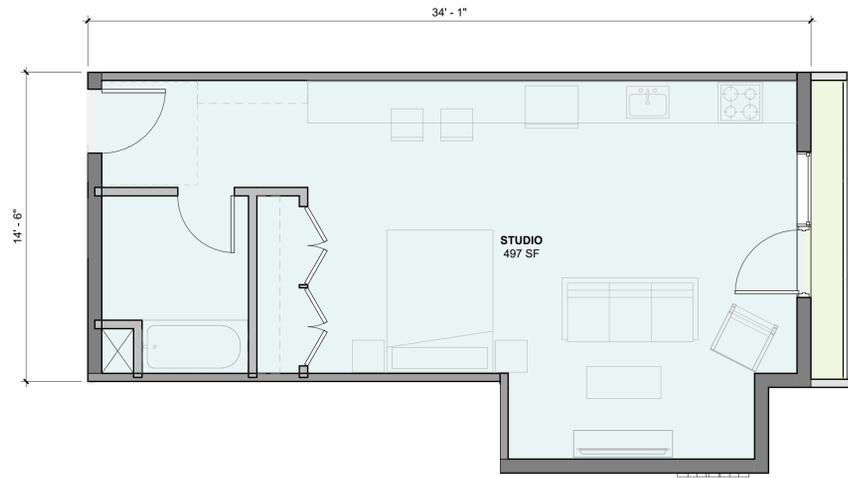
02 LEVEL 2-4_1 BEDROOM
1/4" = 1'-0"



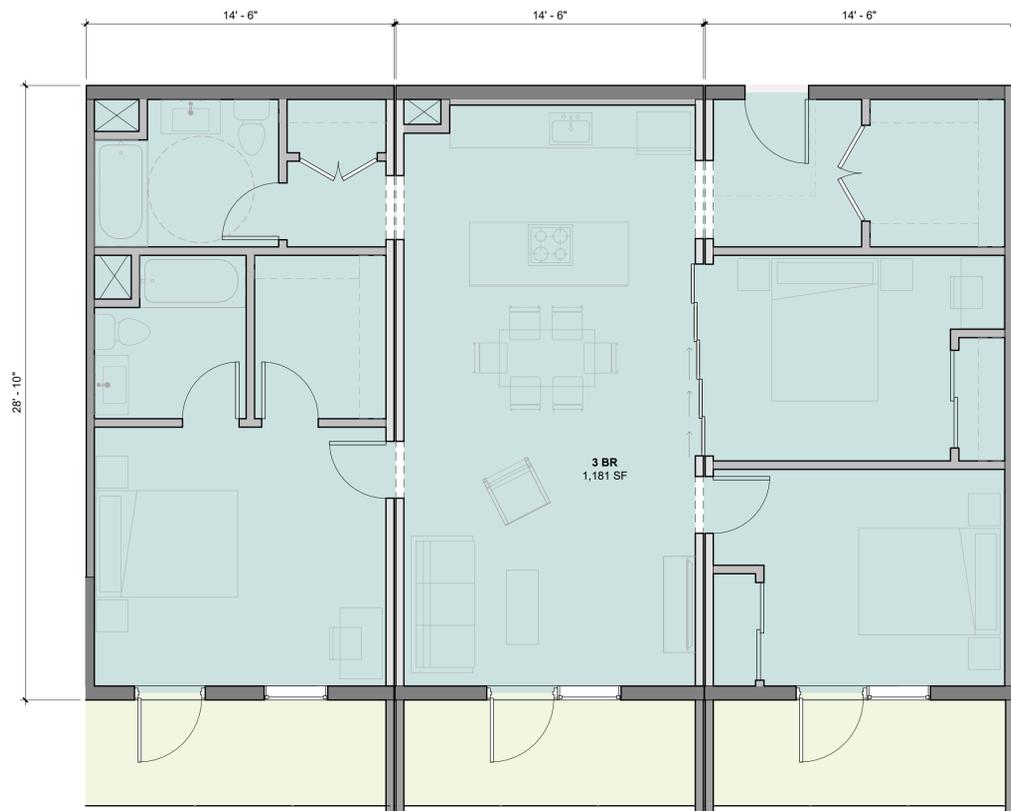
03 LEVEL 2-4_2 BEDROOM TYPE A
1/4" = 1'-0"



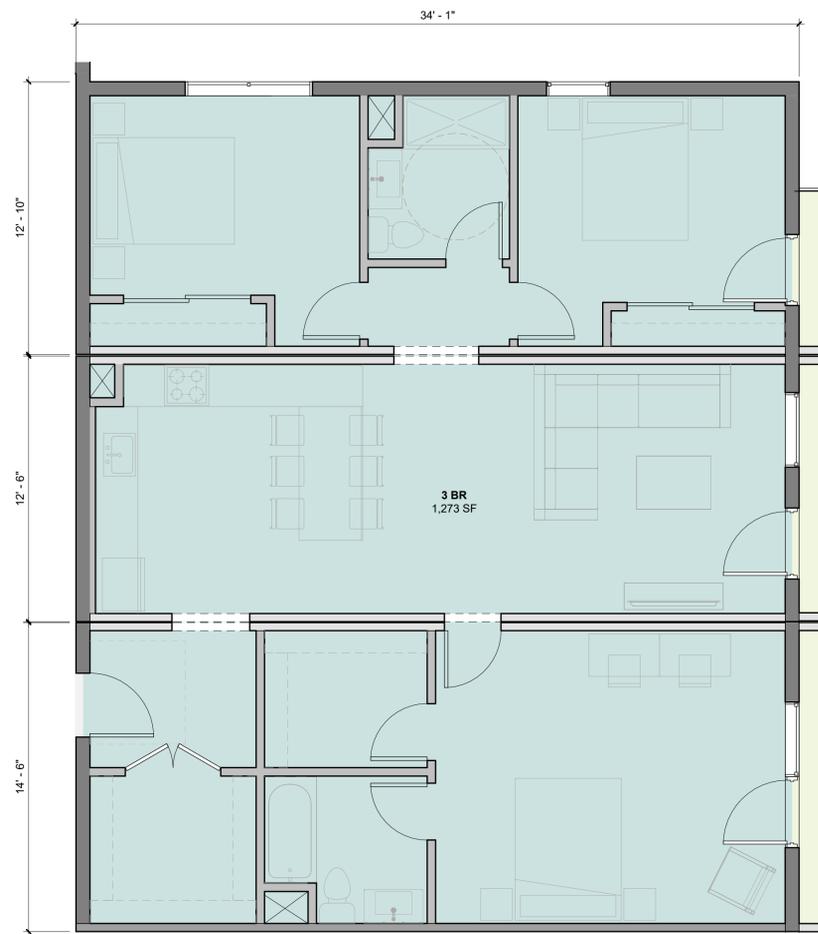
04 LEVEL 2-4_2 BEDROOM TYPE D
1/4" = 1'-0"



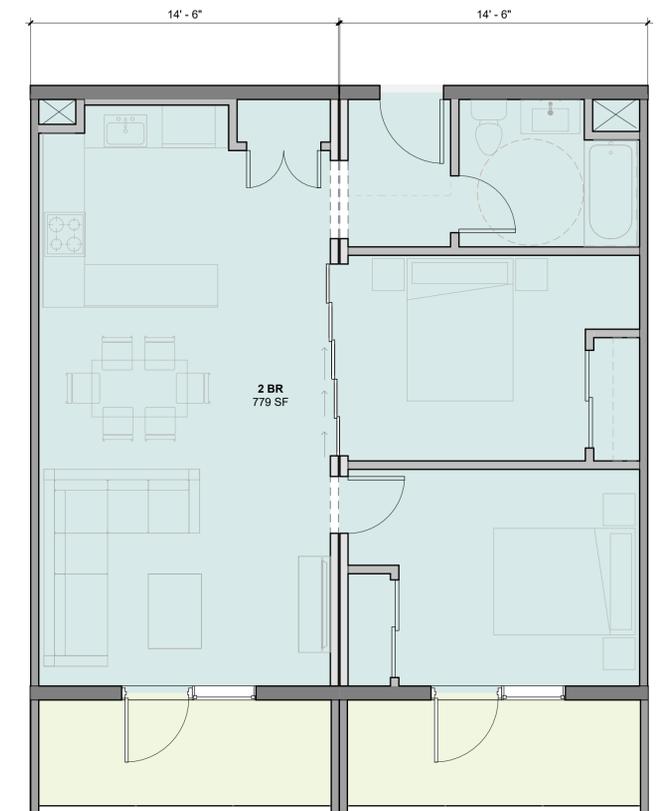
④ LEVEL 5 STUDIO
1/4" = 1'-0"



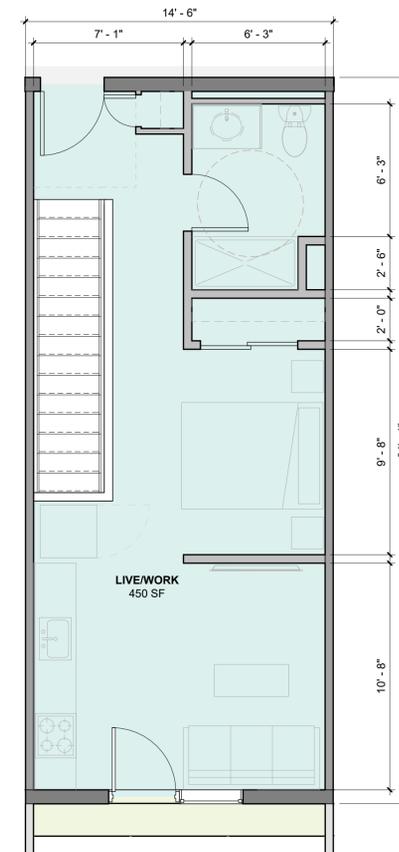
③ LEVEL 5_3 BEDROOM TYPE A
1/4" = 1'-0"



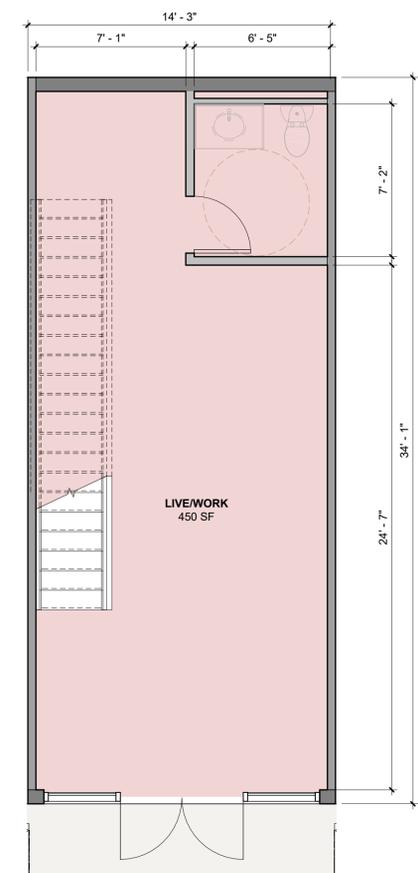
② LEVEL 5_3 BEDROOM TYPE B
1/4" = 1'-0"



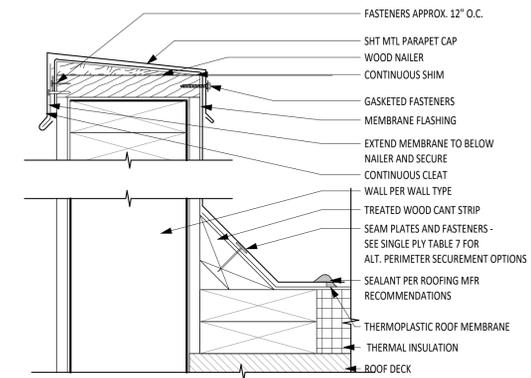
① LEVEL 5_2 BEDROOM
1/4" = 1'-0"



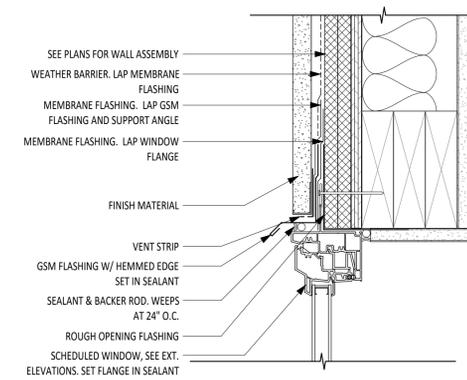
① LIVE/WORK - GROUND FLOOR
1/4" = 1'-0"



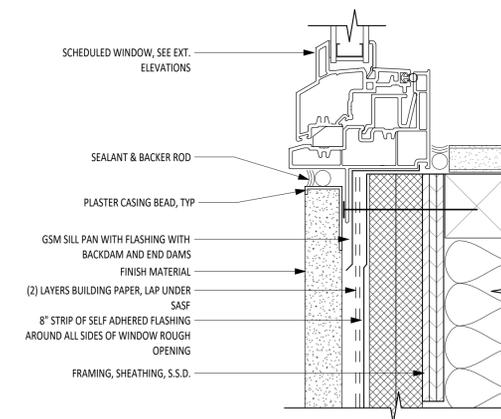
② LIVE/WORK - LEVEL 2
1/4" = 1'-0"



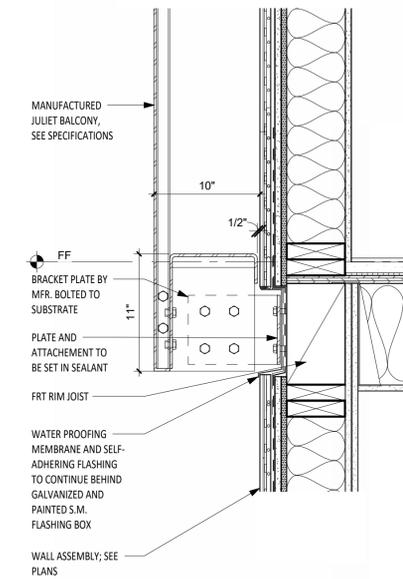
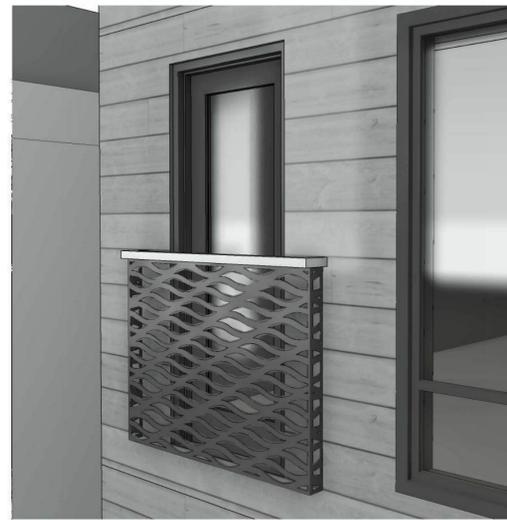
③ PARAPET DETAIL 1
3" = 1'-0"



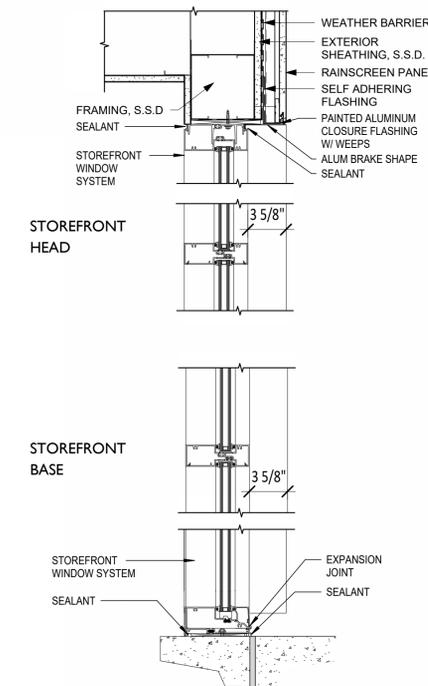
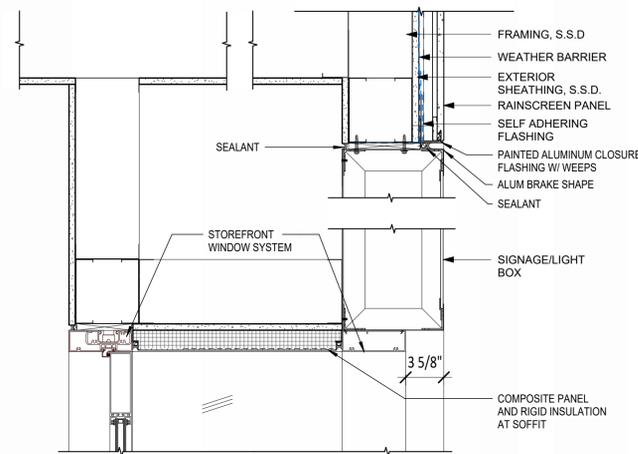
② WINDOW HEAD DETAIL 1
3" = 1'-0"



① WINDOW SILL DETAIL 1
6" = 1'-0"

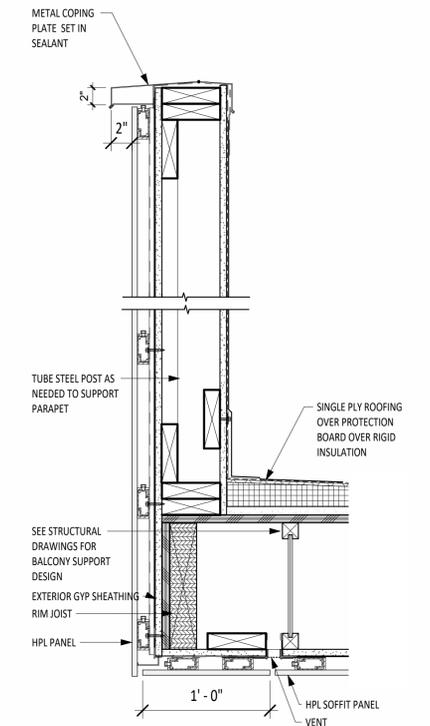


4 JULIETTE BALCONY



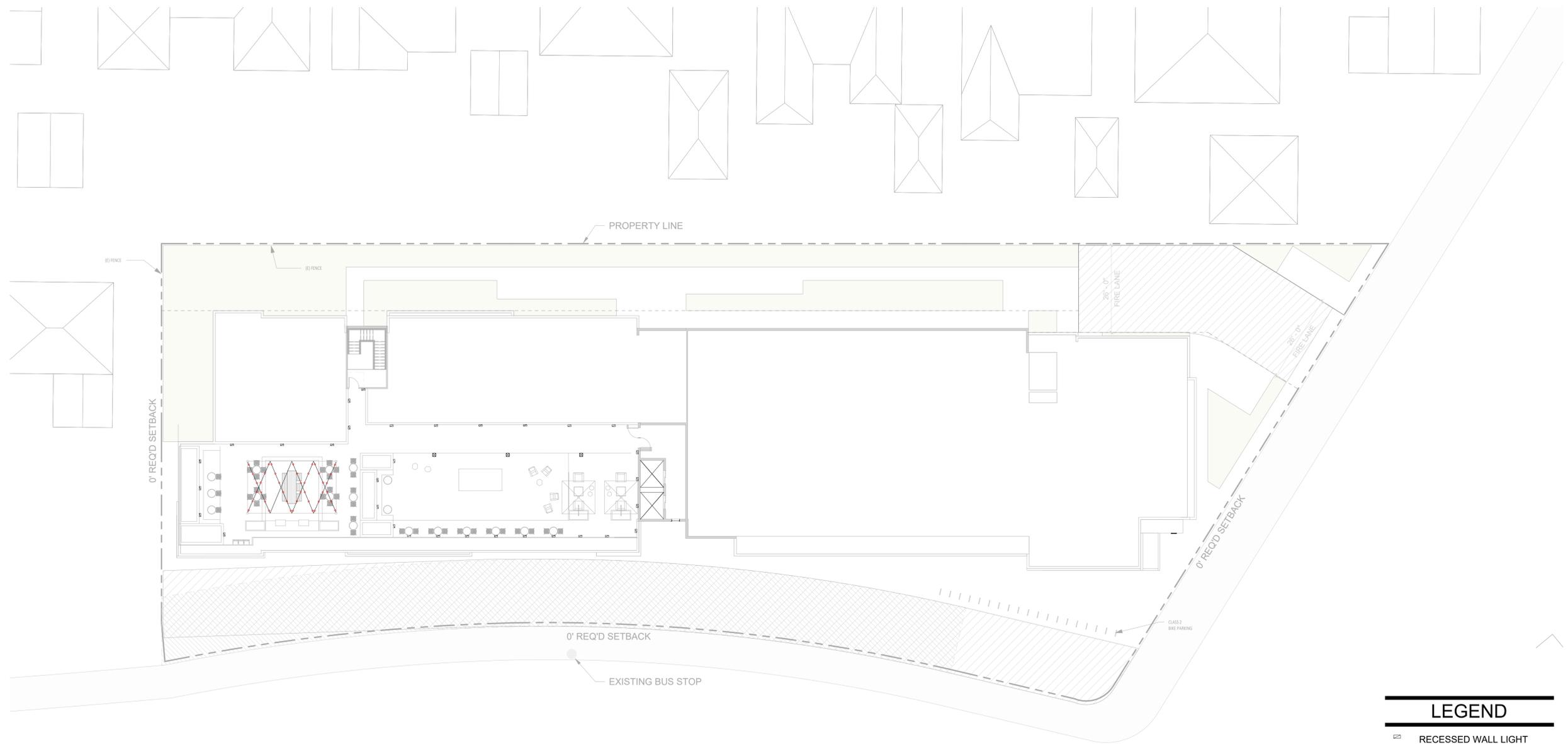
2 STOREFRONT @ LIVE/WORK

3 SECTION THRU STOREFRONT DOOR/SIGNAGE @ RETAIL



1 HIGH PARAPET @ ROOF





LEGEND	
	RECESSED WALL LIGHT
	GARDEN BOLLARD
	DOWNLIGHT (MOUNTED UNDER SOFFIT)
	STREET LIGHT
	STRING LIGHT

LANDSCAPE NARRATIVE:
 THIS SECTION OF THE PROJECT FOCUSES ON THE DESIGN OF OUTDOOR AMENITY SPACES FOR THE RESIDENTS AND RETAIL GUESTS AT 831 WATER STREET. RESIDENTS AND RETAIL VISITORS ARE SURROUNDED BY LOW-WATER-USE, CALIFORNIA COASTAL FRIENDLY LANDSCAPE IN A VARIETY OF OUTDOOR SPACES. INCLUDED IN THIS PROJECT IS A PROPOSED ROOFTOP DINING SPACE, ROOFTOP AMENITY SPACES FOR BOTH THE MARKET RATE AND AFFORDABLE RESIDENTS, AND PERIMETER LANDSCAPING THAT BLENDS THE PROJECT SITE WITH THE SURROUNDING NEIGHBORHOOD AND COMMUNITY.

THE OUTDOOR AMENITY SPACES ARE DESIGNED TO OFFER A VARIETY OF USES SO THAT EVERYONE CAN FIND THEIR FAVORITE PLACE TO READ A BOOK OUTSIDE, SOCIALIZE WITH FRIENDS AND FAMILY, OR EVEN GROW CHEF-WORTHY PRODUCE IN THE PROPOSED VEGETABLE GARDEN BEDS.

BIOTREATMENT AREA LEGEND	
SYMBOL	BOTANICAL NAME
	CHONDROPETALUM TECTORUM
	JUNCUS PATENS

NOTES:

- SEE SHEET L-5 - L-6 FOR FURNISHINGS AND MATERIALS.
- LIGHTING AND PHOTOMETRIC PLANS BY OTHERS.
- TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.
- ALL PLANTING AREAS SHALL RECEIVE 3" THICK BARK MULCH LAYER.
- EACH BIKE RACK, TYPE 1 PROVIDES SEVEN (7) SHORT-TERM PARKING SPACES. EACH BIKE RACK, TYPE 2 PROVIDES TWO (2) SHORT-TERM PARKING SPACES. A TOTAL OF 39 SHORT-TERM PARKING SPACES HAVE BEEN PROVIDED.

SHRUB LEGEND	
SYMBOL	BOTANICAL NAME
	ACHILLEA MILLEFOLIUM
	CAREX TUMULICOLA
	DESCHAMPSIA CESPITOSA
	FESTUCA GLAUCA
	LOMANDRA LONGIFOLIA 'BREEZE'
	MUHLENBERGIA RIGENS
	SALVIA OFFICINALIS

GROUNDCOVER LEGEND	
SYMBOL	BOTANICAL NAME
	BACCHARIS PILULARIS 'TWIN PEAKS'
	EPILOBIUM CANUM 'EVERETT'S CHOICE'

LANDSCAPE LEGEND	
SYMBOL	DESCRIPTION
	WOOD FENCE, 8'-0" HEIGHT
	WOOD GATE, 8'-0" HEIGHT
	DECORATIVE METAL PANEL, LENGTH VARIES
	GUARDRAIL
	RAISED PLANTER, LENGTH AND WIDTH VARIES PER PLAN
	ARTIFICIAL TURF (GROUND LEVEL)
	CONCRETE PAVING (GROUND LEVEL)
	PAVERS, TYPE 1 (GROUND LEVEL)
	PAVERS, TYPE 2 (GROUND LEVEL)
	PAVERS, TYPE 3 (ROOF DECK)
	PAVERS, TYPE 4 (ROOF DECK)
	PAVERS, TYPE 5 (ROOF DECK)

FURNITURE LEGEND	
SYMBOL	DESCRIPTION
	BAR HEIGHT TABLE, LENGTH VARIES PER PLAN
	DINING TABLE, TYPE 1
	DINING TABLE, TYPE 2
	LOUNGE TABLE, TYPE 1
	LOUNGE TABLE, TYPE 2
	LOUNGE TABLE, TYPE 3
	LOUNGE TABLE, TYPE 4
	LOUNGE TABLE, TYPE 5
	SOFA, TYPE 1
	SOFA, TYPE 2
	LOUNGE CHAIR, TYPE 1
	LOUNGE CHAIR, TYPE 2
	LOUNGE CHAIR, TYPE 3
	DINING CHAIR

TREE LEGEND	
SYMBOL	BOTANICAL NAME
	CEANOTHUS 'RAY HARTMAN' (TREE FORM)
	DODONAEA VISCOSA 'PURPUREA' (TREE FORM)
	LYONOTHAMNUS FLORIBUNDUS SSP. ASPLENIFOLIUS



HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance

1570 Oakland Road (408) 487-2200
 San Jose, CA 95131 HMHca.com

**PRELIMINARY
 REVIEW SET NOT
 FOR
 CONSTRUCTION**

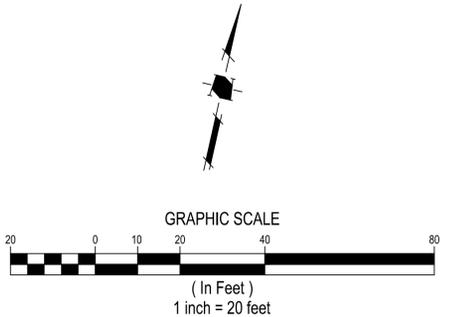
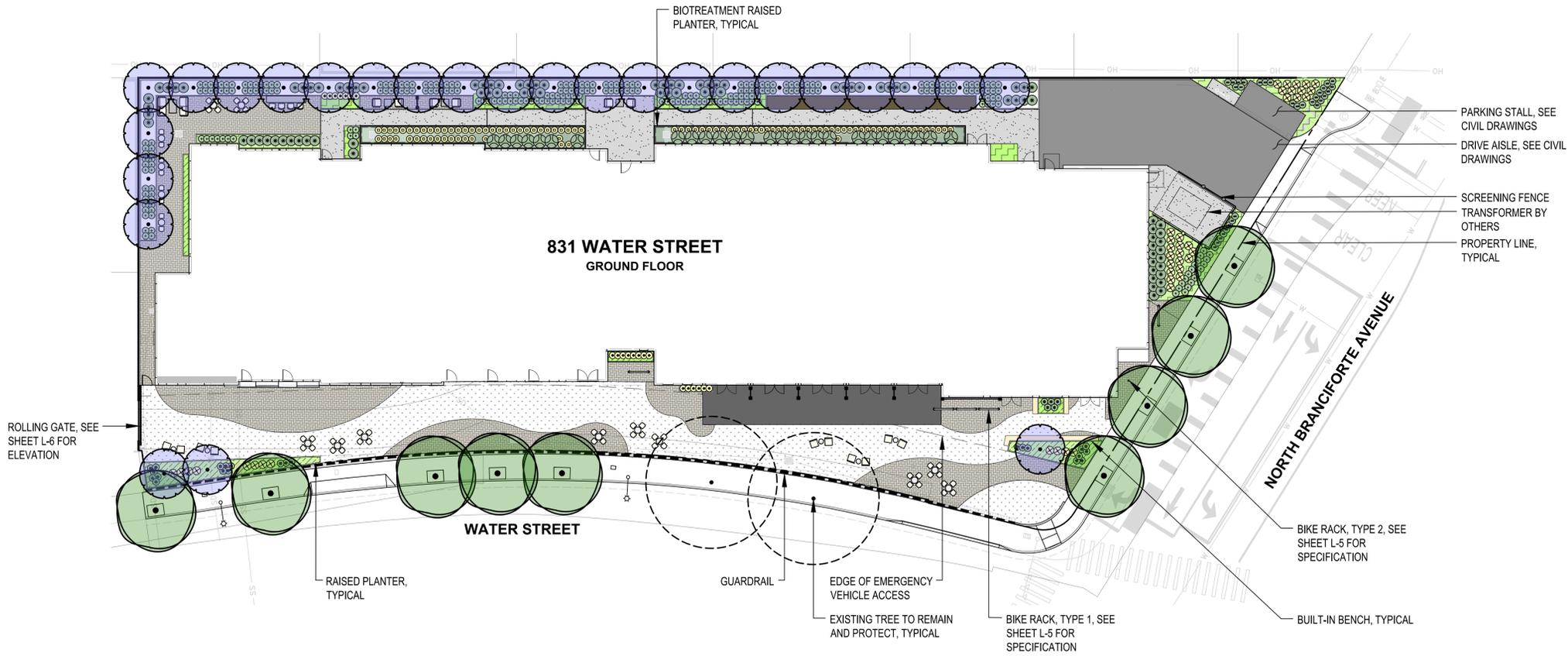
**831 WATER STREET
 SANTA CRUZ, CA 95060**

NO	DATE	DESCRIPTION

PROJECT NO: 5336.10
 CAD DWG FILE: 533610L.PD.DWG
 DESIGNED BY: JW
 DRAWN BY: JW
 CHECKED BY: JH
 DATE: SEPTEMBER 9, 2024
 SCALE: 1" = 20'
 © HMH

**LANDSCAPE PLAN
 GROUND FLOOR**

L-2



LANDSCAPE NARRATIVE:
 THIS SECTION OF THE PROJECT FOCUSES ON THE DESIGN OF OUTDOOR AMENITY SPACES FOR THE RESIDENTS AND RETAIL GUESTS AT 831 WATER STREET. RESIDENTS AND RETAIL VISITORS ARE SURROUNDED BY LOW-WATER-USE, CALIFORNIA COASTAL FRIENDLY LANDSCAPE IN A VARIETY OF OUTDOOR SPACES. INCLUDED IN THIS PROJECT IS A PROPOSED ROOFTOP DINING SPACE, ROOFTOP AMENITY SPACES FOR BOTH THE MARKET RATE AND AFFORDABLE RESIDENTS, AND PERIMETER LANDSCAPING THAT BLENDS THE PROJECT SITE WITH THE SURROUNDING NEIGHBORHOOD AND COMMUNITY.

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BIOTREATMENT AREA LEGEND	
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	CHONDROPETALUM TECTORUM
	JUNCUS PATENS

NOTES:

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- TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.
- ALL PLANTING AREAS SHALL RECEIVE 3" THICK BARK MULCH LAYER.
- EACH BIKE RACK, TYPE 1 PROVIDES SEVEN (7) SHORT-TERM PARKING SPACES. EACH BIKE RACK, TYPE 2 PROVIDES TWO (2) SHORT-TERM PARKING SPACES. A TOTAL OF 39 SHORT-TERM PARKING SPACES HAVE BEEN PROVIDED.

SHRUB LEGEND	
SYMBOL	BOTANICAL NAME
	ACHILLEA MILLEFOLIUM
	CAREX TUMULICOLA
	DESCHAMPSIA CESPITOSA
	FESTUCA GLAUCA
	LOMANDRA LONGIFOLIA 'BREEZE'
	MUHLENBERGIA RIGENS
	SALVIA OFFICINALIS

GROUND COVER LEGEND	
SYMBOL	BOTANICAL NAME
	BACCHARIS PILULARIS 'TWIN PEAKS'
	EPILOBIUM CANUM 'EVERETT'S CHOICE'

LANDSCAPE LEGEND	
SYMBOL	DESCRIPTION
	WOOD FENCE, 8'-0" HEIGHT
	WOOD GATE, 8'-0" HEIGHT
	DECORATIVE METAL PANEL, LENGTH VARIES
	GUARDRAIL
	RAISED PLANTER, LENGTH AND WIDTH VARIES PER PLAN
	ARTIFICIAL TURF (GROUND LEVEL)
	CONCRETE PAVING (GROUND LEVEL)
	PAVERS, TYPE 1 (GROUND LEVEL)
	PAVERS, TYPE 2 (GROUND LEVEL)
	PAVERS, TYPE 3 (ROOF DECK)
	PAVERS, TYPE 4 (ROOF DECK)
	PAVERS, TYPE 5 (ROOF DECK)

FURNITURE LEGEND	
SYMBOL	DESCRIPTION
	BAR HEIGHT TABLE, LENGTH VARIES PER PLAN
	DINING TABLE, TYPE 1
	DINING TABLE, TYPE 2
	LOUNGE TABLE, TYPE 1
	LOUNGE TABLE, TYPE 2
	LOUNGE TABLE, TYPE 3
	LOUNGE TABLE, TYPE 4
	LOUNGE TABLE, TYPE 5
	SOFA, TYPE 1
	SOFA, TYPE 2
	LOUNGE CHAIR, TYPE 1
	LOUNGE CHAIR, TYPE 2
	LOUNGE CHAIR, TYPE 3
	DINING CHAIR

TREE LEGEND	
SYMBOL	BOTANICAL NAME
	CEANOTHUS 'RAY HARTMAN' (TREE FORM)
	DODONAEA VISCOSA 'PURPUREA' (TREE FORM)
	LYONOTHAMNUS FLORIBUNDAS SSP. ASPLENIFOLIUS



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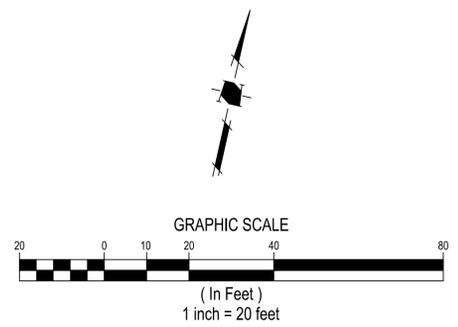
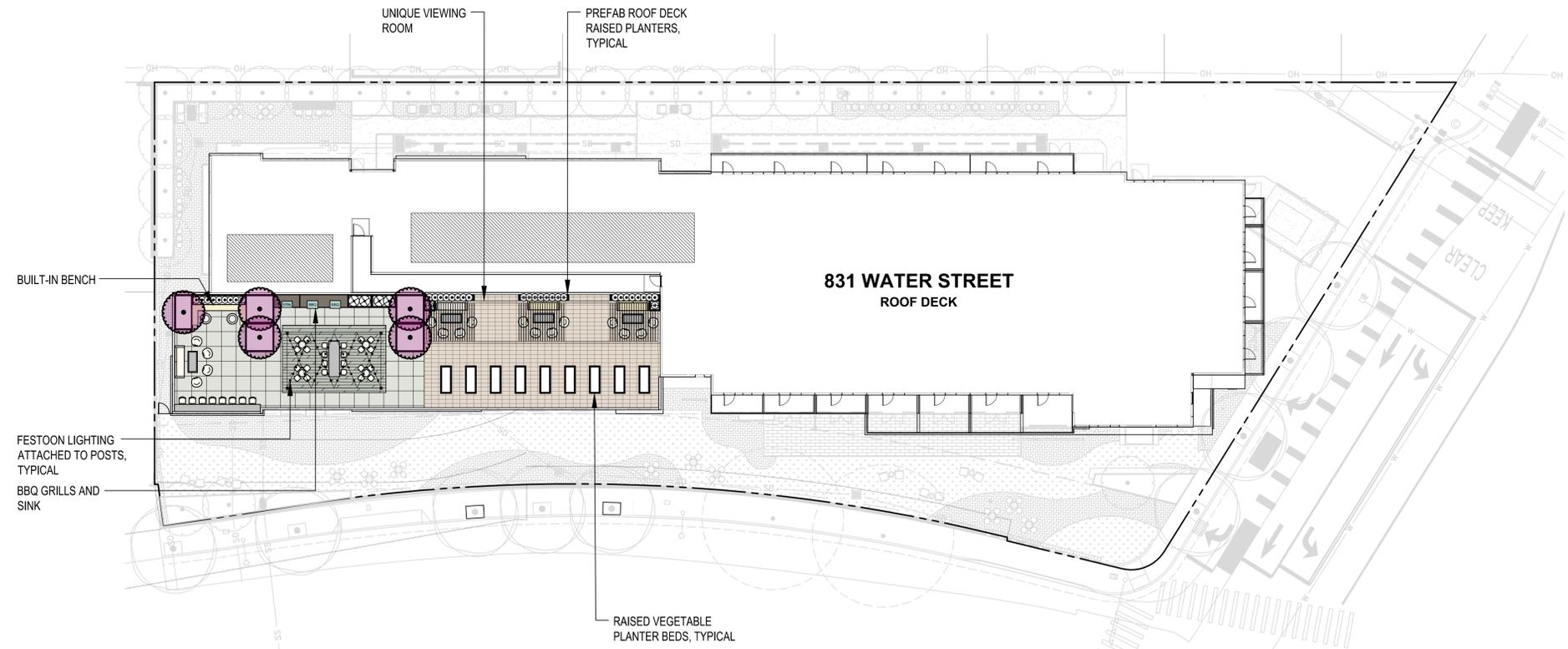
**831 WATER STREET
 SANTA CRUZ, CA 95060**

NO	DATE	DESCRIPTION

PROJECT NO:	5336.10
CAD DWG FILE:	533610LP.DWG
DESIGNED BY:	JW
DRAWN BY:	JW
CHECKED BY:	JH
DATE:	SEPTEMBER 9, 2024
SCALE:	1" = 20'
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**LANDSCAPE PLAN
 ROOF DECK**

L-3



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PLANTING LEGEND

TREE LEGEND							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES
	26	CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS	15 GALLON	15' x 15'	L	STANDARD TRUNK (TREE FORM)
	5	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	15 GALLON	15' x 12'	L	STANDARD TRUNK (TREE FORM)
	9	LYONOTHAMNUS FLORIBUNDAS SSP. ASPLENIFOLIUS	CATALINA IRONWOOD	15 GALLON	40' x 25'	L	STANDARD TRUNK
SHRUB LEGEND							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	H x W	WUCOLS	NOTES
	264	ACHILLEA MILLEFOLIUM	WHITE YARROW	1 GALLON	2' x 2'	L	
	46	CAREX TUMULICOLA	BERKELEY SEDGE	1 GALLON	2' x 2'	L	
	31	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	1 GALLON	2' x 2'	L	
	28	FESTUCA GLAUCA	COMMON BLUE FESCUE	1 GALLON	2' x 2'	L	
	90	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GALLON	3' x 3'	L	
	45	MUHLENBERGIA RIGENS	DEER GRASS	5 GALLON	3' x 3'	L	
	10	SALVIA OFFICINALIS	GARDEN SAGE	1 GALLON	2' x 2'	L	
GROUNDCOVER LEGEND							
SYMBOL	SPACING	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	H x W	WUCOLS	NOTES
	48" O.C. SPACING	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	1 GALLON	2' x 6'	L	
	24" O.C. SPACING	EPILOBIUM CANUM 'EVERETT'S CHOICE'	EVERETT'S CHOICE CALIFORNIA FUSCHIA	1 GALLON	1' x 3'	L	
BIOTREATMENT AREA LEGEND							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	H x W	WUCOLS	NOTES
	27	CHONDROPETALUM TECTORUM	CAPE RUSH	1 GALLON	3' x 4'	L	
	96	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GALLON	2' x 2'	L	

PLANTING NOTES

- TO ALLOW PROPOSED TREES TO REACH THEIR MATURITY, EACH TREE SHALL HAVE THE FOLLOWING CUBIC FEET OF NON-COMPACTED SOIL: 700 CUBIC FEET FOR SMALL TREES, 1,400 CUBIC FEET FOR MEDIUM TREES, 2,100 CUBIC FEET FOR LARGE TREES.
- ALL PLANTING AREAS SHALL RECEIVE 3" THICK BARK MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.
- ALL STORM WATER TREATMENT AREAS SHALL RECEIVE 3" OF COMPOSTED, NON-FLOATABLE MULCH.
- TO MAXIMIZE DISPERSAL OF RUNOFF THROUGHOUT THE STORMWATER TREATMENT SYSTEMS, THE PROJECT WILL NOT LOCATE TREES WITHIN THE BASIN OR BANK PLANTING ZONES OF BIORETENTION AREAS, BUT RATHER ON THE UPLAND PLANTING ZONES OF BIORETENTION AREAS PER APPENDIX D OF THE SCVURPPP C.3 STORMWATER HANDBOOK. TREES WILL ALSO NOT BE LOCATED DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLETS (CURBS, OPENINGS, DOWNSPOUTS, CHANNEL/GRATES, ETC.)
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.
- PLANT LIST SIZES AND QUANTITIES SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.
- A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WEL0) OR LOCAL AGENCY ADOPTED WEL0. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.
- SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.
- ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.
- LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.
- TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR MUST CONTACT THE CITY ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.
- ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LIKE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURED 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS. CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OF 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT-OF-WAY. ACTUAL STREET TREE LOCATIONS WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE OF THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIFY THE SPECIES.



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SANTA CRUZ, CA 95060**

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CHECKED BY:	JH	
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SCALE:	NOT TO SCALE	
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PLANTING LEGEND AND NOTES

ARTIFICIAL TURF (GROUND LEVEL):

- VEHICULAR GRADED TURF



CONCRETE PAVING (GROUND LEVEL):

- COLOR: NATURAL GRAY
- FINISH: LIGHT BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL



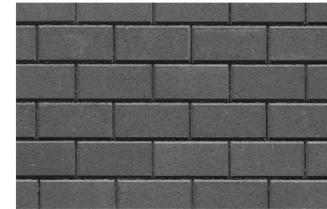
PAVER, TYPE 1 (GROUND LEVEL):

- WESTMOUNT PAVER by TECHNO-BLOC
- COLOR: SHALE GREY
- FINISH: HD2 SMOOTH
- LAYING PATTERN: HERRINGBONE LAYING PATTERN 05 FOR WESTMOUNT



PAVER, TYPE 2 (GROUND LEVEL):

- VICTORIEN PAVER by TECHNO-BLOC
- COLOR: ONYX BLACK
- FINISH: SMOOTH
- LAYING PATTERN: LINEAR LAYING PATTERN FOR VICTORIEN PAVERS



COUNTER WITH BBQS AND SINK:

- SHALL BE TBD



PAVER, TYPE 3 (ROOF DECK ON PEDESTAL PAVER SYSTEM):

- SLEEK PAVER by TECHNO-BLOC
- COLOR: GREYED NICKEL
- FINISH: HD2 SMOOTH
- LAYING PATTERN: LINEAR LAYING PATTERN 01 FOR SLEEK PAVERS



PAVER, TYPE 4 (ROOF DECK ON PEDESTAL PAVER SYSTEM):

- INDUSTRIA SMOOTH by TECHNO-BLOC
- COLOR: GREYED NICKEL
- FINISH: HD2 SMOOTH
- LAYING PATTERN: LINEAR LAYING PATTERN 01 FOR INDUSTRIA 300 SERIES PAVERS



PAVER, TYPE 5 (ROOF DECK ON PEDESTAL PAVER SYSTEM):

- MODULAR DECKING BAMBOO WOOD TILES by BISON
- COLOR: DARK BROWN
- FINISH: SMOOTH
- PEDESTAL: SCREWJACK



LOUNGE SEATING:

- SHALL BE TBD



BIKE RACK, TYPE 1:

- PARK-IT BIKE RACKS by BARCO PRODUCTS
- MATERIAL: STEEL
- BIKE CAPACITY: SEVEN (7) BIKES



BIKE RACK, TYPE 2:

- CAPITOL BIKE RACK by FORMS + SURFACES
- COLOR: ALUMINUM POWDER COATING
- BIKE CAPACITY: TWO (2) BIKES



BUILT-IN BENCH:

- SOLID SERIF HUG A TUB AND SOLID SERIF WALL BENCHES by STREETLIFE
- PLANTER FINISH: POWDER COATING



BAR SEATING:

- SHALL BE TBD



PICNIC TABLE - ROOF DECK:

- SHALL BE TBD



PICNIC TABLE - GROUND LEVEL:

- SHALL BE TBD



UNIQUE VIEWING ROOM:

- SHALL BE TBD



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FURNISHINGS AND MATERIALS

PREFAB ROOF DECK RAISED PLANTER:
 • SHALL BE TBD



BIOTREATMENT RAISED PLANTER (GROUND LEVEL):
 • SHALL BE TBD



RAISED PLANTER (GROUND LEVEL):
 • SHALL BE TBD



WOOD GATE, 8'-0" HEIGHT:
 • SHALL BE TBD



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**FURNISHINGS AND
 MATERIALS**

HYDROZONE LEGEND	
DESCRIPTION	SYMBOL
DRIP IRRIGATION FOR SHRUBS, BUBBLERS FOR STREET AND ON-SITE TREES	

NOTES:

1. FINAL DESIGN SHALL CONFORM TO AB1881 OR CITY ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.
2. ALL PLANTING AREAS SHOWN WILL BE COMMONLY MAINTAINED BY THE OWNER AND IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
3. IRRIGATION SYSTEMS WILL BE PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION AND HYDROSEEDING.
4. ALL TREE AND SHRUB AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. TREE AND SHRUB AREAS SHALL BE ON SEPARATE VALVES ACCORDING TO PLANT WATER REQUIREMENTS AND EXPOSURE.
5. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
6. ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS TO THE MAXIMUM EXTENT POSSIBLE.
7. THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
 - A. LOCATIONS AND SIZES OF WATER POINTS OF CONNECTION.
 - B. LOCATION, TYPE, AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, AND QUICK COUPLERS.
 - C. STATIC WATER PRESSURE AT THE POINTS OF CONNECTION.
 - D. FLOW RATE (GALLONS PER MINUTE), REMOTE CONTROL VALVE SIZE, AND DESIGN OPERATING PRESSURE (PSI) FOR EACH STATION.
 - E. HYDROZONE INFORMATION TABLE.
 - F. WATER USE CALCULATIONS.
8. A NEW IRRIGATION WATER METER SHALL BE INSTALLED FOR THE LANDSCAPE IMPROVEMENTS.
9. THIS PROJECT IS NOT PART OF A RECYCLED WATER PROGRAM. POTABLE WATER WILL BE USED FOR IRRIGATION.

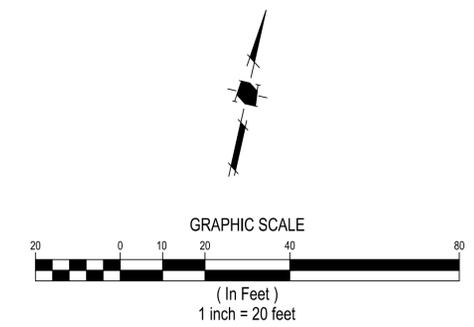
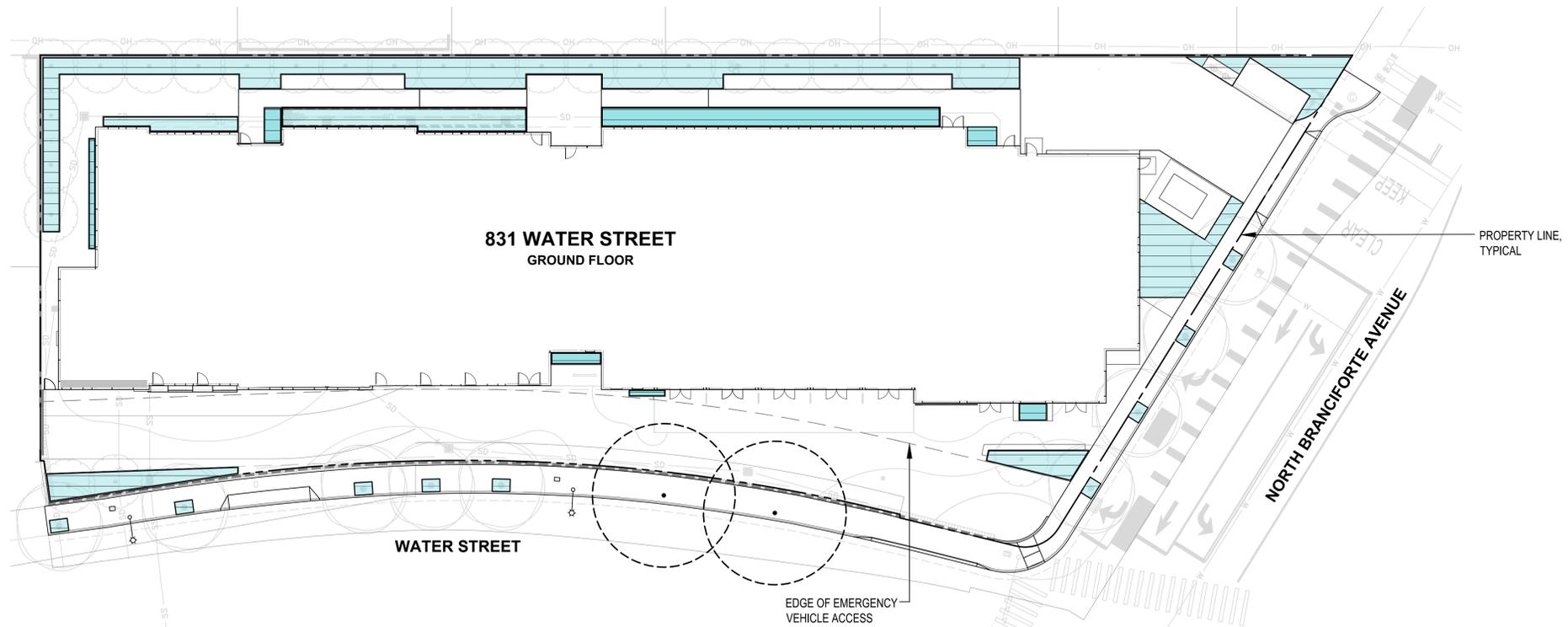


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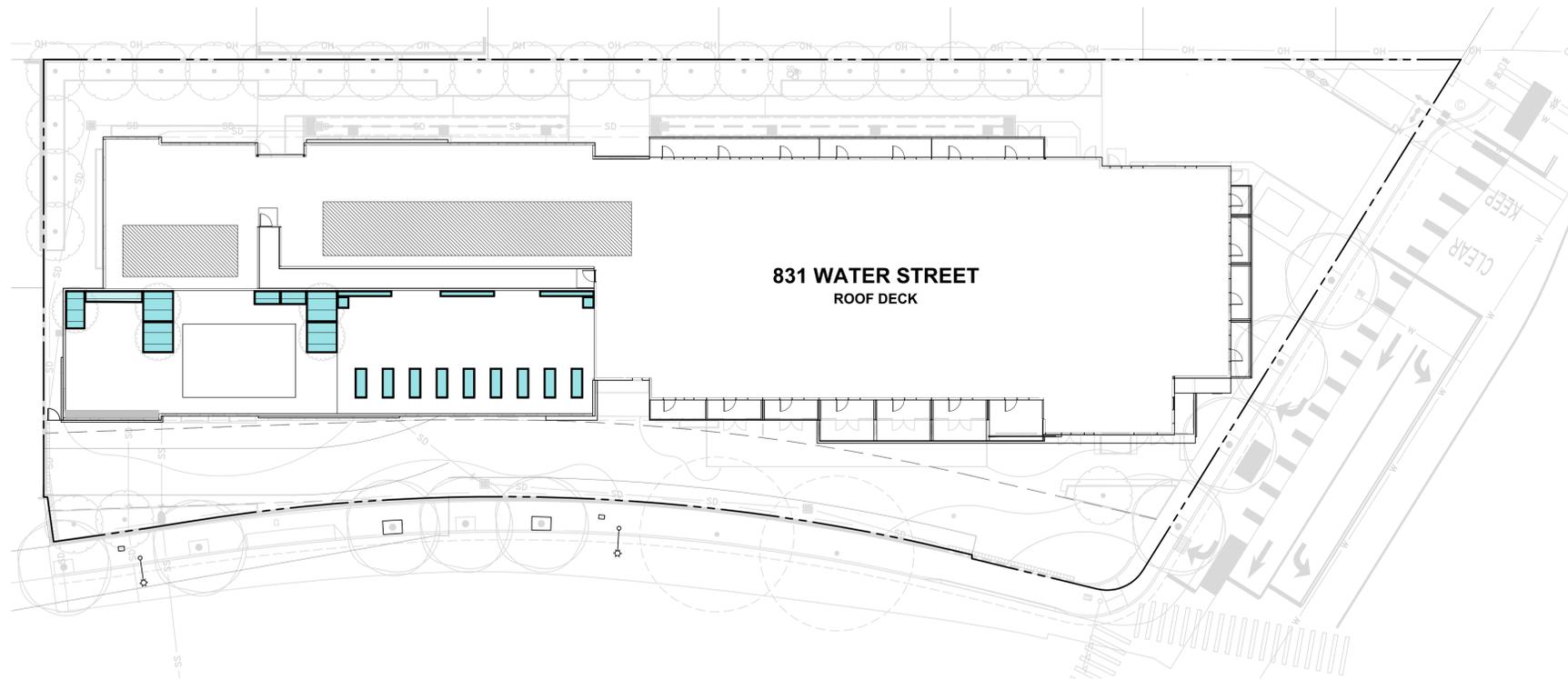
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**HYDROZONE PLAN
GROUND FLOOR**



HYDROZONE LEGEND	
DESCRIPTION	SYMBOL
DRIP IRRIGATION FOR SHRUBS, BUBBLERS FOR STREET AND ON-SITE TREES	

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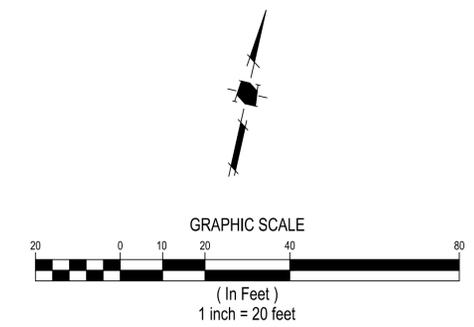
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**HYDROZONE PLAN
ROOF DECK**

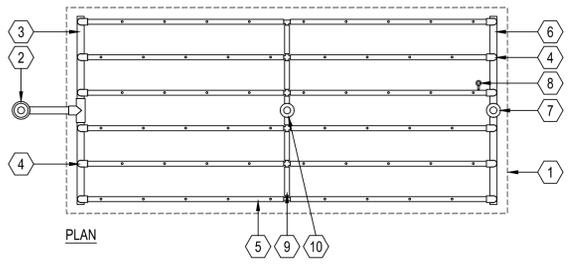
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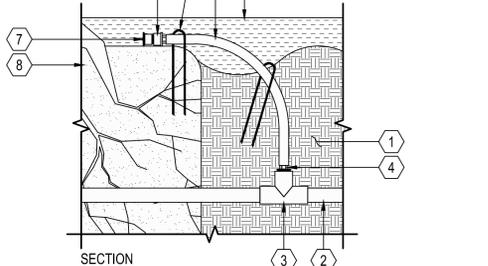
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- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATIONS.
 2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. SPACE DRIPLINE PER IRRIGATION LEGEND. PLACE PERIMETER DRIPLINE 2" TO 4" FROM PLANTING AREA PERIMETER.
- 1 PLANTING AREA PERIMETER
 - 2 DRIP CONTROL VALVE
 - 3 PVC SUPPLY MANIFOLD
 - 4 PVC CONNECTION, MANIFOLD TO DRIPLINE
 - 5 DRIPLINE
 - 6 PVC FLUSH MANIFOLD
 - 7 DRIPLINE FLUSH VALVE
 - 8 DRIPLINE OPERATION INDICATOR
 - 9 AIR / VACUUM RELIEF LATERAL, BLANK DRIPLINE TUBING, PLACED ON MOUND OR BERM
 - 10 AIR / VACUUM RELIEF VALVE, PLACED AT HIGH POINT, PLUMBED TO BLANK DRIPLINE TUBING



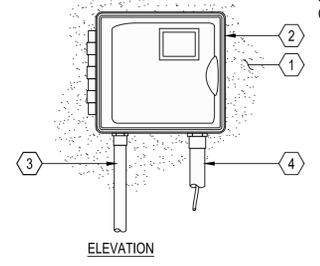
H DRIPLINE END-FEED LAYOUT
 SCALE: 1" = 1'-0"

- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATIONS.
 2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. ALLOW 6" BETWEEN TRUNK AND BUBBLER.
 4. IF APPLICABLE, PLACE ALL BUBBLERS ON UPHILL SIDE OF TRUNK.
 5. CONCEAL ALL EQUIPMENT UNDER MULCH.
- 1 NATIVE SOIL
 - 2 IRRIGATION LATERAL
 - 3 PVC TEE, SxSxT, WITH 3/4" THREADED OUTLET
 - 4 SUPER FUNNY PIPE ADAPTER, MALE THREADS, 3/4" x 3/8"
 - 5 SUPPER FUNNY PIPE, 3/8"
 - 6 SUPER FUNNY PIPE ADAPTER, FEMALE THREADS, 1/2" x 3/8"
 - 7 BUBBLER
 - 8 ROOT BALL
 - 9 SOIL STAPLE, SEE SOIL STAPLE DETAIL
 - 10 MULCH



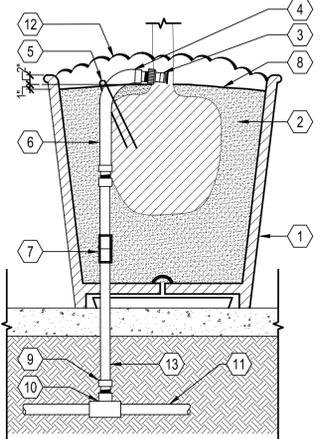
E TREE BUBBLER
 SCALE: 2" = 1'-0"

- NOTES:**
 1. THIS DRAWING IS PROVIDED FOR REFERENCE ONLY.
 2. INDIVIDUAL PROJECT REQUIREMENTS AND LOCAL CODES MAY DICTATE DIFFERENCES IN INSTALLATION PROCEDURES THAT ARE NOT IDENTIFIED ON THIS DETAIL.
 3. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES.
 4. VERIFY CONTROLLER LOCATION WITH PROJECT ELECTRICIAN.
 5. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS.
- 1 WALL SURFACE
 - 2 WALL MOUNT CONTROLLER, SEE IRRIGATION LEGEND FOR SPECIFICATION
 - 3 ELECTRICAL SUPPLY CONDUIT, CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - 4 IRRIGATION CONTROL WIRE IN CONDUIT, SIZE AND TYPE PER LOCAL CODES



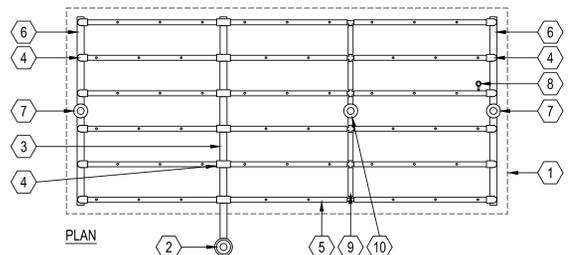
B WALL MOUNT CONTROLLER
 SCALE: 2" = 1'-0"

- 1 POTTERY
- 2 PLANT BACKFILL-PER PLANTING DETAILS
- 3 FLOOD BUBBLER ADJUSTABLE NOZZLE-PER IRRIGATION LEGEND. SECURE TO SHRUB ADAPTER. POSITION BUBBLER OVER ROOT BALL AND ABOVE FINISHED GRADE
- 4 UV RADIATION RESISTANT 1/2" PVC SCH40 (MIPT X SLIP) MALE ADAPTER
- 5 TUBING STAKES PVC COATED 12 GAUGE WIRE U STAKES QUANTITY AS NEEDED TO SECURE TUBING (2 MIN) SALCO OR EQUAL
- 6 I.P.S. FLEXIBLE SCH 40 PVC HOSE (BLACK)
- 7 1/2" CHECK VALVE
- 8 FINISHED GRADE
- 9 1/2" PVC SCH 40 (MIPT X SLIP) MALE ADAPTER UV RADIATION RESISTANT
- 10 PVC SCH 40 TEE OR ELL 3/4" X 3/4" X 1/2" (SLIP X SLIP X FIPT)
- 11 PVC LATERAL PIPE- SIZE PER PLAN
- 12 TOPPING PEBBLES. SEE POTTERY LEGEND
- 13 1/2" PVC PIPE SCH 40



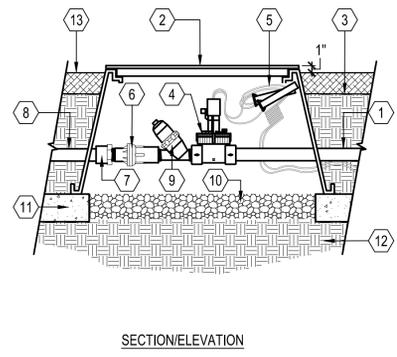
J POTTERY IRRIGATION
 SCALE: N.T.S.

- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATIONS.
 2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. SPACE DRIPLINE PER IRRIGATION LEGEND. PLACE PERIMETER DRIPLINE 2" TO 4" FROM PLANTING AREA PERIMETER.
- 1 PLANTING AREA PERIMETER
 - 2 DRIP CONTROL VALVE
 - 3 PVC SUPPLY MANIFOLD
 - 4 PVC CONNECTION, MANIFOLD TO DRIPLINE
 - 5 DRIPLINE
 - 6 PVC FLUSH MANIFOLD
 - 7 DRIPLINE FLUSH VALVE
 - 8 DRIPLINE OPERATION INDICATOR
 - 9 AIR / VACUUM RELIEF LATERAL, BLANK DRIPLINE TUBING, PLACED ON MOUND OR BERM
 - 10 AIR / VACUUM RELIEF VALVE, PLACED AT HIGH POINT, PLUMBED TO BLANK DRIPLINE TUBING



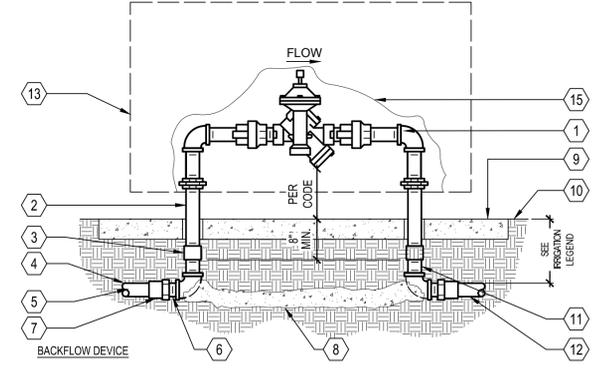
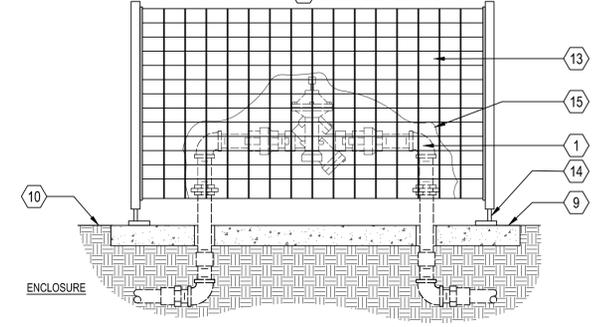
G DRIPLINE CENTER-FEED LAYOUT
 SCALE: 1" = 1'-0"

- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
 2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1 PVC MAINLINE
 - 2 PLASTIC VALVE BOX, HEAT BRAND STATION NUMBER ON LID IN 2" CHARACTERS.
 - 3 FINISHED GRADE
 - 4 VALVE, SEE LEGEND
 - 5 CONTROL WIRES WITH 36" SERVICE COIL AND WATERPROOF WIRE CONNECTIONS, SEE LEGEND.
 - 6 PRESSURE REGULATOR, SEE LEGEND
 - 7 SCHEDULE 80 UNION
 - 8 PVC LATERAL
 - 9 FILTER, SEE LEGEND
 - 10 1 CU. FT. PEA GRAVEL SUMP
 - 11 BRICK SUPPORTS
 - 12 NATIVE GRADE
 - 13 BARK MULCH / PLANTING (1" BELOW VALVE LID)



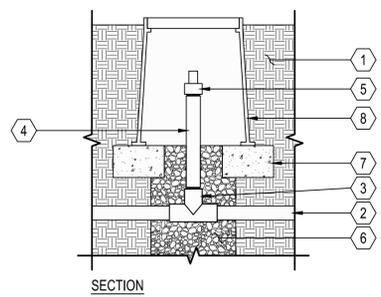
D DRIPLINE REMOTE CONTROL VALVE, PRESSURE REGULATOR AND FILTER
 SCALE: N.T.S.

- NOTES:**
 1. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 2. INSTALL GREEN WEATHER GUARD BACKFLOW BLANKET OR APPROVED EQUAL.
 3. DISSIMILAR METALS SHALL BE SEPARATED BY AN APPROVED DIELECTRIC FITTING.
 4. ENCLOSURE SHALL BE STRONG BOX LOW PROFILE SMOOTH TOUCH SBBC-30CR OR SBBC-45CR, COLOR DARK GREEN OR APPROVED EQUAL. ENCLOSURE SHALL BE SIZED BASED ON BACKFLOW DEVICE SIZE. CONTACT MANUFACTURER V.I.T. PRODUCTS 1-800-729-1314.
- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY PER IRRIGATION LEGEND
 - 2 SCH.40 GALVANIZED STEEL NIPPLES-2 TOTAL
 - 3 SCH. 80 PVC COUPLING-2 TOTAL
 - 4 SCH. 80 PVC 90° ELBOW-2 TOTAL (T x T CONNECTION)
 - 5 PVC MAIN LINE TO POINT OF CONNECTION
 - 6 BUSH AS NECESSARY FOR SIZE TRANSITION
 - 7 SCH. 80 PVC MALE ADAPTER-2 TOTAL
 - 8 CONCRETE SUPPORT BLOCK
 - 9 POURED CONCRETE BASE-6" MIN. THICKNESS-EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE
 - 10 FINISHED GRADE
 - 11 SCH. 80 PVC NIPPLE-2 TOTAL
 - 12 PVC MAIN LINE TO IRRIGATION SYSTEM
 - 13 BACKFLOW ENCLOSURE-SEE NOTE 4.
 - 14 ANCHOR ROD (TYPICAL)
 - 15 BACKFLOW BLANKET



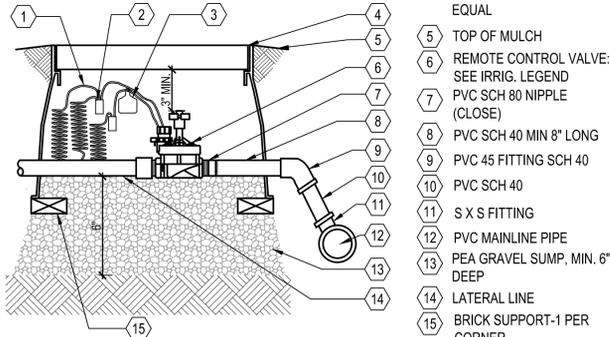
A REDUCED PRESSURE BACKFLOW DEVICE ENCLOSURE AND BLANKET
 SCALE: N.T.S.

- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATIONS.
 2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. ONE FLUSH VALVE SHALL BE PLACED FOR EVERY 7 GPM PER ZONE AT LOW POINTS.
- 1 NATIVE SOIL
 - 2 PVC FLUSH MANIFOLD, SEE DRIPLINE LAYOUT DETAILS
 - 3 PCV TEE, SxSxT, WITH 3/4" THREADED OUTLET
 - 4 3/4" PVC NIPPLE, SCH 80
 - 5 DRIPLINE FLUSH VALVE
 - 6 PEA GRAVEL SUMP, 6" WIDE, 18" DEEP
 - 7 BRICK SUPPORTS
 - 8 PLASTIC VALVE BOX, 6" ROUND, LID SHALL BE 1" ABOVE FINISHED GRADE, HEAT BRAND "FV" ON LID IN 1" LETTERS



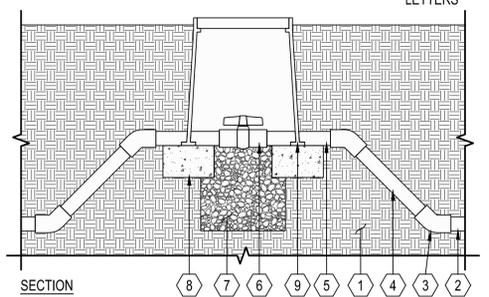
I DRIPLINE FLUSH VALVE
 SCALE: 2" = 1'-0"

- NOTES:**
 1. DO NOT LOCATE REMOTE CONTROL VALVE IN LAWN
 2. COMPACT SOIL AROUND BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL BUNDLE AND TAPE CONTROL WIRE TO MAINLINE EVERY 10'
 3. SPLICES IN CONTROL WIRE ARE NOT ALLOWED BETWEEN CONTROLLER AND VALVE
 4. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
 5. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- 1 18" LENGTH EXPANSION LOOP
 - 2 SCOTCH LOK #3577 CONNECTOR SEALING PACK OR EQUAL
 - 3 ID TAG FOR VALVE STATION NUMBER
 - 4 VALVE BOX: CARSON SPECIFICATION GRADE, NDS PRO SERIES, OR EQUAL
 - 5 TOP OF MULCH
 - 6 REMOTE CONTROL VALVE: SEE IRRIG. LEGEND
 - 7 PVC SCH 80 NIPPLE (CLOSE)
 - 8 PVC SCH 40 MIN 8" LONG
 - 9 PVC 45 FITTING SCH 40
 - 10 PVC SCH 40
 - 11 S X S FITTING
 - 12 PVC MAINLINE PIPE
 - 13 PEA GRAVEL SUMP, MIN. 6" DEEP
 - 14 LATERAL LINE
 - 15 BRICK SUPPORT-1 PER CORNER



F REMOTE CONTROL VALVE
 SCALE: N.T.S.

- NOTES:**
 1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATIONS.
 2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1 NATIVE SOIL
 - 2 IRRIGATION MAINLINE, MINIMUM 18" DEEP
 - 3 PVC ELBOW, 45 DEGREES, SCH 40
 - 4 PVC, SCH 40
 - 5 PVC, SCH 40, MINIMUM 8" LONG BOTH SIDE OF BALL VALVE
 - 6 BALL VALVE
 - 7 PEA GRAVEL SUMP, 6" WIDE, 6" DEEP
 - 8 BRICK SUPPORTS
 - 9 PLASTIC VALVE BOX, 6" ROUND, LID SHALL BE 1" ABOVE FINISHED GRADE. HEAT BRAND "BV" ON LID IN 1" LETTERS



C BALL VALVE
 SCALE: 2" = 1'-0"

NO	DATE	DESCRIPTION

PROJECT NO:	5336.10
CAD DWG FILE:	533610LPD.DWG
DESIGNED BY:	JW
DRAWN BY:	JW
CHECKED BY:	JH
DATE:	SEPTEMBER 9, 2024
SCALE:	AS SHOWN
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