

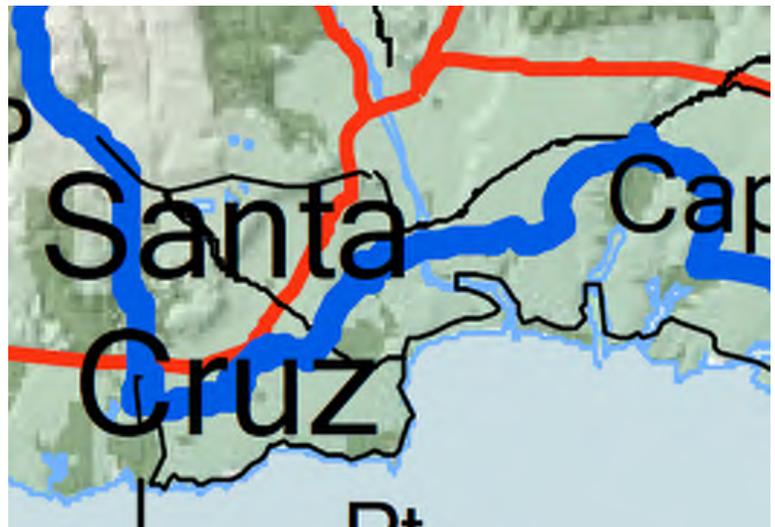
SB 35 Environmental Mapping – 831 Water Street

Establishing that the project at 831 Water Street, in Santa Cruz, is outside certain regulatory zones as required for SB 35 threshold compliance.

1. Coastal zone
2. Prime farmland or farmland of statewide importance
3. Wetlands
4. High or very high fire hazard severity zones
5. Hazardous waste sites
6. Earthquake fault zone (unless the development complies with applicable seismic protection building code standards)
7. Floodplain or floodway designated by FEMA
8. Lands identified for conservation in an adopted natural community conservation plan or habitat conservation plan
9. Habitat for a state or federally protected species
10. Land under a conservation easement

1. California Coastal Zone: <https://www.coastal.ca.gov/maps/czb/>

The project is not within the California Coastal Zone. The heavy blue line is the coastal zone boundary and the project site is inland of the Coastal Zone boundary.



2. Prime farmland or farmland of statewide importance:

http://www.arcgis.com/home/webmap/viewer.html?url=http%3A%2F%2Fspatialservices.conservati.on.ca.gov%2Farcgis%2Frest%2Fservices%2FDLRP%2FCaliforniaImportantFarmland_2016%2FMapServer&source=sd

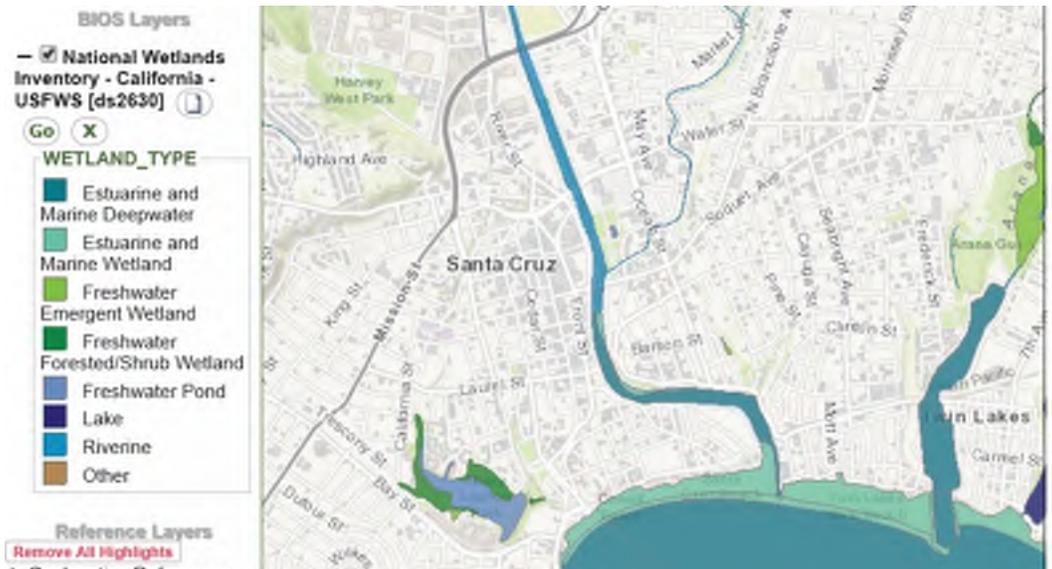
The project site is not within land designated as prime farmland or farmland of statewide importance. The project site is shown well within the “pink” area, which is designated as “URBAN AND BUILT-UP LAND”.



	PRIME FARMLAND
	FARMLAND OF STATEWIDE IMPORTANCE
	USUQUE FARMLAND
	FARMLAND OF LOCAL IMPORTANCE
	CRAZING LAND
	URBAN AND BUILT-UP LAND
	OTHER LAND
	WATER

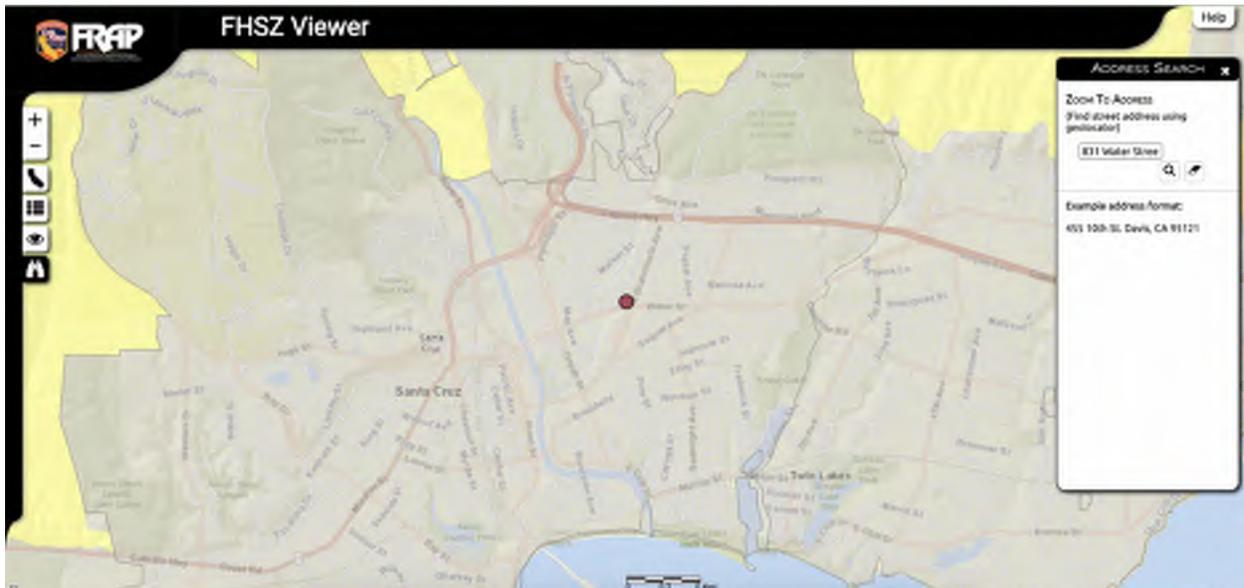
3. Wetlands - <https://map.dfg.ca.gov/bios/?al=ds2630>

As shown on the USFWS National Wetlands Inventory for California, the project site is not adjacent to any body of water or designated wetland area.



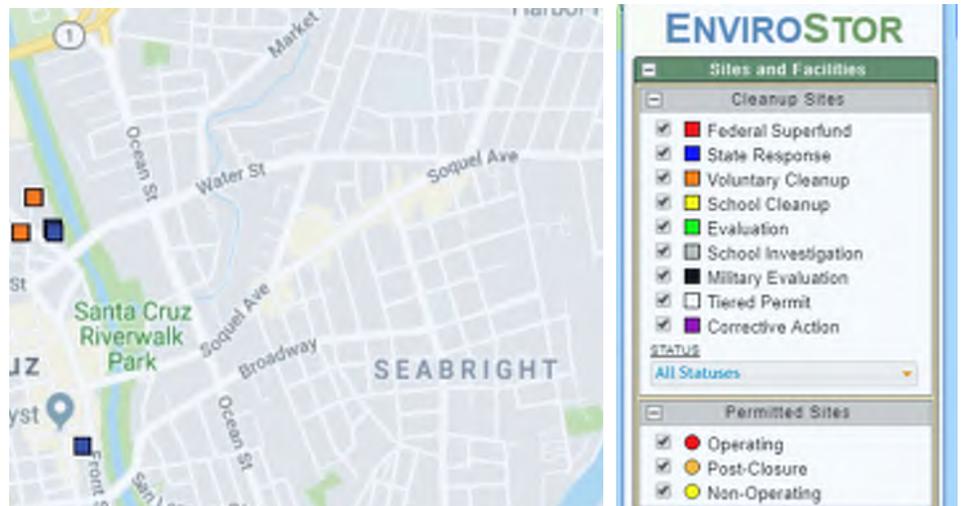
4. High or very high fire hazard severity zones: <https://egis.fire.ca.gov/FHSZ/>

The project is not in a high or very high fire hazard severity zone.



5. Hazardous waste sites - <https://www.envirostor.dtsc.ca.gov/public/map/?assembly=15>

The project site is not listed or shown on the EnviroStor map.



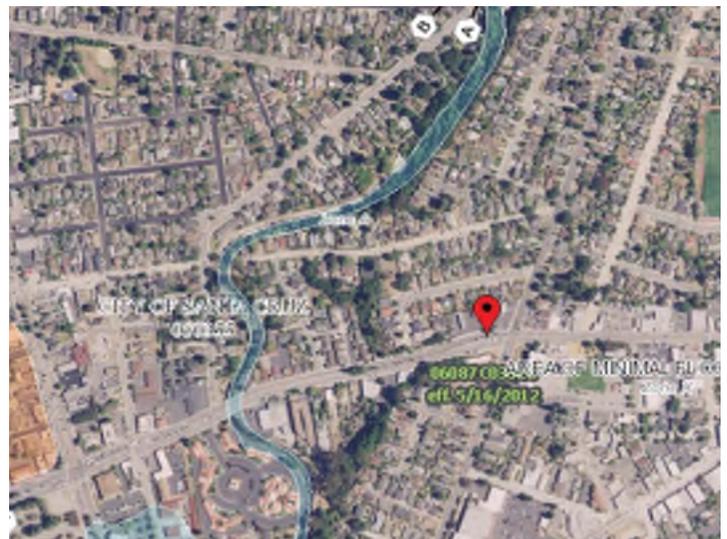
6. Earthquake fault zone (unless the development complies with applicable seismic protection building code standards) - <https://maps.conservation.ca.gov/cgs/EQZApp/app/>

The project site is not shown on the California Department of Conservation Earthquake Zones of Required Investigation Map. The parcel is designated as “Parcel is not in a zone or has not been evaluated.”



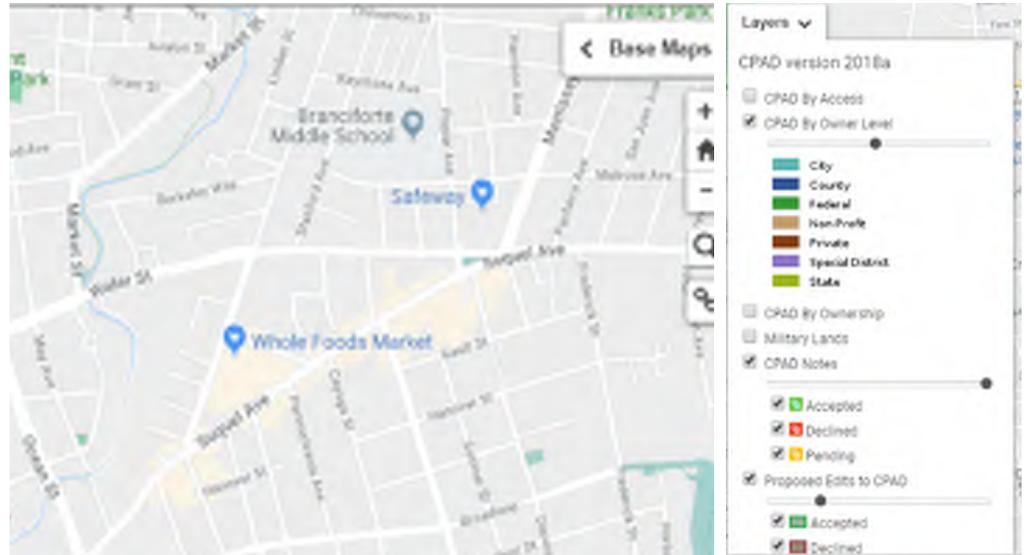
7. Floodplain or floodway designated by FEMA <https://msc.fema.gov/portal/search#searchresultsanchor>

The project site is shown on the FEMA Map as being within Zone X, “Area of Minimal Flood Hazard.”



8. Lands identified for conservation in an adopted natural community conservation plan or habitat conservation plan - <http://www.calands.org/map>

The project site is not shown as being within any natural community or habitat conservation plan.

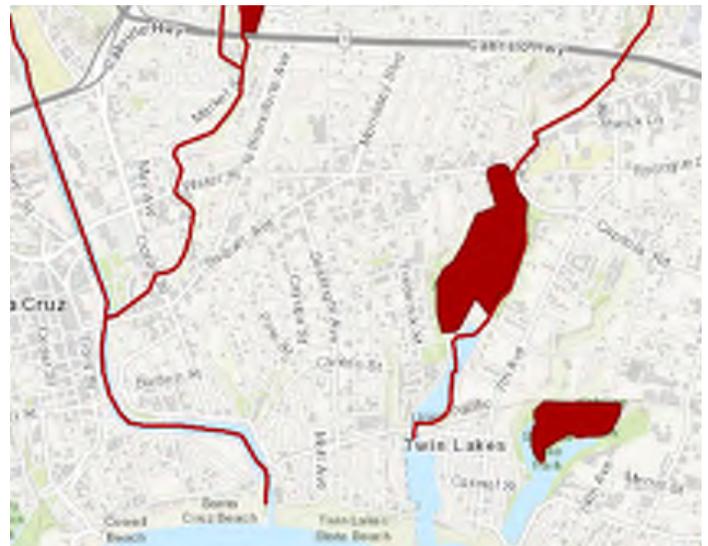


9. Habitat for a state or federally protected species

Federal:

<https://fws.maps.arcgis.com/home/webmap/viewer.html?webmap=9d8de5e265ad4fe09893cf75b8dbfb77>

The project site is not within any habitat for any state or federally protected species. Features in red on the map are current critical habitat for Threatened and Endangered Species. The project site is depicted with a yellow star.



SB35 Screening Analysis

To: City of Santa Cruz
From: Rhoades Planning Group
Date: July 1, 2021
Re: Development Envelope Analysis for 823/831 Water Street, Santa Cruz, CA

This memorandum presents the results of an analysis of the feasibility of using an SB35 entitlement strategy for a development at 823/831 Water Street in the City of Santa Cruz. The SB35 process is a powerful tool but has exacting requirements that an applicant must meet. The following sections and tables show the following:



1. Summary of Findings
2. Basic Site Information
3. Background on SB35 Process
4. Explanation of
Historic/Archaeological Resource Issues
5. Detailed Table of SB35 Standards

1. *Summary of Findings*

Our screen has found that 831 Water Street is eligible for an SB35 application

Basic Site Information

The proposed project at 823/831 Water Street comprises parcels labelled by the City as 823, 831, 833, 905 and 907 Water Street. The site sits at the intersection of Water Street, a main thoroughfare that bisects the City east to west, and North Branciforte Ave. The project site comprises of approximately 27,500 square feet and currently contains a one-story commercial building. The original Villa de Branciforte settlement is thought to have extended from this intersection several blocks north

Table 1: Surrounding Uses and Zoning

<i>Direction</i>	<i>Use</i>	<i>Zoning</i>
North	Residential	R15 – Single Family Residential
East	Auto Repair	C-C
South	Commercial/Civic	C-C and PF (public facility)
West	Commercial	C-C

and south and includes the school campus diagonally across the intersection is California Historic Landmark No. 469.¹

This corner is zoned C-C (Community Commercial District) within the MXHD (Mixed High Density) general plan area. The Zoning Ordinance envisions this zone to provide a full range of retail, office, mixed-use residential, and commercial services and even includes limited industrial uses.

2. **Background on SB 35/Government Code Section 65913.4**

The legislature enacted SB 35 in 2017 as a response to California's housing crisis and, specifically, the negative impact that the lack of housing production is having on the State's economic vitality, environmental goals and social diversity.

Under SB 35, cities that did not submit their most recent required annual progress report before the April 1 statutory deadline, or who are not on track to meet their Regional Housing Needs Allocation (RHNA) housing production obligations are required to follow a streamlined, ministerial approval process for qualified housing projects. In June 2020², HCD published their semi-annual determination of jurisdictions performance in submitting their progress reports and meeting their RHNA targets. HCD determined that the City of Santa Cruz is subject to SB 35 streamlining for projects providing 50% of units affordable to households earning less than 80% AMI threshold.

The SB 35 approval process requires cities to approve projects within 90 days of submittal of an application if they propose 150 or fewer units, and such approval must be based only on whether the project complies with "objective planning standards." To qualify, the project must meet several criteria, including providing certain percentages of the units affordable to households with incomes below 80% area median income; paying prevailing wage for construction labor (for projects with more than 75 units); and meeting all objective zoning and design review standards.

The terms "objective zoning standards" and "objective design review standards" are narrowly defined to mean "standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal." A comprehensive checklist of SB 35 requirements is found in the table below in Section 4. Because the statute mandates that the process is ministerial and that projects are judged purely on objective standards that do not involve the exercise of discretion, CEQA does not apply to the SB 35 process. *See* 14 Cal. Code Regs. §15268(a) ("Ministerial projects are exempt from the requirements of CEQA"); *see also* Pub. Res. Code §21080(b)(1).

For the purposes of SB 35, "additional density or any other concessions, incentives, or waivers of development standards granted pursuant to the Density Bonus Law in Section 65915" may not be considered when assessing the project's compliance with the City's objective standards (Gov. Code § 65914.4(a)(5)). The project qualifies for a density bonus under the State Density Bonus Law, because it will provide 20% of its base project units with rent affordable to households earning 80% of AMI. The

¹ http://ohp.parks.ca.gov/?page_id=21523

² <https://www.hcd.ca.gov/community-development/accountability-enforcement/docs/sb35determinationmethodology10012020.pdf>

benefits afforded under State Density Bonus Law also include waivers/modifications of development standards that would otherwise “physically preclude” the density bonus project and two concessions/incentives.

3. SB 35: Government Code Section 65913.4 (SB 35) Review and Approval Criteria

The Table below summarizes the proposed project compliance with SB 35 eligibility requirements.

Table 2: Government Code Section 65913.4 Eligibility Requirement		Requirement satisfied?
1.	<p>Is the project a multifamily housing development with 2 or more units? Subd. (a)(1).</p> <p>Response: The project is mixed use multifamily housing development with 149 units.</p>	Yes
2.	<p>Is the project located in an area designated by the U.S. Census Bureau as an urbanized area? Subd. (a)(2)(A).</p> <p>Response: The project is located inside an urbanized area in the City of Santa Cruz. See: https://www2.census.gov/geo/maps/dc10map/UAUC_RefMap/ua/ua79336_santa_cruz_ca/DC10UA79336.pdf</p>	Yes
3.	<p>Is more than 75% of the project site’s perimeter developed with urban uses? Subds. (a)(2)(B), (h)(8).</p> <p>Response: SB 35 defines “urban uses” as “any current or former residential, commercial, public institutional, transit or transportation passenger facility, or retail use, or any combination of those uses.” Based on these standards, the entirety of the Project site’s perimeter is developed with urban uses including current residential and commercial uses.</p>	Yes

Table 2: Government Code Section 65913.4 Eligibility Requirement	Requirement satisfied?
<p>4. Does the site have either a zoning or a general plan designation that allows for residential use or residential mixed-use development, with at least two-thirds of the square footage designated for residential use? Subd. (a)(2)(C).</p> <p>Response: The General Plan land use designation for the site is “MXHD – Mixed High Density” within the Lower Eastside neighborhood. The general plan states that “These mixed-use designations support the General Plan’s goals and policies by encouraging new housing in places well served by transit”. The high-density plan area allows residential uses by right including a maximum FAR of 1.75 and a maximum of 30 dwelling units per acre. (Page 42 of General Plan).</p> <p>The zoning district, “C-C Community Commercial”, seeks to “encourage a harmonious mixture of a wide variety of commercial and residential activities”. (S.C.M.C 41.10.700). The zoning district allows for residential and mixed-use residential with an administrative use permit ((S.C.M.C 41.10.730).</p> <p>The gross building area is approximately 40,000 sq. ft., of which all but about 9,000 sq. ft., (approximately 22.5%) is designated for residential use. This includes the calculation of the parking floor area, which has been parsed (as shown on the site plans) to include the area of parking dedicated to residential and to non-residential uses. Pursuant to HCD’s guidelines for SB 35, the parking area for the residential portion of the project is included as residential in the residential floor area calculation.</p>	Yes
<p>5. Has the Department of Housing and Community Development (HCD) determined that the local jurisdiction is subject to SB 35? Gov’t Code Sec. 65913.4(a)(4)(A).</p> <p>Response: In June, 2020, HCD issued a revised determination regarding which jurisdictions throughout the State are subject to streamlined housing development under SB 35. The City of Santa Cruz is subject to SB 35 because of it’s insufficient progress towards providing very low-income housing. Therefore, projects are eligible for streamlining under SB 35 for proposed developments with at least 50% affordable units. See also:</p> <p>https://www.hcd.ca.gov/community-development/accountability-enforcement/docs/sb35determinationmethodology10012020.pdf</p>	Yes

Table 2: Government Code Section 65913.4 Eligibility Requirement		Requirement satisfied?
6.	<p>Will the project include the required percentage of below market rate housing units? Subd. (a)(3) and (a)(4)(B)</p> <p>Response: The project meets the required 50% of below-market rate housing units since the project proposed 77 units out of a total of 149, which will be available to low income households earning not more than 80% AMI. Therefore the project meets the 50% threshold at 80% of AMI (as well as entitling the project to a 50% density bonus).</p>	Yes
7.	<p>Is the project consistent with “objective zoning standards” and “objective design review standards?” Subd. (a)(5)</p> <p>Response: The Project will comply with all applicable objective standards, except where the project is entitled to waivers/modifications and concessions/incentives pursuant to State Density Bonus Law, as permitted by SB 35. SB 35 defines “objective planning standards” narrowly: “standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal.”</p>	Yes

<p>8. Is the project located outside of all types of areas exempted from SB 35? Subd. (a)(6-7), (10).</p> <p><u>Subd.(a)(6) exempt areas:</u></p> <ul style="list-style-type: none"> - Coastal zone - Prime farmland or farmland of statewide importance - Wetlands - High or very high fire hazard severity zones - Hazardous waste sites - Earthquake fault zone (unless the development complies with applicable seismic protection building code standards) - Floodplain or floodway designated by FEMA - Lands identified for conservation in an adopted natural community conservation plan or habitat conservation plan - Habitat for a state or federally protected species - Land under a conservation easement <p>Response: The project site is not located on any of the above areas. See Attachment A for detailed mapping.</p> <p><u>Subd. (a)(7) exempt areas:</u></p> <ul style="list-style-type: none"> - A development that would require the demolition of housing that: <ul style="list-style-type: none"> - Is subject to recorded rent restrictions - Is subject to rent or price control - Was occupied by tenants within the last 10 years - A site that previously contained housing occupied by tenants within past 10 years - A development that would require the demolition of a historic structure on a national, state, or local register - The property contains housing units that are occupied by tenants, and units at the property are/were offered for sale to the general public by the subdivider or subsequent owner of the property. <p>Response: There have been no dwelling units on the property at any point during the last ten years.</p> <p>The site is within a historic overlay area and so an historic, archaeological and paleontological resource study must be prepared pursuant to <i>General Plan Policy HA1.2.2</i>.</p>	<p>Yes</p>
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Table 2: Government Code Section 65913.4 Eligibility Requirement	Requirement satisfied?
<p><u>Subd. (a)(10) exempt areas:</u></p> <ul style="list-style-type: none"> - Land governed under the Mobilehome Residency Law - Land governed by the Recreational Vehicle Park Occupancy Law - Land governed by the Mobilehome Parks Act - Land governed by the Special Occupancy Parks Act <p>Response: The project site is not located within an exempt area. on land governed by any of the above laws.</p>	
<p>9. If the Project is not a public work, has the proponent certified that all construction workers employed in the development project be paid prevailing wages? Subd. (a)(8)(A).</p> <p>Response: The applicant will have to certify that all construction workers employed in the execution of the development will be paid at least the general prevailing rate of per diem wages.</p>	Yes
<p>10. Has the applicant made the required “skilled and trained workforce” certification, to the extent applicable? Subd. (a)(8)(B).</p> <p>Response: The “skilled and trained workforce” certification requirement is inapplicable if the Project proposes fewer than 75 units. If the project proposes more than 75 units then the labor requirement applies. Gov. Code § 65913.4(a)(8)(B)(i)(I).</p> <p>The project will have to provide a skilled and trained workforce.</p>	Yes
<p>11. If the project involves a subdivision, are the criteria in subd. (a)(9) satisfied?</p> <p>Response: The Project does not involve a subdivision.</p>	Not Applicable.

831 Water Street

7/1/21

Objective Zoning and Design Standards Table

This project is being presented to the City of Santa Cruz pursuant to Government Code Section 65913.4 (SB 35). The following is a table that includes all of the City of Santa Cruz’s object zoning and design standards as they apply to the project that will be located at 831 Water Street. The project will be built by Novin Development and will include at least 50% affordable housing that is affordable consistent with GC Section 95913.4, and State Density Bonus Law Section 65915(b)(1)(G). The project is also subject to Government Code Section 65589.5, the Housing Accountability Act.

Under SB 35, the only applicable standards that can be applied to a qualifying project are those “that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal.” Gov. Code § 65913.4 (a)(5). (“Consistency with objective standards is determined after “excluding any additional density or any other concessions, incentives, or waivers of development standards granted pursuant to the Density Bonus Law in Section 65915”). Further, projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).

The table on the following pages includes all of the objective zoning and design standards that apply to the project at 831 Water Street. It includes any regulations regulation that includes shall, must, or is in the imperative. Not including any standards that say ‘encourage’, ‘should’ or ‘may’ or that are listed as a policy or guideline instead of a standard.

These standards came primarily from the the Santa Cruz Municipal Code. General Plan policies have been included if they are standards for private development. The development is also subject to the Eastside Business Area Plan. The beginning of that document focusing on the Water Street Entry Character Zone only includes guidelines that are subjective in nature. Therefore they are not included in this document. Similarly, the project is subject to the Heritage Tree Ordinance but that ordinance is not applicable as the project site is entirely paved and does not include any existing trees.

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
Chapter 24.04 Administration		
24.04.052 COMPLETENESS OF APPLICATION	Not applicable. SB35 projects are a ‘ministerial project’ (Gov Code § 65913.4(a)) and are therefore exempt from the Permit Streamlining Act’s 30 day completeness reviews, see Gov Code § 65928.	N/A
24.04.090 PUBLIC HEARING REQUIREMENT.	SB35 permits a local government to conduct a public hearing within 90 days of the application’s submission. However, the public hearing may only consider the project’s consistency with objective standards.	N/A
24.10 Land Use Districts		
24.10.150 DEVELOPMENT ON KNOWN ARCHAEOLOGICAL SITES	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.10.730 USE PERMIT REQUIREMENT. 2.q	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A
24.10.750.1.a Height of buildings – Maximum. 3 stories and 40 ft.	Applicable objective standard.	Compliant through a density bonus waiver. The project exceeds the allowable height and is requesting a density bonus waiver. Please see the density bonus statement for more information.
24.10.750.1.b Lot area – minimum (net)(sq. ft.) 5,000	Not applicable. Project does not propose any new lots.	N/A
24.10.750.1.c Setbacks Front-yard (N Bianciforte): 0 Rear-yard (west side) 0 feet Interior (north side): 20 feet Exterior (water street) 0 feet The interior side yard abuts a residential district (multiple, 135-115 Belvedere Te) and is therefore the same as that district per 24.10.750.1 – Note 1.. Abutting yard the rear yard of a R-1-5 parcel which has a 20’ rear yard requirement (24.10.350.)	Applicable objective standard	Compliant. The project provides a 20’ setback on the rear of the property. See plan set page A001.

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.10.750.1.d Open Space per unit Private (sq. ft.) 100 Common (sq. ft.) 150, and easily accessible to residential units.	The square feet per unit requirements are applicable and objective standards. The standard requiring common open space to be “easily accessible to residential units” is not an objective standard. ‘Easily accessible’ is not “uniformly verifiable by reference to an external and uniform benchmark” and is not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).	Compliant through a density bonus waiver. The project does not provide the required private open space and is requesting a density bonus waiver. Please see the density bonus statement for more information. Please see the plan set for compliance on the common open space through the roof decks and ground level open space areas.
24.10.750.1.e Distance between buildings on the same lot. 10’ min	Applicable and objective standards.	The two buildings are 26’ apart. See Plan Set page A1.1
24.10.750.2 Additional Setback Requirement. In any C-C District directly across a street or thoroughfare, not including a freeway, from any R-District, parking and loading facilities shall be at least ten feet distant from the property line and buildings and structures at least twenty feet from the street; said setback space shall be permanently landscaped.	Not applicable. The project site is directly across from properties in the C-C district.	N/A
24.10.750.3 Other Requirements.	Applicable and objective standards.	Compliant. See section below on compliance with Community Design Criteria.
Chapter 24.12 Community Design		

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.12.100 MINIMUM BUILDING SITE	Applicable and objective standards.	Compliant. The project does not propose any building in the required rear yard.
24.12.110 SETBACK REQUIREMENTS MODIFICATIONS 1. Front Yards.	Not applicable. The development site is on a corner lot.	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.12.110 SETBACK REQUIREMENTS MODIFICATIONS</p> <p>2. Corner Lot Yards.</p> <p>a. Where, on a corner lot, an exterior side yard abuts a front yard of an adjoining lot in an R-District, the corner lot exterior side yard shall have a width of not less than one-half of the required depth of such adjacent front yard.</p> <p>b. Each corner lot should have one front yard, two side yards, and one rear yard of the depth required by this title. Normally the front yard shall be across the narrow dimension of the lot and the rear yard opposite this; in unusual cases, however, the location and the relationship of such yards to abutting streets and to each other may be determined by the zoning administrator.</p> <p>c. In any zoning district in which a minimum front yard is established, no obstruction to view between three and one-half feet, and eight feet above grade shall be placed within the clear corner triangle as defined in this title.</p>	<p>Subsections B are applicable and objective standards.</p> <p>Subsection A is not applicable as the exterior side yard along Water Street abuts a CC zoned property.</p> <p>Subsection C is not applicable as there is no required front yard.</p>	<p>Compliant.</p> <p>The project's front yard is along N Brianciforte pursuant to 2.b.</p>
<p>24.12.110 SETBACK REQUIREMENTS MODIFICATIONS</p> <p>3. Double-Frontage Yards.</p> <p>4. Lots of Record</p>	<p>Not applicable. The project's interior side yard does not abut a alley or right-of-way. The project meets the minimum lot area.</p>	<p>N/A</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.12.115 SPECIAL STREET SETBACK REQUIREMENTS FOR DESIGNATED STREETS.	Not applicable. The project site is not on an designated street.	N/A
24.12.120 PROJECTIONS INTO REQUIRED YARD AREAS, SETBACKS AND EASEMENTS	Applicable and objective standards.	Compliant. There are no projections into the required rear yard. There are
24.12.125 LANDSCAPING REQUIREMENT. In all districts where yards are required, all portions of each front and exterior side yard, except where improved for pedestrian or vehicular access, or a porch or a patio, shall be landscaped and permanently maintained.	Not applicable. There are no required front or exterior side yards. The project builds to the property line along both frontages.	N/A
24.12.130 EXTENDED STORAGE OR PARKING IN YARD AREAS.	Applicable and objective standards.	Compliant. The project does not propose any parking or storage of vehicles in the setbacks. The parking spaces to the rear of the project are outside of the required 20' rear yard. See Plan Set page A1.1.
24.12.140 ACCESSORY BUILDINGS.	Not applicable. No accessory building proposed.	N/A
24.12.145 FOOD PREPARATION FACILITY (SPECIAL PURPOSE).	Not applicable. No food preparation facility proposed.	N/A
24.12.150 HEIGHT LIMITS MODIFICATIONS.	Not applicable. None of the listed features are proposed..	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.12.160 FENCING AND SCREENING. 1. Fencing	Not applicable. None of the listed fences are proposed.	N/A
24.12.160 FENCING AND SCREENING. 2. a. In any nonresidential district adjacent to any R- District, screening between districts shall be provided.	Applicable and objective standards.	Compliant. The project will provide a fence next to the interior side yard.
24.12.170 through 24.12.195	Not applicable. None of the listed items are proposed.	N/A
24.12.230 GENERAL REQUIREMENTS.	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.12.240 NUMBER OF PARKING SPACES REQUIRED. 1 space per studio or one-bedroom, 2 spaces for all larger units. In addition to meeting above residential parking requirements, guest parking spaces shall be provided at a rate 10% of the above standards. Fractional spaces will be rounded up to the next whole number.</p>	<p>Not applicable. The project is applying pursuant to Gov. Code § 65913.4 and meets the standard of being within a half mile of public transit (SCMTD routes 67 and 71). Therefore, the City is prohibited from applying automobile parking minimums to the project per Gov. Code § 65913.4(e)(1) and HCD’s SB35 guidance¹ Section 300(e). This applies to both the residential and commercial portions of the development.</p>	<p>N/A</p>
<p>24.12.241 ELECTRIC VEHICLE CHARGING STATION REQUIREMENTS. 12% of provided parking spaces must be equipped withan EVSE</p>	<p>Applicable objective standard.</p>	<p>Compliant through a Density Bonus concession. The project requests a Density Bonus concession to not provide the otherwise required EVSE.</p>

¹ <https://www.hcd.ca.gov/policy-research/docs/sb-35-guidelines-update-final.pdf>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.12.250 BIKE PARKING REQUIREMENTS. 2.a Commercial: 2 + 15% of auto parking requirement.</p>	<p>Applicable objective standard.</p> <p>The project is not required to provide any commercial parking. The project is applying pursuant to Gov. Code § 65913.4 and meets the standard of being within a half mile of public transit (SCMTD routes 67 and 71). Therefore, the City is prohibited from applying automobile parking minimums to the project per Gov. Code § 65913.4(e)(1) and HCD’s SB35 guidance² Section 300(e).</p> <p>Therefore, the project is required to provide 2 bicycle parking stalls.</p>	<p>Compliant.</p> <p>The project will provide at least two short-term bicycle parking spaces in front of the commercial space.</p>
<p>24.12.250 BIKE PARKING REQUIREMENTS. 2.b Multifamily: 1 space per unit. 100% Class 1 garages or secure accessible indoor areas count One space per four units Class 2</p>	<p>Applicable objective standard.</p>	<p>Compliant.</p> <p>The project provides 132 long-term bicycle parking spaces in two bicycle rooms, one in each building. See plan set page A1.1</p>

² <https://www.hcd.ca.gov/policy-research/docs/sb-35-guidelines-update-final.pdf>

<p>24.12.250 BIKE PARKING REQUIREMENTS. 4. Location and Design of Facilities</p> <p>a. Bicycle parking should be located in close proximity to the building’s entrance and clustered in lots not to exceed sixteen spaces each.</p> <p>b. Bicycle parking facilities shall support bicycles in a stable position without damage to wheels, frame or other components.</p> <p>c. Bicycle parking facilities should be located in highly visible, well-lighted areas to minimize theft and vandalism.</p> <p>d. Bicycle parking facilities shall be securely anchored to the lot surface so they cannot be easily removed and shall be of sufficient strength to resist vandalism and theft.</p> <p>e. Bicycle parking facilities shall not impede pedestrian or vehicular circulation, and should be harmonious with their environment both in color and design. Parking facilities should be incorporated whenever possible into building design or street furniture.</p> <p>f. Racks must not be placed close enough to a wall or other obstruction so as to make use difficult. There must be sufficient space (at least twenty-four inches) beside each parked bike that allows access. This access may be shared by adjacent bicycles. An aisle or other space shall be provided to bicycles to enter and leave the facility. This aisle shall have a width of at least six feet to the front or rear of a bike parked in the facility.</p> <p>g. Paving is not required, but the outside ground surface shall be finished or planted in a way that avoids mud and dust.</p>	<p>Subsections D, F and H are applicable objective standards.</p> <p>Subsection A is partially objective. The requirement to not cluster bicycle parking in lots more than 16 spaces is objective.</p> <p>Subsections A (in part), B, C, D, E, and G are not objective:</p> <p>A: “close proximity” B: “stable position without damage” C: “highly visible, well-lighted areas” E: “harmonious with their environment” G: “avoid mud or dust”</p> <p>None of the listed standards are “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p>	<p>Compliant:</p> <p>A: the bicycle rooms will be designed so that bicycle racks are not clustered together.</p> <p>D: the racks in the bicycle rooms will be permanently secured.</p> <p>F: the racks will be at least 24” apart from each other.</p> <p>H: the bicycle rooms are in their own rooms and are not part of the parking structure.</p>
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Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
h. Bike parking facilities within auto parking areas shall be separated by a physical barrier to protect bicycles from damage by cars, such as curbs, wheel stops, poles or other similar features.		
24.12.252 SHOWER FACILITY REQUIREMENTS.	Not applicable. The project proposes general commercial uses less than 25,000 sf feet and is therefore not required to provide showers.	N/A
24.12.270 MISCELLANEOUS REQUIREMENTS. 2. Compact Car Spaces. Up to fifty percent of a parking requirement may be designed for compact or small cars. Compact car spaces shall be sixteen feet long by seven and one-half feet and shall be labeled for compact cars only.	Subsection 2 is an applicable and objective standard. The other standards are not applicable to the project as the City may not impose vehicle parking ratios.	Compliant. The project does not propose any compact car spaces.
24.12.280 DESIGN REQUIREMENTS.	Applicable objective standard.	Compliant. Please see Plan Set page A1.0
24.12.290 VARIATIONS TO REQUIREMENTS.	Not applicable. No modifications to parking requirement are requested through this section.	N/A
24.12.295 OFF-STREET LOADING FACILITIES.	Not applicable. The project proposes less than 10,000 sf of retail space and therefore is not required to provide any off-street loading spaces.	N/A
Part 4: ADVERTISING DEVICES, SIGNS AND BILLBOA	Not applicable. The project does not propose any signs at this time.	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.12.420 HISTORIC LANDMARK DESIGNATION/DELETION	Not applicable. No historic landmark proposed.	N/A
24.12.430 PROTECTION OF ARCHAEOLOGICAL RESOURCES. 2. Archaeological reconnaissance is required on sites proposed for development within areas identified as “highly sensitive” or “sensitive” on the general plan maps labeled “areas of archaeological sensitivity” and “historical archaeology sensitivity” prior to the issue of building or development permits. For development on sites that have “known resources” see subsection (12).	Applicable objective standard.	Compliant. The project has engaged an archealogical consultant to assist with the Tribal Consultation process. The project has entered into an agreement about monitoring and protection of potential archaeological resources in accordance with SB35’s tribal consultation requirement.
24.12.430 PROTECTION OF ARCHAEOLOGICAL RESOURCES. 3. An archaeological reconnaissance shall include archival research, site surveys and necessary supplemental testing as may be required and shall be conducted by a qualified archaeologist. The significance of identified resources shall be ascertained in accordance with CEQA definitions. If significant impacts are identified, impacts and mitigation measures outlined could include but are not limited to avoidance, project redesign, deposit capping, resource recovery options and/or on-site monitoring by an archaeologist during excavation activities. A written report describing the archaeological findings of the research or survey shall be provided to the city.	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.12.430 PROTECTION OF ARCHAEOLOGICAL RESOURCES. 4-12	Not applicable. The project will follow the listed guidelines in the event of the discovery of archaeological resources or human remains.	N/A
24.12.431 PROTECTION OF PALEONTOLOGICAL RESOURCES.	Not applicable. The project will follow the listed guidelines in the event that paleontological resources are discovered.	N/A
24.12.700 GENERAL. All facilities and wires for the extension of facilities for the supplying and distribution of electrical energy and service, including communication service, shall be placed underground; and further, there exists a need for regulation of certain modifications of existing utility pole lines, all in order to promote and preserve the health, safety, and general welfare of the public, and to assure the orderly development of the city of Santa Cruz.	Applicable objective standard.	Compliant. The project will underground all utilities as allowed by utility companies.
Chapter 24.14 Environmental Resource Management		
24.14.030 SLOPE REGULATIONS. 1a. Building permit applications for new structures on slopes of ten percent or greater shall include an accurate topographic map. The map shall contain contours of two-foot intervals for slopes of twenty percent grade.	Applicable objective standard.	Project will demonstrate compliance at the building permit stage.

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.14.030 SLOPE REGULATIONS. 1b. Slopes thirty percent or greater shall not be considered in the density determination of a property.	Applicable objective standard.	The project will exclude the small amount of slope over 30% in density calculations.
24.14.030 SLOPE REGULATIONS. 1c. Parcels with a portion of the area in slopes of thirty percent or greater shall require the minimum lot area of the applicable zoning district in slopes of less than thirty percent. The area in slopes of less than thirty percent must be contiguous to the proposed building site.	Applicable objective standard.	Compliant. The project has more than the minimum lot size in slope less than 30%.
24.14.030 SLOPE REGULATIONS. 1d. No building shall be located on a slope of thirty to fifty percent, or within twenty feet of a thirty to fifty percent slope, unless an exception is granted pursuant to Section 24.14.040 or a variance is granted pursuant to Section 24.08.810.	Applicable objective standard.	Compliant through a Density Bonus waiver. The project's west side is within 20' from the 30% slope along the Water St. Please see the Density Bonus statement for more information.
24.14.030 SLOPE REGULATIONS 1e. No structure shall be located on a slope greater than fifty percent.	Applicable objective standard.	Compliant. No part of the project is on a 50% slope.

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.14.030 SLOPE REGULATIONS 1f. Proposed buildings on parcels within or adjacent to fire hazard areas as designated in the Safety Element of the General Plan (Map S-11) shall maintain separation from combustible vegetation as required by the city fire department. Removal of combustible vegetation may also be required as part of project approval.	Not applicable. The project is not on or adjacent to a fire hazard area.	N/A
24.14.030 SLOPE REGULATIONS 1g. No development except minor development on parcels of one-half acre or less, such as walkways, fences, retaining walls less than three feet high above existing grade, planter boxes and similar features, will be allowed to encroach on thirty-percent slopes without an exception listed in Section 24.14.040.	Applicable objective standard.	Compliant through a Density Bonus waiver. The project's west side encroaches on the 30% slope along the Water St. Please see the Density Bonus statement for more information.
24.14.030 SLOPE REGULATIONS 1h. No new lot shall be created which will require the house to be sited within twenty feet of a thirty-percent slope.	Not applicable. No new lots are proposed.	N/A
24.14.030 SLOPE REGULATIONS 1i. For all development within one hundred feet of a coastal bluff, a site-specific geologic investigation prepared by a qualified professional consistent with the California Division of Mines and Geology guidelines shall be prepared.	Not applicable. Project is not within a hundred feet of a coastal bluff.	N/A

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.14.030 SLOPE REGULATIONS 2</p> <p>a. Driveways shall be designed with existing contours to the maximum extent feasible.</p> <p>b. Driveways shall enter public/private streets in such a manner as to maintain adequate line of sight.</p> <p>c. Driveways shall have a maximum grade of twenty-five percent as illustrated in the following diagram:</p>	<p>Applicable objective standard.</p>	<p>Compliant.</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.14.050 DRAINAGE CONTROL</p> <p>1. General Provisions.</p> <p>a. Applicability....</p> <p>b. Roof Drainage. All roof drains shall be discharged so as to minimize erosion.</p> <p>c. Disposition of Stormwaters.</p> <p>d. Stormwater Runoff.</p> <p>e. Surface Water.</p>	<p>Partially objective standard.</p> <p>Subsection a, c, and e are applicable and objective standards.</p> <p>Subsection b is not objective. “Minimize erosion” is not “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p> <p>Subsection d is not objective. The direction to “minimize” storm drainage runoff is not “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p>	<p>Compliant.</p> <p>The project will provide a drainage plan.</p>
<p>24.14.050 DRAINAGE CONTROL 3.</p>	<p>Applicable objective standard.</p>	<p>Compliant.</p> <p>The project will provide a large project drainage plan.</p>
<p>24.14.060 EROSION HAZARD AREAS.</p>	<p>Not applicable. The project is not in an erosion hazard area.</p>	<p>N/A</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.14.070 SEISMIC HAZARDS.	Not applicable. Pursuant to Map S-6, the project is not in the liquefaction zone.	N/A
24.14.080 WILDLIFE HABITATS AND PLANT COMMUNITIES.	Not applicable. The project is not in a Wildlife Habitate Area.	N/A
24.14.090 GROUNDWATER RECHARGE AREAS.	Not applicable. The project is not in a groundwater recharge area.	
Part 2: Environmental Review regulations 24.14.300 GENERAL APPLICATION.	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A
Chapter 24.16 AFFORDABLE HOUSING PROVISIONS		
24.16.020 BASIC ON-SITE INCLUSIONARY HOUSING REQUIREMENTS. 5. Rental Residential Developments with Five or More Dwelling Units. a. Rental residential developments that would create five or more new or additional dwelling units or live/work units at one location shall provide twenty percent of the dwelling units as inclusionary units, which shall be made available for rent to low income households at an affordable rent.	Applicable objective standard.	Compliant. The project provides more than 20% of its units as affordable.
24.16.025 STANDARDS FOR INCLUSIONARY UNITS. 1. All inclusionary units shall remain affordable in perpetuity.	Applicable objective standard.	Compliant. The project will enter into a regulatory agreement to this effect.

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
24.16.025 2. Inclusionary units shall be dispersed throughout the residential development to prevent the creation of a concentration of affordable units within the residential development.	Applicable objective standard.	Compliant through a Density Bonus concession. Please see the Density Bonus statement for more information.
24.16.025 3. Inclusionary units shall be compatible with the design of market rate units in terms of exterior appearance, materials, and finished quality. Interior finishes, features, and amenities may differ from those provided in the market rate units, so as long as the finishes, features, and amenities are durable, of good quality, compatible with the market rate units, and consistent with contemporary standards for new housing.	The first section is an applicable objective standard. The second section is not an objective standard. “durable” and “good quality” are not “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).	Compliant. The two buildings utilize the same materials and exterior finishes. See elevations in the plan set.

Table 1: Zoning Ordinance											
Provision	Applicability	Compliance									
24.16.025 4. The applicant may reduce square footage of inclusionary units as compared to the market rate units, provided all units conform to all requirements of Titles 18 and 19 and meet the minimum square footage requirement that affordable units are at least seventy-five percent of the average size of all market rate units in the development with the same bedroom count. For the purpose of this subsection, the “average size” of a unit with a certain bedroom count equals the total square footage of all market rate units with that bedroom count in the development divided by the total number of market rate units with the same bedroom count in the development	Applicable objective standard.	Compliant. The unit sizes between the affordable and market rate units are substantially the same: <table border="1"> <thead> <tr> <th>Type</th> <th>Affordable</th> <th>Market</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>391 sf</td> <td>334 sf</td> </tr> <tr> <td>1 bd</td> <td>608 sf</td> <td>610 sf</td> </tr> </tbody> </table>	Type	Affordable	Market	Studio	391 sf	334 sf	1 bd	608 sf	610 sf
Type	Affordable	Market									
Studio	391 sf	334 sf									
1 bd	608 sf	610 sf									
24.16.025 5. For developments with multiple market rate unit types containing differing numbers of bedrooms, inclusionary units shall be representative of the market rate unit mix.	Applicable objective standard.	Compliant. Both buildings provide a mixture of studios and one bedrooms. There is only one two-bedroom in the affordable housing site.									
24.16.025 6. All building permits for inclusionary units in a phase of a residential development shall be issued concurrently with, or prior to, issuance of building permits for the market rate units, and the inclusionary units shall be constructed concurrently with, or prior to, construction of the market rate units.	Applicable objective standard.	Compliant. The project will pursue building permits for the two buildings at the same time.									
24.16.025 7. Rental to Tenant-Based Subsidy Holders.	Not applicable. Project does not propose an SRO.	N/A									

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>PART 3: DENSITY BONUS PROVISIONS FOR RESIDENTIAL UNITS</p> <p>24.16.200 through 24.16.258</p>	<p>Not applicable. The project is applying for a density bonus under the updated State Density Bonus Law.</p> <p>Please see the Density Bonus Statement attachment for a list of waivers, concessions, and related justifications.</p>	N/A
<p>24.16.260 STANDARDS FOR DENSITY BONUS HOUSING DEVELOPMENTS.</p> <p>1. Affordable units qualifying a housing development for a density bonus shall remain affordable as follows:</p> <p>a. Rental units affordable to very-low- and lower-income households shall remain affordable to the designated income group for a minimum of fifty-five years or for a longer period of time if required by any construction or mortgage financing assistance program, mortgage insurance program, or rental subsidy program applicable to the dwelling units, except that lower income units in a condominium conversion project shall remain affordable in perpetuity.</p>	<p>Applicable objective standard.</p>	<p>Compliant.</p> <p>Units that are not required to be affordable in perpetuity for inclusionary zoning purposes will be entered into a regulatory agreement with a 55 year affordability covenant.</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.16.260 STANDARDS FOR DENSITY BONUS HOUSING DEVELOPMENTS.</p> <p>2. Affordable units qualifying a housing development for a density bonus shall be reasonably dispersed throughout the housing development and compatible with the design of market rate units in terms of appearance, materials, and finished quality. The applicant may reduce the interior amenities and square footage of affordable units, provided all units conform to all requirements of Titles 18 and 19 and are at least seventy-five percent of the average square footage of all market rate units in the development with the same bedroom count.</p>	Applicable objective standard.	<p>Compliant through a Density Bonus Concession.</p> <p>This is the same requirement as for inclusionary zoning units and will be covered by the same concession.</p>
<p>24.16.260 STANDARDS FOR DENSITY BONUS HOUSING DEVELOPMENTS.</p> <p>3. For developments with multiple market rate unit types containing differing numbers of bedrooms, affordable units qualifying a housing development for a density bonus shall be representative of the market rate unit mix.</p>	Applicable objective standard.	<p>Compliant.</p> <p>This is the same requirement as the Inclusionary Zoning Requirement and the project is compliant as discussed above.</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.16.260 STANDARDS FOR DENSITY BONUS HOUSING DEVELOPMENTS.</p> <p>4. All building permits for affordable units qualifying a housing development for a density bonus shall be issued concurrently with, or prior to, issuance of building permits for the market rate units, and the affordable units shall be constructed concurrently with, or prior to, construction of the market rate units. Occupancy permits and final inspections for affordable units qualifying a housing development for a density bonus shall be approved concurrently with, or prior to, approval of occupancy permits and final inspections for the market rate units.</p>	Applicable objective standard.	This is the same requirement as the Inclusionary Zoning Requirement and the project is compliant as discussed above.
24.16.262 LOCAL COASTAL PLAN CONSISTENCY.	Not applicable. The project is not in the Coastal zone.	N/A
<p>24.16.265 SUBMITTAL OF APPLICATION FOR AFFORDABLE HOUSING PLAN.</p> <p>1. An application for a density bonus, incentive, concession, waiver, modification, modified parking standard, or commercial development bonus pursuant to this Part 3 shall be submitted as part of the first approval of the housing development or commercial development in the form of an affordable housing plan which shall be processed concurrently with all other applications required for the housing development or commercial development.</p>		<p>Compliant.</p> <p>Please see the attached Density Bonus Statement.</p>

Table 1: Zoning Ordinance		
Provision	Applicability	Compliance
<p>24.16.265 SUBMITTAL OF APPLICATION FOR AFFORDABLE HOUSING PLAN.</p> <p>2. Upon submittal, the director of the planning and community development department shall determine if the affordable housing plan is complete and conforms to the provisions of this chapter. No application for a first approval for a housing development or commercial development requesting a density bonus, incentives, concessions, waivers, modified parking standard, or commercial development bonus may be deemed complete unless an affordable housing plan is submitted conforming to the provisions of this section. The applicant shall be informed whether the application is complete consistent with Government Code Section 65943.</p>	<p>Not applicable.</p> <p>SB35 projects are a ‘ministerial project’ (Gov Code § 65913.4(a)) and are therefore exempt from the Permit Streamlining Act’s 30 day completeness reviews, see Gov Code § 65928.</p>	N/A
<p>24.16.265 SUBMITTAL OF APPLICATION FOR AFFORDABLE HOUSING PLAN.</p> <p>. The affordable housing plan shall include at least the following information:</p>	<p>Applicable objective standard.</p>	<p>Compliant.</p> <p>Please see the Density Bonus Statement for the required information.</p>

Table 2: Other Municipal Code Sections		
Provision	Applicability	Compliance
6.100.040 Prohibited Natural Gas Infrastructure in Newly Constructed Buildings. A. Except as set forth in Subsection A.1 and A.2 and Sections 6.100.50, 6.100.55, and	Applicable objective standard	Compliant. The project does not propose natural gas at this time. The project may decide to apply for an exemption at a later time.

Table 3: East Side Business Area Plan Architectural Guidelines

Provision	Applicability	Compliance
<p>Pedestrian Live/Work Zone</p> <p>The Pedestrian Live/Work Zone incorporates four of the eight Urban Design Character Zones, including the Triangle Zone, the Main Street Zone (Water Street), the Main Street Zone (Soquel West) and the Central Zone. The key characteristic of these zones is that they feature storefront development of a pedestrian scale. The greatest strengths of the Pedestrian Live/Work Zone are its human scale, intimate neighborhood character, and variety of businesses and architectural styles. The architectural recommendations have been developed to support these strengths.</p>	<p>Not a standard.</p>	<p>N/A</p>
<ul style="list-style-type: none"> Promote a continuous, zero setback, building facade line, which reinforces the overall pedestrian character of these areas; 	<p>Not a standard. The guideline says ‘promote’ rather than shall or must.</p>	<p>N/A</p>
<ul style="list-style-type: none"> Encourage mixed-use architecture with residential and artist studios above street level commercial/retail spaces; 	<p>Not a standard. The guideline says ‘encourage’ rather than shall or must.</p>	<p>N/A</p>
<ul style="list-style-type: none"> Preserve, restore and maintain historic (fig. 6-2) and landmark buildings (Rio Theater) and facades; 	<p>Not applicable. The project does not include a designated historic building.</p>	<p>N/A</p>

Table 3: East Side Business Area Plan Architectural Guidelines		
Provision	Applicability	Compliance
<ul style="list-style-type: none"> Design architectural elements that provide human scale and design interest at the pedestrian level 	<p>Not an objective standard. “Human Scale” and “design interest” are not “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p>	N/A
<ul style="list-style-type: none"> Locate parking at the rear of the site, combine individual parking areas, and create city parking lots; 	<p>Applicable objective standard.</p>	<p>Compliant. Parking is provided at the rear of the site.</p>
<ul style="list-style-type: none"> Create walkways and private outdoor pedestrian spaces between building clusters, which promote a safe area for neighborhood life and identity. 	<p>Partially objective standard.</p> <p>The required for outdoor pedestrian spaces between buildings is an applicable objective standard.</p> <p>The second portion is not objective. “Safe area” and “identify” are not “uniformly verifiable by reference to an external and uniform benchmark” and are not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p>	<p>Compliant.</p> <p>The project provides outdoor green space and a walkway between the two buildings.</p>

Table 3: East Side Business Area Plan Architectural Guidelines		
Provision	Applicability	Compliance
<ul style="list-style-type: none"> Encourage recessed entries (figs. 6-3 A,B), interesting building bases or wainscots, attached planter boxes (fig. 6-4), awnings (fig. 6-5); Foster diversity in building heights, character, roof lines and details, while encouraging a consistent horizontal edge at display windows, awnings and doorways; (fig. 6-6); 	Not standards but guidelines.	N/A
<ul style="list-style-type: none"> Define a distinct rhythm of storefronts by breaking long continuous facades into smaller regular intervals, which can be achieved through the addition of a variety of elements (ie awnings, pilasters, reveal lines, paint color etc.; 	Applicable objective standard.	Compliant. The project breaks up the façade along Water Street by using two separate buildings and including multiple signs.
<ul style="list-style-type: none"> Integrate signage into the architectural building elements (ie. on awnings, projecting signs or banner signs (figs. 6-7, 6-8), or part of a building architectural detail and make them of an appropriate scale for the building facade (fig. 6-9); 	Applicable objective standard.	Compliant. The project provides multiple signs along the building façade. Details on the signs will be provided prior to building permit submittal.
<ul style="list-style-type: none"> Discourage multiple signs on a single business which are repetitive in nature (fig 6-10), confusing signs which are difficult to read and/or too small in scale for auto traffic (fig. 6-11), and limit temporary signs indicating sales and promotions (fig. 6-12), in particular large temporary signs which are used to attract motorists (fig. 6-13); 	Applicable objective standard.	Compliant. Details on the signs will be provided prior to building permit submittal.
<ul style="list-style-type: none"> Promote signage on both facades of corner buildings which face the street when it does not negatively impact the adjacent residence. (fig. 6-14); 	Applicable objective standard.	Compliant. The project provides signage on both sides of the corner.

Table 3: East Side Business Area Plan Architectural Guidelines

Provision	Applicability	Compliance
<ul style="list-style-type: none"> • Fabricate and install signs of appropriate scaled letters and signage cabinets, also all street addresses should be easily seen by motorists (fig. 6-15); • Encourage removal of abandoned or non-conforming signage, especially upon change of occupancy; • Discourage pole signs, roof signs, animated or moving signs (including flashing, rotating etc.), billboards or oversized signs, inflated signage or balloons, signs with luminescent paint, freestanding sandwich boards (particularly in public right of way (fig. 6-16), and plastic flags; • Encourage expansive and attractive display windows which will remain lit in the evening to create interest, warmth, safety and night time window shopping (Fig. 6-17); 	<p>Not objective standard “Appropriately scaled” is not “uniformly verifiable by reference to an external and uniform benchmark” and is not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p> <p>The other three are not standards as they use encourage and discourage rather than must or shall.</p>	<p>N/A</p>
<ul style="list-style-type: none"> • Use construction materials at the building base, which are consistent with the facade design, and adjacent facades and which do not detract from the existing details of the building (tile is particularly encouraged); 	<p>Not an objective standard. “Consistent” is not “uniformly verifiable by reference to an external and uniform benchmark” and is not “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).</p>	<p>N/A</p>

Table 3: East Side Business Area Plan Architectural Guidelines		
Provision	Applicability	Compliance
<ul style="list-style-type: none"> Promote facade downlight and/or sconce light which will add texture and detail to facades at night (<i>fig. 6-18</i>); Encourage a variety of colors for individual facades and to accentuate building details when appropriate to the architectural style of the facade; Encourage the use of high quality, graffiti-resistant paints; 	These three guidelines are not standards as they use promote and encourage rather than must or shall.	N/A
<ul style="list-style-type: none"> Design and create specific areas for trash and service which are hidden from public view wherever possible, and avoid location in view of adjacent residential properties; 	Applicable objective standard.	Compliant. The project provides interior trash rooms.
<ul style="list-style-type: none"> Follow appropriate laws, codes and ordinances when improving any building and include the necessary elements and details to insure barrier-free design (call the City of Santa Cruz Building Department for information). 	Applicable objective standard.	Compliant. The project will follow all applicable laws.

Table 4: General Plan		
Provision	Applicability	Compliance
<p>HA1.2.2 Require preparation of archaeological investigations on sites proposed for development within areas identified as “Highly Sensitive” or “Sensitive” on the “Areas of Archaeological Sensitivity” and “Historical Archaeology Sensitivity” maps, except for exempt uses within “Sensitive” areas as described below, prior to approval of development permits. The investigation shall include archival research, site surveys and necessary supplemental testing as may be required, conducted by a qualified archaeologist. The significance of identified resources shall be ascertained in accordance with CEQA definitions, and impacts and mitigation measures outlined if significant impacts are identified, including, but not limited to recovery options and onsite monitoring by an archaeologist during excavation activities. A written report describing the archeological findings of the research or survey shall be provided to the City. Allow minor projects with little excavation to be exempt from this requirement for preparation of an archaeological assessment within the “High Sensitivity” areas. Minor projects generally involve spot excavation to a depth of 12 inches or less below existing grade, or uses that have virtually no potential of resulting in significant impacts to archeological deposits. Exempt projects may include: building additions, outdoor decks, or excavation in soil that can be documented as previously disturbed.</p>	<p>Partially applicable standard.</p> <p>Identifying the thresholds of significance is not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).</p>	<p>Compliant.</p> <p>The project has engaged an archealogical consultant to assist with the Tribal Consultation process. The project has entered into an agreement about monitoring and protection of potential archaeological resources in accordance with SB35’s tribal consultation requirement.</p>

Table 4: General Plan		
Provision	Applicability	Compliance
CD5.2 Require new development to include elements that relate to the pedestrian scale.	Not an objective standard. "Pedestrian scale" is not "uniformly verifiable by reference to an external and uniform benchmark" and is not "knowable by both the development applicant or proponent and the public official prior to submittal" as required by Gov. Code § 65913.4 (a)(5).	N/A
CD5.2.3 Design parking strategies at a district or neighborhood-wide level to foster a pedestrian-oriented environment	Not an objective standard. "Pedestrian oriented environment" is not "uniformly verifiable by reference to an external and uniform benchmark" and is not "knowable by both the development applicant or proponent and the public official prior to submittal" as required by Gov. Code § 65913.4 (a)(5).	N/A
Mixed-Use High Density (MXHD), 1.0 to 2.75 FAR, 10 to 55 du/ac. This designation may be applied to sites along Water Street, and Soquel Avenue corridors. The typical commercial uses are similar to those in the Community Commercial (CM) designation, and pedestrian-oriented commercial uses are encouraged on the ground floor. The MXHD designation allows a maximum FAR of 1.75 as of right, including a maximum of 30 dwelling units per acre. However, a project that meets a number of specific criteria, as determined by the Planning Commission, may have an FAR of up to 2.75, including up to 55 dwelling units per acre. Details are contained in the Zoning Ordinance.	Applicable objective standard. Per LU3.8, studios, one bedroom units, and density bonus units do not count towards density calculations.	Compliant through the Density Bonus. Please see the Density Bonus Statement for an explanation of the allowable density.

Table 4: General Plan		
Provision	Applicability	Compliance
LU1.4 Ensure that new development pays its proportional share of the costs of expanded infrastructure needed to serve new development.	Applicable objective standard.	Compliant. The project will pay it's required impact fees.
LU3.8 Allow the following residential uses to exceed the maximum densities in this chapter: Cf. LU1.3 and 3.7.1. <ul style="list-style-type: none"> • Single-room occupancy (SRO) units; • Small ownership units (SOU); • Small studio and one-bedroom units; • Accessory dwelling units (ADU); • Density bonus units; and Residential uses within areas designated High-Density Overlay District (HD-O). 	See above.	N/A
M3.3.5 Require new development to be designed to discourage through traffic in adjacent neighborhoods and to encourage bicycle or pedestrian connections.	Not an objective standard. The standard does not provide a method for compliance. Standards must be "uniformly verifiable by reference to an external and uniform benchmark" and "knowable by both the development applicant or proponent and the public official prior to submittal" as required by Gov. Code § 65913.4 (a)(5).	N/A
M4.1.7 Require that site and building design facilitate pedestrian activity.	Not an objective standard. "Pedestrian activity" is not "uniformly verifiable by reference to an external and uniform benchmark" and is not "knowable by both the development applicant or proponent and the public official prior to submittal" as required by Gov. Code § 65913.4 (a)(5).	N/A

Table 4: General Plan		
Provision	Applicability	Compliance
M4.1.9 Require landscaping in the development, replacement, and repair of sidewalks, including the placement of trees on private property and/or in tree wells on sidewalks.	Applicable objective standard.	Compliant. The project provides landscaping. See the landscaping plan set sheets.
HZ1.5.4 Require new development in areas susceptible to wildfires to be responsible for fire prevention activities (e.g., visible house numbering and use of fireresistant and fire-retardant building and landscape materials) and to also provide a defensible zone to inhibit the spread of wildfires.	Not applicable. The project is not in a high severity fire area.	N/A
HZ2.2.1 Require future development projects to implement applicable Monterey Bay Unified Air Pollution Control District (MBUAPCD) control measure and/ or air quality mitigations in the design of new projects as set forth in the District’s “CEQA Guidelines.” Cf. M3.3.4.	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A
HZ3.2.2 Establish Ldn noise level targets of 65 dBA for outdoor activity areas in new multifamily residential developments.	Applicable objective standard.	The project will demonstrate compliance at the building permit stage.
HZ3.2.3 Require that interior noise in all new multifamily housing not exceed an Ldn of 45 dBA with the windows and doors closed (State of California Noise Insulation Standards) and extend the requirement to single-family homes.	Applicable objective standard.	The project will demonstrate compliance at the building permit stage.

Table 4: General Plan		
Provision	Applicability	Compliance
HZ4.4.1 Regulate the siting and permitting of businesses that handle hazardous materials, and assure that safe handling and use information from those businesses is provided to fire protection and other safety agencies.	Not applicable. No business is proposed that would handle hazardous material.	N/A
HZ6.1.2 For development adjacent to cliffs, require setbacks for buildings equal to 50 years of anticipated cliff retreat.	Not applicable. The project is not adjacent to a cliff.	N/A
HZ6.2.1 Require engineering geology reports when, in the opinion of the City’s planning director, excavation and grading have the potential for exposure to slope instability or the potential to create unstable slope or soil conditions	Not an objective standard. Under SB35, standards must be “knowable by both the development applicant or proponent and the public official prior to submittal” as required by Gov. Code § 65913.4 (a)(5).	N/A
HZ6.3.6 Require site specific geologic investigation(s) by qualified professionals for proposed development in potential liquefaction areas shown on the Liquefaction Hazard Map to assess potential liquefaction hazards, and require developments to incorporate the design and other mitigation measures recommended by the investigation(s).	Applicable objective standard.	The project will demonstrate compliance at the building permit stage.
PR1.7.1 Require park land dedications of suitable recreational land at a ratio of 4.5 acres/1,000 population generated by a development project, or payment of a corresponding in-lieu fee.	Applicable objective standard.	The project will demonstrate compliance at the building permit stage.

Table 4: General Plan		
Provision	Applicability	Compliance
PR1.7.2 Require that new park facilities generated by a development project be designed to serve the recreational needs of the anticipated population.	Not applicable. The project does not propose any new park facilities.	N/A
PR4.2.3 Require development projects located along planned trail routes to dedicate trails or trail easements.	Not applicable. The project is not along a planned trail.	N/A
NRC1.1.1 Require setbacks and implementation of standards and guidelines for development and improvements within the city and adjacent to creeks and wetlands as set forth in the City-wide Creeks and Wetlands Management Plan.	Not applicable. The project is not adjacent to a creek or wetland.	N/A
NRC2.2.1 As part of the CEQA review process for development projects, evaluate and mitigate potential impacts to sensitive habitat (including special-status species) for sites located within or adjacent to these areas.	Not applicable. The project is applying under SB35. Projects that comply with SB 35 and objective standards are not subject to CEQA and cannot be required to obtain a discretionary use permit. See Gov. Code § 65913.4(a).	N/A
NRC4.1.1 By 2030, require that all new development be carbon neutral.	Not applicable. The project is applying prior to 2030.	N/A

831 Water Street, Santa Cruz, CA
Government Code Section 65913.4 Project Submittal
Density Bonus Statement
July 1, 2021

This Density Bonus Statement is submitted as an attachment to the application by Novin Development for a proposed mixed-use housing project at 831 Water Street in the City of Santa Cruz ("City"). The application is for a streamlined ministerial development permit pursuant to Government Code Section 65913.4, otherwise known as SB35, and as well as Government Code 65915 et seq ("State Density Bonus Law").

The document provides the relevant information for the application pursuant to Santa Cruz Municipal Code Chapter SCMC 24.16 and is organized as follows:

1. Legislative Context
2. Density Bonus Requests
3. Information required by SCMC 24.16.265.3

1. Legislative Context

Pursuant to Government Code section 65915, because over 50% of the proposed project (except for the manager's unit as allowed by State Density Bonus Law) of the "base" density units will be affordable, at least, to low-income households (80% AMI), the project is entitled to an 50% density bonus over the otherwise allowable maximum residential density ("base project").

The project is located within the East Side Business Area Plan, is zoned for Community Commercial, and has a Mixed-Use High Density General Plan designation. The zoning district does not have a density standard and therefore the project relies on the General Plan density standard per State Density Bonus Law (65915 (o)(4)). The General Plan designation of MXHD has a density standard of 30 dwelling units per acre as of right.

The project is applying for a density bonus under 65915(b)(1)(a) to be eligible for an 50% density bonus as the project provides more than half of its units as affordable. The project is therefore eligible for 45 dwelling units per acre. The General Plan also allows that studios and small one-bedrooms do not count towards the underlying density. This was confirmed by Council Resolution No. NS 29-077.

LU 3.8: "Allow the following residential uses to exceed the maximum densities in this chapter: Cf. LU1.3 and 3.7.1.

- Single-room occupancy (SRO) units;
- Small ownership units (SOU);
- **Small studio and one-bedroom units;**
- Accessory dwelling units (ADU);
- **Density bonus units;** and
- Residential uses within areas designated High-Density Overlay District (HD-O)."

Due to this general plan standard, the project is eligible to exceed the otherwise required density as the project contains 96 small studio units that are fewer than 400 square feet. The remaining 53 unit of the 149 unit building are one-bedroom units with one two-bedroom unit. The project includes 24% of the units as density bonus units which equates to 36 units (23 studios and 13 one-bedrooms). The remaining

studios clearly qualify as small as they are less than 400 square feet. So, 96 studios and at least 13 one-bedrooms are excluded from the density calculation. The remaining 40 units meet the 45 dwelling units per acre standard (0.914 acres equates to 41.13 dwelling units allowed).

The General Plan Land Use designation of MXHD also has a floor area density standard by-right of 1.75. The project site is 0.91 acres (39,639.6) which means the project is allowed, by-right, just more than 69,000 sf of floor area. The project only proposes approximately 52,000 square feet in total and therefore meets this standard.

Under State Density Bonus Law, the City must waive or modify any development standards that, if applied, “will have the effect of physically precluding the construction of a development ... at the densities or with the concessions or incentives permitted [by the density bonus]” Gov. Code 65915 (e). Waivers are defined in this section as “a site or construction condition, including, but not limited to, a height limitation, a setback requirement, a floor area ratio, an onsite open-space requirement, or a parking ratio” Gov. Code 65915 (o)(1).

Finally, the project is entitled to up to three (3) concessions or incentives (Gov Code 65915 (d)(2)(C)) that provide actual and identifiable cost reductions for the affordable units per Gov Code 65915 (d)(1)(A). Concessions may include any “reduction in site development standards or a modification of zoning code requirements or architectural design requirements that exceed the minimum building standards approved by the California Building Standards Commission... including, but not limited to, a reduction in setback and square footage requirements and in the ratio of vehicular parking spaces that would otherwise be required that results in identifiable and actual cost reductions, to provide for affordable housing costs” Gov Code 65915 (k)(1).

The State statute make clear that when an applicant requests concessions/incentives, the local jurisdiction may request reasonable documentation but then the local jurisdiction must approve the applicant’s requests absent very specific findings. A concession/incentive must be granted unless the jurisdiction “makes a written finding, based upon substantial evidence” that the concession doesn’t result in cost reductions, would have a specific, adverse public health and safety impact, or is in violation of federal or state law Gov Code 65915 (d)(1) (emphasis added). To resolve any potential ambiguity, the statue also declares that the jurisdiction “shall bear the burden of proof for the denial of a requested concession or incentive.” Gov Code 65915 (d)(4).

Similarly, the statute discusses that jurisdictions are allowed to deny waivers based on specific, adverse health and safety impacts that cannot be mitigated, adverse impacts to historic properties, or violations of state or federal law. Gov Code 65915 (e)(1).

2. Summary of Density Bonus Requests

Density Bonus Law Waivers and Modifications

Standard	Regulation	Proposed	Rationale for Unenforceability
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SCMC 24.10.750.1.a Height of buildings	Maximum. 3 stories and 40 ft.	5 stories and 59 ft.	<p>Waiver 1: Complying with the standard would require the building the reduce the number of floors and eliminate a substantial number of residential units.</p> <p>This would physically preclude the construction of the Project that would include the number of residential units allowed under the State Density Bonus Law.</p>
24.10.750.1.d Open Space per unit Private 100 sq ft per unit	14,900 sf of private open space.	Less than 14,900 sf.	<p>Waiver 2: The constrained site physically prohibits the inclusion of this amount of private or common open space. Inclusion of this additional outdoor space would require reducing the building mass to provide this additional open space on a larger second-floor podium. Adding more private balconies would require different engineering standards which cannot be accommodated by the proposed project.</p> <p>Inclusion of this private open space would physically preclude the construction of the Project that would include the number of residential units that are allowed under the State Density Bonus Law.</p>
24.14.030 SLOPE REGULATIONS. 1.d	No building shall be located on a slope of thirty to fifty percent, or within twenty feet of a thirty to fifty percent slope	Within the slope setback	<p>Waiver 3: Complying with the standard would require pulling the building back from the west side which has a 30% slope. This would then reduce the residential floor area and eliminate a substantial number of residential units.</p> <p>This would physically preclude the construction of the Project that would include the number of residential units allowed under the State Density Bonus Law.</p>

<p>24.14.030. SLOPE REGULATIONS. 1.g</p>	<p>No development except minor development on parcels of one-half acre or less, such as walkways, fences, retaining walls less than three feet high above existing grade, planter boxes and similar features, will be allowed to encroach on thirty-percent slopes without an exception listed in Section 24.14.040.</p>	<p>The project encroaches onto the 30% slope area.</p>	<p>Waiver 4: Complying with the standard would require pulling the building back from the west side which has a 30% slope. This would then reduce the residential floor area and eliminate a substantial number of residential units.</p> <p>This would physically preclude the construction of the Project that would include the number of residential units allowed under the State Density Bonus Law.</p>
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Density Bonus Law Concessions and Incentives

Standard	Regulation	Proposed	Rationale for Unenforceability
<p>24.16.260 STANDARDS FOR DENSITY BONUS HOUSING DEVELOPMENTS</p>	<p>Requirement to disperse affordable units throughout the development.</p>	<p>Two separate buildings, one affordable and one not.</p>	<p>Concession 1: The project is required by its financing to separate the affordable units from the market rate building. The affordable housing financing is required to make the project financially feasible.</p> <p>Therefore, not complying with this standard is essential to providing the affordable units.</p>
<p>24.12.241 ELECTRIC VEHICLE CHARGING STATION REQUIREMENTS.</p>	<p>12% of provided parking spaces must be equipped within EVSE</p>	<p>No EVSE spaces provided. All parking stacker spaces are EV ready.</p>	<p>Concession 2: Adding EVSE spaces would increase the cost of the project significantly due to increased labor and materials costs. The project is not profitable as it is due to the inclusion of affordable units.</p> <p>Therefore, not complying with this standard is essential to providing the affordable units.</p>

Parking Requirements

The project is subject to commercial and residential automobile requirements contained in Section 24.12.240. The project is applying under SB35 which prohibits a city from applying minimum parking requirements when a project is within a half mile of public transit, see Gov Code § 65913.4(e)(1)(a). The project site is in front of SCMTD bus stops for the 66 and 71. Therefore, the project does not have to provide any automobile parking for residential units, commercial space, or guest parking.

3. Information required by SCMC 24.16.265.3

- a) *Site plan showing total number of units, number and location of affordable units, and number and location of proposed density bonus units.*

See Plan Set.

- b) *A description of any requested density bonuses, incentives, concessions, waivers or modifications of development standards, modified parking standards, or commercial development bonus.*

See Section 2 above.

- c) *Summary table showing the maximum number of units permitted by the zoning and general plan excluding any density bonus units, affordable units qualifying the project for a density bonus, level of affordability of all affordable units, proposed bonus percentage, number of density bonus units proposed, and total number of dwelling units proposed on the site.*

See Plan Set.

- d) *Tenure (rental versus for-sale) of target units and proposals for ensuring affordability.*

The project proposes rental units. The units will be deed restricted

- e) *A description of all dwelling units existing on the site in the five-year period preceding the date of submittal of the application and identification of any units rented in the five-year period. If dwelling units on the site are currently rented, income and household size, if known, of all residents of currently occupied units. If any dwelling units on the site were rented in the five-year period but are not currently rented, the income and household size, if known, of residents occupying dwelling units when the site contained the maximum number of dwelling units.*

There have been no dwelling units on the site in the previous five-year period. The project site has been a commercial development.

- f) *Description of any recorded covenant, ordinance, or law applicable to the site that restricted rents to levels affordable to very-low- or lower-income households in the five-year period preceding the date of submittal of the application.*

There have been no dwelling units on the site in the previous five-year period. The project site has been a commercial development.

- g) *For all incentives and concessions except those listed in Section 24.16.255(2), a pro forma demonstrating that the requested incentives and concessions result in identifiable and actual cost reductions and evidence that the cost reduction allows the applicant to provide affordable rents or affordable ownership costs. If a mixed-use building or project is proposed as an incentive, the applicant shall also provide evidence that nonresidential land uses will reduce the cost of the residential project and that the nonresidential land uses are compatible with the residential project and the existing or planned surrounding development.*
- h) *Any pro forma submitted to comply with subsection (2)(g) may not include the lost opportunity cost of any affordable units (i.e., the revenue that would have been generated had the units been rented or sold at market rate) and may include as an additional cost only those additional expenses that are required solely because of the proposed construction of the affordable units. The cost of reviewing any required pro forma data submitted in support of a request for a concession or incentive, including but not limited to the cost to the city of hiring a consultant to review the pro forma, shall be borne by the applicant. The pro forma shall also include: (1) the actual cost reduction achieved through the incentive or concession; and (2) evidence that the cost reduction allows the developer to provide affordable rents or affordable sales prices.*

Please see the rationale in Section 2 for why the requested incentives will result in identifiable and actual cost reductions. No other documentation is provided.

The State Density Bonus Law statute make clear that when an applicant requests concessions/incentives, the local jurisdiction may request “reasonable documentation” but no additional ‘study or report’. The local jurisdiction must approve the applicant’s requests absent very specific findings. A concessions/incentive must be granted unless the jurisdiction “makes a written finding, based upon substantial evidence” that the concessions doesn’t result in cost reductions, would have a specific, adverse public health and safety impact, or is in violation of federal or state law. Gov Code 65915 (d)(1) (emphasis added). To resolve any potential ambiguity, the statue also declares that the jurisdiction “shall bear the burden of proof for the denial of a requested concession or incentive.” Gov Code 65915 (d)(4).

- i) *For waivers or modifications of development standards: the application shall provide evidence that each development standard for which the waiver is requested will have the effect of physically precluding the construction of the housing development at the densities or with the incentives or concessions permitted by this Part 3.*

See Section 2.

- j) If a parking modification is requested, a table showing parking required by the zoning ordinance and proposed parking. If a parking reduction provided by Section 24.16.256(2) is requested, evidence that the project is eligible for the requested parking reduction.*

No parking modifications are requested pursuant to SDBL, rather the City is prohibited from requiring parking under SB35 as demonstrated above.

Subsection k through p are not applicable as none of those project types are proposed.



**SB 35 Prevailing Wage and Skilled and Trained Workforce Commitment Letter:
831 Water Street**

July 1, 2021

Samantha Haschert, Principal Planner – Current Planning
City of Santa Cruz, Planning and Community Development Department
809 Center Street
Santa Cruz, California 95060

Re: Commitment to and Certification of SB 35 Prevailing Wage and Skilled and Trained Workforce

Dear Ms. Haschert:

By way of this letter, Novin Development Corp. (the “Applicant”), the applicant for the 831 Water Street Project (“Project”), certifies that per the requirements of Senate Bill 35, all construction workers will be paid the applicable prevailing wages.

The Applicant hereby certifies that all requirements in California Government Code § 65913.4(a)(8)(A)(ii) will be met. Specifically, all construction workers employed in the execution of the development will be paid at least the general prevailing rate of per diem wages for the type of work and geographic area, as determined by the Director of Industrial Relations pursuant to Sections 1773 and 1773.9 of the Labor Code, except that apprentices registered in programs approved by the Chief of the Division of Apprenticeship Standards may be paid at least the applicable apprentice prevailing rate. The Applicant will ensure that the prevailing wage requirement is included in all contracts for the performance of the work and will ensure that all other requirements contained in Gov. Code § 65913.4(a)(8)(A)(ii) will be satisfied, as applicable.

In addition, the Applicant certifies that all requirements in California Government Code § 65913.4(a)(8)(B) will be met. Specifically, the Applicant will ensure that a skilled and trained workforce (as defined in § 25536.7 of the Health and Safety Code) shall be used to complete the development and will comply with the reporting requirements contained in the aforementioned code.

Sincerely,

A handwritten signature in black ink, appearing to read "Iman Novin", is written over a light blue horizontal line.

Iman Novin, President
Novin Development Corp.

831 WATER ST.

SANTA CRUZ, CA

6/30/21



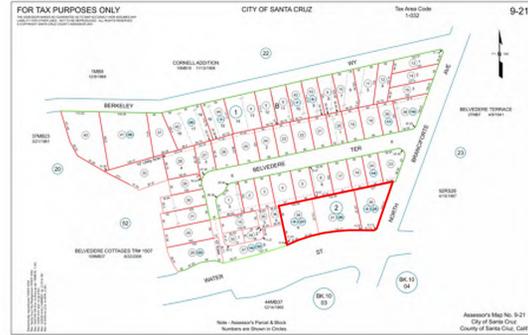
831 WATER STREET DEVELOPMENT

SANTA CRUZ, CA 95060

ABBREVIATIONS

(D) DEMOLISH	GA GAUGE	RAD RADIUS
(E) EXISTING	GALV "GALVANIZED, GALVANIZING"	RECP RECEPTACLE
(N) NEW	GL "GLASS, GLAZING"	REF REFERENCE
ADJ ADJUSTABLE/ADJACENT	GLAM GLUE LAMINATED BEAM	REIN REINFORCEMENT
AFF ABOVE FINISHED FLOOR	GSM GALVANIZED SHEET METAL	REQREQUIRED
AL ALUMINUM	GYP GYPSUM BOARD	REV REVISION
ALT ALTERNATE	H HEIGHT	RH RIGHT HAND
ARCH ARCHITECTURAL	HO HOLD DOWN	RHRIGHT HAND REVERSE
AUTO AUTOMATIC	HORIZ HORIZONTAL	RO ROUGH OPENING
	HSBHIGH STRENGTH BOLTS	
BLDG BUILDING	HSRHIGH STRENGTH RODS	SS SANITARY SEWER
BO BOTTOM OF	HVAC HEATING VENTILATION & AIR CONDITIONING	SCHED SCHEDULE
		SECT SECTION
CBC CALIFORNIA BUILDING CODE	INFO INFORMATION	SJ SEISMIC JOINT
CL CENTER LINE	INT INTERIOR	SHT SHEET
CLR CLEAR		SM SHEET METAL
CJ CONSTRUCTION JOINT		SIM SIMILAR
CMU CONCRETE MASONRY UNIT	L "LONG, LENGTH"	SJ SEISMIC JOINT
COL COLUMN	LAM LAMINATE	SPEC SPECIFICATION
CONC CONCRETE	LB POUND	SF SQUARE FOOT/FEET
CONT CONTINUOUS	LH LEFT HAND	SST STAINLESS STEEL
CTR CENTER	LHRLH LEFT HAND REVERSE	STL STEEL
	LT LIGHT	STOR STORAGE
DEPT DEPARTMENT	LTW LIGHT WEIGHT	STRUCT STRUCTURAL
DET DETAIL		SYM SYMMETRICAL
DIA DIAMETER	MFR MANUFACTURER	SYS SYSTEM
DN DOWN	MAINT MAINTENANCE	SQ SQUARE
DR DOOR	MAX MAXIMUM	
DRWR DRAWER	MECH MECHANICAL	TEMP TEMPORARY
DWG DRAWING	MEZZ MEZZANINE	T&G TONGUE AND GROOVE
	MIN MINIMUM	TO TOP OF
EA EACH	MISC MISCELLANEOUS	TOPTOP OF FINISH
EL ELEVATION		TOSTOP OF STEEL/STRUCTURE
ELEC ELECTRICAL		TOW TOP OF WALL
ELEV ELEVATOR	NIC NOT IN CONTRACT	TYP TYPICAL
ENG ENGINEER	NO NUMBER	
EQ EQUAL	NTS NOT TO SCALE	TOPTOP OF PLATE
EQUIP EQUIPMENT		
EXHX EXHAUST	OC ON CENTER	UL UNDER WRITERS LABORATORY
EXT EXTERIOR	OD OUTSIDE DIAMETER	UON UNLESS OTHERWISE NOTED
	OP OPENING	UTIL "UTILITY, UTILITIES"
FA FIRE ALARM	OPPOSITE	
FAB FABRICATE		VER VERIFY
FE FIRE EXTINGUISHER		VERT VERTICAL
FF FINISHED FLOOR	PL PROPERTY LINE	VEST VESTIBULE
FIN FINISH	PLAM PLASTIC LAMINATE	VIF VERIFY IN FIELD
FLR FLOOR	PLY PLYWOOD	
FO FACE OF	PT PRESSURE TREATED	
FOF FACE OF FINISH		W/ WITH
FOS FACE OF STUD		W/O WITHOUT
FOW FACE OF WALL		WC WATER CLOSET
FP FIRE PROTECTION		WD WOOD
FRT FIRE RETARDANT TREATED		WH WATER HEATER

PARCEL MAP



GRAPHIC SYMBOLS

DETAIL REFERENCE	DRAWING NUMBER	_____	#
	SHEET NUMBER	_____	#
DETAIL SECTION REFERENCE	DRAWING NUMBER	_____	#
	SHEET NUMBER	_____	#
BUILDING SECTION REFERENCE	DRAWING NUMBER	_____	#
	SHEET NUMBER	_____	#
EXTERIOR/INTERIOR ELEVATION REFERENCE	DRAWING NUMBER	_____	1
	SHEET NUMBER	_____	2
REVISION REFERENCE		_____	1
DOOR REFERENCE		_____	101
WINDOW REFERENCE		_____	X
ELEVATION DATUM		_____	⊕
ROOM NUMBER	Room name	_____	101
PARTITION TYPE		_____	XX-XX
FINISH CEILING HEIGHT		_____	1'-0" ACT-1
CENTER LINE		_____	⊕

PROJECT DIRECTORY

OWNER:
NOVIN DEVELOPMENT
1990 N CALIFORNIA BLVD STE 800
WALNUT CREEK, CA 94596
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VICINITY MAP



PROJECT DESCRIPTION

THIS PROJECT IS A MIXED USE RESIDENTIAL AND RETAIL PROJECT, WITH 72 UNITS OF MARKET RATE UNITS AND 8,947 SF GROUND RETAIL SPACE, AND 77 UNITS OF AFFORDABLE UNITS WITH A 3,281 SF COMMUNITY ROOM.

THE TWO BUILDINGS ARE 5 LEVELS TYPE IIIA WOOD FRAME CONSTRUCTION OVER TWO LEVELS OF TYPE IA CONCRETE BASEMENT/PODIUM. CONCRETE MAT SLAB FOUNDATION PER STRUCTURAL ENGINEER'S DESIGN.

PROJECT IS TO BE BUILT IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE GREEN POINT RATED PROGRAM.

15 UNITS TO MEET ADA MOBILITY FEATURES DEFINED IN CBC 11B 809.2 THROUGH 11B 809.4 AND 8 UNITS TO HAVE COMMUNICATIONS FEATURES DEFINED IN CBC 11B 809.5.

SHEET INDEX

GENERAL	G0.1B PROJECT INFORMATION
G1.0	STORMWATER WORKSHEET
G2.0	DENSITY BONUS CALCULATIONS - BASE
G3.0	SITE CONTEXT
ARCHITECTURAL	A0.0 COVER SHEET
A0.1	SITE PLAN
A0.2	PARKING & BIKE CALCULATIONS
A0.3	DEMO PLAN
A1.0	BASEMENT FLOOR PLAN
A1.1	GROUND FLOOR PLAN
A1.2	LEVEL 2 PLAN
A1.3	LEVEL 3-5 PLAN
A1.4	ROOF PLAN
A2.1	SOUTH ELEVATION
A2.2	NORTH ELEVATION
A2.3	EAST ELEVATIONS
A2.4	WEST ELEVATIONS
A3.1	BUILDING A SECTION
A3.2	BUILDING B SECTION
A3.3	BUILDING A COURTYARD SECTION
A3.4	BUILDING B COURTYARD SECTION
A3.5	CROSS SECTIONS
A4.1	VIEW FROM N BRANCIFORTE AVE AND WATER ST
A4.2	FRONT VIEW FROM WATER ST
A4.3	SIDE VIEW FROM WATER ST
A4.4	STREETSCAPE ELEVATION FROM WATER STREET
A5.1	SHADOW STUDY
A5.2	SIGN PLANS
A6.1	ENLARGED UNIT PLANS
A7.1	WALL SECTIONS
A7.2	EXTERIOR ARCHITECTURAL ELEMENTS
CIVIL	C1.0 SCHEMATIC DEMOLITION PLAN
C2.0	SCHEMATIC GRADING, DRAINAGE, AND UTILITY PLAN
C3.0	SCHEMATIC STORMWATER CONTROL PLAN
LANDSCAPE	L1 LANDSCAPE CONCEPT STATEMENTS
L2-12	LANDSCAPE RENDERING AND CONCEPTUAL IMAGES
L13	PLANTING PLAN
L14	PLANT PALETTE AND DETAILS

PROJECT DATA

PROJECT INFORMATION	GROSS SF CALCULATION
Site Location: 831 Water St Santa Cruz, CA 95060	BUILDING A: Ground level: 12,497 sf Level 2-5: 12,799 sf
ZONING DISTRICT: C-C COMMUNITY COMMERCIAL	Total: 63,693 sf
APN: 00921230; 00921231; 00921238	BUILDING B: Ground level: 9,469 sf Level 2-5: 9,876 sf
LOT AREA: Total Area: 39,607 sf	Total: 48,973 sf
FAR: Max Far: 2.75 Allowable sf: 2.75 x 39,607 = 108,919 sf	Total gross sf: 112,666 sf
Provided FAR: 2.85	UNIT COUNT
SETBACKS: Front yard: 0 ft Rear yard: 20 ft* Side yard: 0 ft	BUILDING A: Level 2-5: Studio: 28 1-Bedroom: 44
* Site abuts an R-District - setbacks should not be less than the minimum yard required for the adjacent yard in the said R-District.	TOTAL: 72
RETAIL	BUILDING B: Ground Level: 2-Bedroom: 1 Level 2-5: Studio: 68 1-Bedroom: 8
BUILDING A: Retail Ground Level: 8,947 sf Rooftop Bar: 2,320 sf	TOTAL: 77
SERVICES	TOTAL UNITS: 149
BUILDING B: Community room: 3,281 sf	
OPEN SPACE CALCULATION	
Required Open Space: 24.10.75: 100 sf/unit of private open space or 150 sf/unit of common open space 2/3 sf private open space = 1 sf group open space	
BUILDING A Required max 150 sf x 72 = 10,800 sf Provided : Total Open Space: 13,064 sf Combined	
BUILDING B Required max 150 sf x 77 = 11,550 sf Provided : Total Open Space: 15,023 sf Combined	
TOTAL OPEN SPACE: 28,087 sf Combined	
DATE	ISSUES & REVISIONS
6.30.2021	PERMIT SET

**APPENDIX A
STORM WATER AND LOW-IMPACT DEVELOPMENT BMP REQUIREMENT WORKSHEET**

How to Use This Worksheet

The City's Storm Water BMP requirements are based on project type, proposed impervious area, and location within the watershed. This worksheet was developed to help permit applicants determine and meet storm water BMP requirements applicable to a proposed development or redevelopment.

- Download this fillable form online at www.cityofsantacruz.com/LID.
- Fill out the Worksheet to determine what stormwater BMP requirements apply to a proposed project.
- Attach Worksheet and additional documentation required as listed in the City Storm Water Best Management Practices for Private and Public Development Projects to plans for review by the Department of Public Works.
- Please contact the Public Works Environmental Project Analyst at 420-5160 if you have any questions on completing the worksheet.

Project Address: 831 Water Street, Santa Cruz Bldg Permit #: _____

A - Project Type

Check project type that applies:

- Single Family Home Multi-family, Commercial, Industrial, Public facilities

Check development type that applies:

- New Development Redevelopment / Remodel

B - Proposed Development Area and Impervious Area:

Pre-project impervious surface area: 39,659 sq ft
 Post-project impervious surface area: 39,659 sq ft
 Amount of impervious surface area that will be replaced: 39,659 sq ft
 Amount of new impervious surface area that will be created: 0 sq ft
 Reduced Impervious Area Credit: 0 sq ft

New and Replaced Impervious Area = 39659 sq ft

Net Impervious Area = 39659 sq ft

(Net Impervious Area = Impervious Area created + Impervious Area replaced - Reduced Impervious Area Credit)

C - Post-Construction BMP Tier requirement:

Check Project Type and Impervious Area (from calculations above) that applies.
BMP requirements are cumulative (e.g. a project subject to BMP Tier 3 is also subject to Tiers 1 and 2), permit review fees are not cumulative.
 Projects requiring a Stormwater Control Plan will need to involve a civil engineer.

SINGLE-FAMILY HOMES	BMP TIER	Permit Review Fee	Stormwater Control Plan required?
<input type="checkbox"/> Single-family Home with Net Impervious Area < 15,000 sf, please consult Chapter 6A, BMPs for Single-Family Homes on Small Lots	N/A	\$0	No
<input type="checkbox"/> Net Impervious Area ≥ 15,000 sf; New and replaced impervious area < 22,500 sf	3	\$330	Yes
<input type="checkbox"/> New and replaced impervious area ≥ 22,500 sf	4	\$550	Yes

MULTI-FAMILY, COMMERCIAL, INDUSTRIAL, PUBLIC FACILITIES	BMP TIER	Permit Review Fee	Stormwater Control Plan Required?
<input type="checkbox"/> New and Replaced Impervious Area ≥ 2,500 sf; Net Impervious Area < 5,000 sf	1	\$0	No
<input type="checkbox"/> Net Impervious Area ≥ 5,000 sf; New and Replaced Impervious Area < 15,000 sf	2	\$330	Yes
<input type="checkbox"/> New and Replaced Impervious Area ≥ 15,000 sf but < 22,500 sf	3	\$550	Yes
<input checked="" type="checkbox"/> New and replaced impervious area ≥ 22,500 sf	4	\$550	Yes

If the proposed project is only subject to BMP Tiers 1 or 2, skip to Step F.

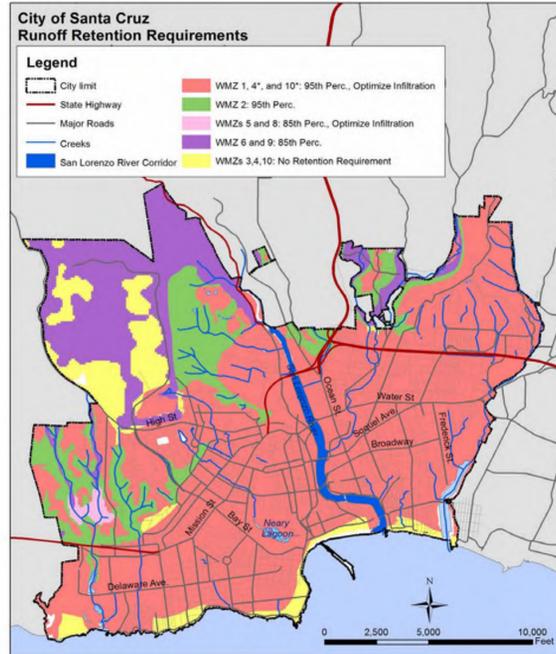
D - Watershed Management Zones - For projects subject to Tiers 3 Post-Construction BMP requirements only.

Watershed Management Zones are viewable online on the City of Santa Cruz GIS website at: <http://gis.cityofsantacruz.com/gis/index.html>

Watershed Management Zones and associated Tier 3 (Runoff Retention) Post-Construction BMP requirements

If Tier 3 BMP requirements are applicable to the project, check the watershed management zone area where the project is located.

- WMZ 1, and portions of 4, and 10 overlying groundwater basin WMZ 2
 WMZ 5 and 8 WMZ 6 and 9
 WMZ 3, 4 and 10



E - Special Circumstances - For projects subject to Tiers 3 and 4 Post-Construction BMP requirements only.

Check if special circumstance applies to the project

- Highly Altered Channel and Intermediate Flow Control Facility Urban Sustainability Area

F - Additional Stormwater BMP Requirements for Multi-family, Commercial and Industrial projects

Check if additional BMP requirements apply to the project

- a) State Construction Activities Storm Water General Permit
 Construction activity resulting in land disturbance of one acre or more, or part of a larger common plan of development
- b) Additional Source Control BMP requirements for specific facilities
- | | |
|--|--|
| <input type="checkbox"/> Commercial or industrial facility | <input type="checkbox"/> Parking areas |
| <input type="checkbox"/> Material Storage Areas | <input type="checkbox"/> Pools, spas and other water features |
| <input type="checkbox"/> Vehicle fueling, maintenance and wash areas | <input checked="" type="checkbox"/> Trash Storage Areas |
| <input type="checkbox"/> Equipment and accessory wash areas | <input type="checkbox"/> Restaurants and food processing or manufacturing facilities |
| <input checked="" type="checkbox"/> Interior and parking garage floor drains | <input type="checkbox"/> Miscellaneous drain or wash water |

G - Complete if your project is only subject to Tier 1 Requirements - Site planning and LID design measures.

LID design measures shall be clearly marked on site plans

Check applicable boxes and provide short description of measure and location

- Conserve natural areas, riparian areas and wetlands
 Description: _____
- Concentrate improvements on the least-sensitive portions of the site and minimize grading
 Description: _____
- Direct roof runoff into cisterns or rain barrels
 Description: _____
- Direct roof downspouts to landscaped areas or rain gardens
 Description: _____
- Use pervious pavement (pervious concrete or asphalt, turf block, crushed aggregate, etc.)
 Description: _____
- Disperse runoff from paved areas to adjacent pervious areas
 Description: _____



BASE PROJECT Ground Floor Program



BASE PROJECT Residential Program



PROPOSED PROJECT Ground Floor Program



PROPOSED PROJECT Residential Program

C-C Community Commercial (Part 8 - 24.10.700)

Standard	Reference	Requirement
Height	24.10.750.1.a	3 stories 40 feet
Setbacks	24.10.750.1.c	Front 0 feet
		Rear 20 feet*
		Side 0 feet
*20 feet required where C-C abuts any residential district		
Open Space	24.10.750.1.d	Private 100 sf per unit
		Common 150 sf per unit

BASE SCHEME 2.75 FAR MAX

Market Rate	%	Units per floor	Plate size			TOTAL UNITS
Studio	39%	27 units	13,900 sf	2 levels	27,800 sf	54 units
1BR	61%					
Avg. unit size		520 sf				
Total Residential square footage					27,800	
Other program						
Retail					8,900 sf	
Residential support					8,800 sf	
TOTAL SQUARE FOOTAGE					45,500 sf	
TOTAL FAR SQUARE FOOTAGE					17,700 sf	
Affordable						
Studio	88%	28 units	10,250 sf	2 levels	20,500 sf	56 units
1BR	10%					
2BR	1%					
Avg. unit size		372 sf				
Total Residential square footage					20,500 sf	
Other program						
Community Room					3,330 sf	
Residential support					8,950 sf	
TOTAL SQUARE FOOTAGE					32,780 sf	
PARKING STRUCTURE SQUARE FOOTAGE					17,728 SF	
TOTAL FAR SQUARE FOOTAGE					30,213 sf	

BASE UNIT COUNT	110 units
Lot size	0.91 acres
DU/acre	121 units
TOTAL FAR SF	47,913 sf
BASE FAR	1.21

PROPOSED SCHEME 2.9 FAR

Market Rate	Unit sizes	Avg. size
Studio	7 units 4 levels 391 sf 28 units 10,948 sf	28 39%
1BR	6 units 4 levels 584 sf 24 units 14,016 sf	44 61%
	4 units 4 levels 610 sf 16 units 9,760 sf	
	1 units 4 levels 687 sf 4 units 2,748 sf	
18 units 72 units 37,472 sf		520 sf
OTHER PROGRAM		
Retail		9,500 sf
Residential Support		2,121 sf
TOTAL SQUARE FOOTAGE		51,841 sf
TOTAL FAR SQUARE FOOTAGE		11,648 sf
Affordable		
Studio	17 units 4 levels 334 sf 68 units 22,712 sf	68 88%
1BR	2 units 4 levels 610 sf 8 units 4,880 sf	8 10%
2BR	1 units 1 levels 1058 sf 1 unit 1,058 sf	1 1%
77 units 28,650 sf		372 sf
OTHER PROGRAM		
Residential Support		3,688 sf
Community Room		3,275 sf
TOTAL SQUARE FOOTAGE		36,671 sf
PARKING STRUCTURE SQUARE FOOTAGE		32,522 SF
TOTAL FAR SQUARE FOOTAGE		40,543 sf

DENSITY BONUS CALCULATION	
Affordable units	50%
Density bonus per SB35 (50% x BASE unit count)	55 units
Base Unit Count	110 units
TOTAL ALLOWABLE UNITS	165 units

PROPOSED UNIT COUNT	149 units
Lot size	0.91 acres
DU/acre	164 DU/acre
TOTAL FAR SF	52,191 sf
BASE FAR	1.32

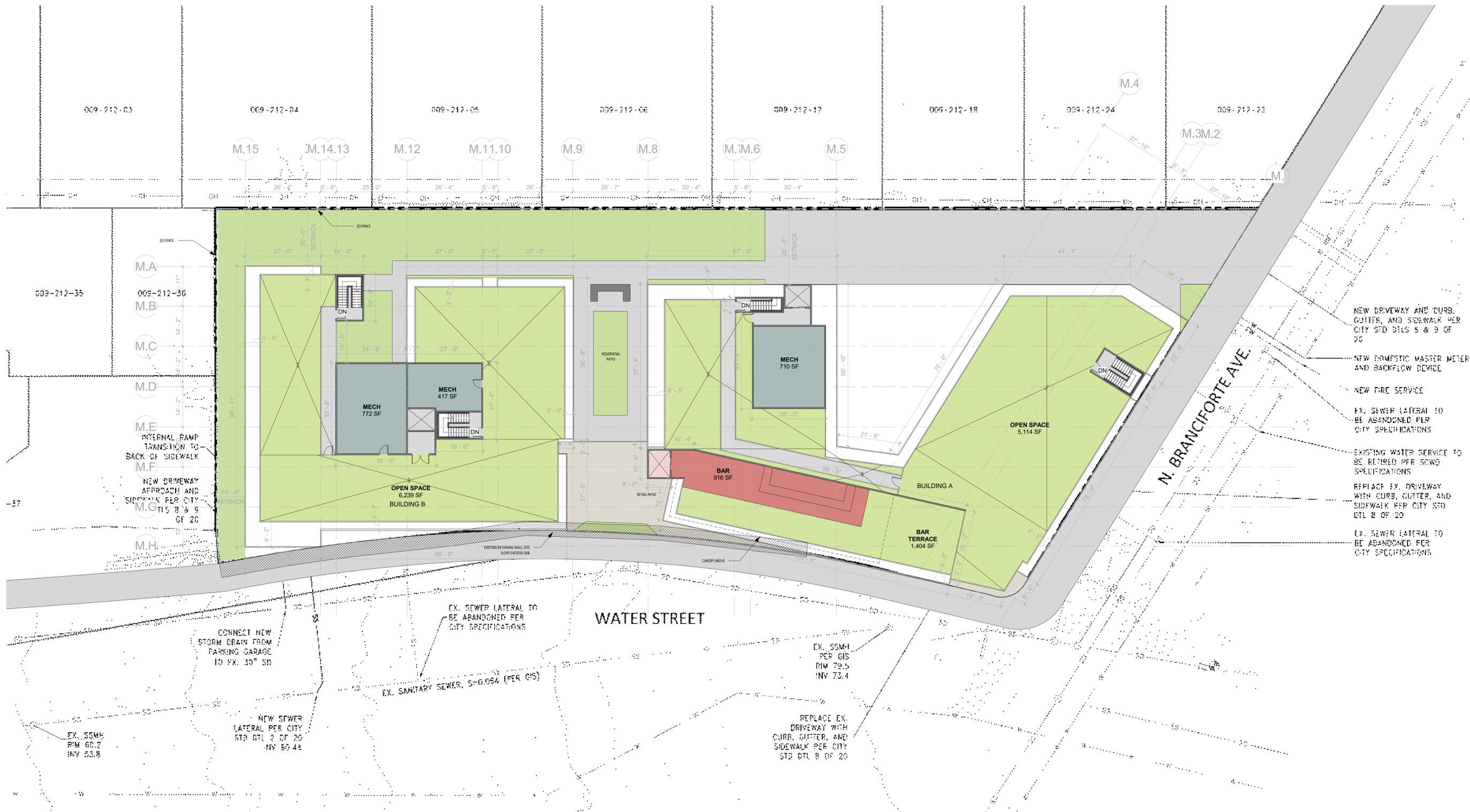


DENSITY BONUS CALCULATIONS - BASE

831 WATER ST. - 6/30/21







- NEW DRIVEWAY AND CURB, GUTTER, AND SIDEWALK PER CITY STD BILLS 5 & 9 OF 20
- NEW DOMESTIC MASTER METER AND BACKFLOW DEVICE
- NEW FIRE SERVICE
- EX. SEWER LATERAL TO BE ABANDONED PER CITY SPECIFICATIONS
- EXISTING WATER SERVICE TO BE REMOVED PER SOWS SPECIFICATIONS
- REPLACE EX. DRIVEWAY WITH CURB, GUTTER, AND SIDEWALK PER CITY STD DTL 2 OF 20
- EX. SEWER LATERAL TO BE ABANDONED PER CITY SPECIFICATIONS

CONNECT NEW STORM DRAIN FROM PARKING GARAGE TO EX. 30" SD

EX. SSM#1 RIM 60.2 INV 53.8

NEW SEWER LATERAL PER CITY STD DTL 2 OF 20 INV 55.44

EX. SEWER LATERAL TO BE ABANDONED PER CITY SPECIFICATIONS

EX. SANITARY SEWER, S=0.054 (PER CIS)

EX. SSM#1 PER CIS RIM 72.5 INV 73.4

REPLACE EX. DRIVEWAY WITH CURB, GUTTER, AND SIDEWALK PER CITY STD DTL 8 OF 20

Required Auto Parking:

24.12.240:

BASE PARKING CALCULATION

1 space/Studio x 96 studios	96 spaces
1 space/1BR x 52 1BRs	52 spaces
<u>2 spaces/2BR x 1 2BRs</u>	<u>2 spaces</u>
TOTAL BASE PARKING REQ'D	150 spaces

Guest = 10% x 146 spaces	15 spaces
<u>TOTAL w/GUEST PARKING</u>	<u>165 spaces</u>

DENSITY BONUS PARKING CALCULATION

0.5 spaces/Studio x 96 studios	48 spaces
0.5 spaces/1BR x 52 1BRs	26 spaces
<u>1 space/2BR x 1 2BRs</u>	<u>1 spaces</u>
TOTAL w/DB	75 spaces

Guest = 10% x 75 spaces	8 spaces
<u>DB TOTAL w/GUEST PARKING</u>	<u>83 spaces</u>

COMMERCIAL PARKING CALCULATION

Required: 1 space/250 gsf	
11,267 gsf / 250 sf	45 spaces

Provided Auto Parking:

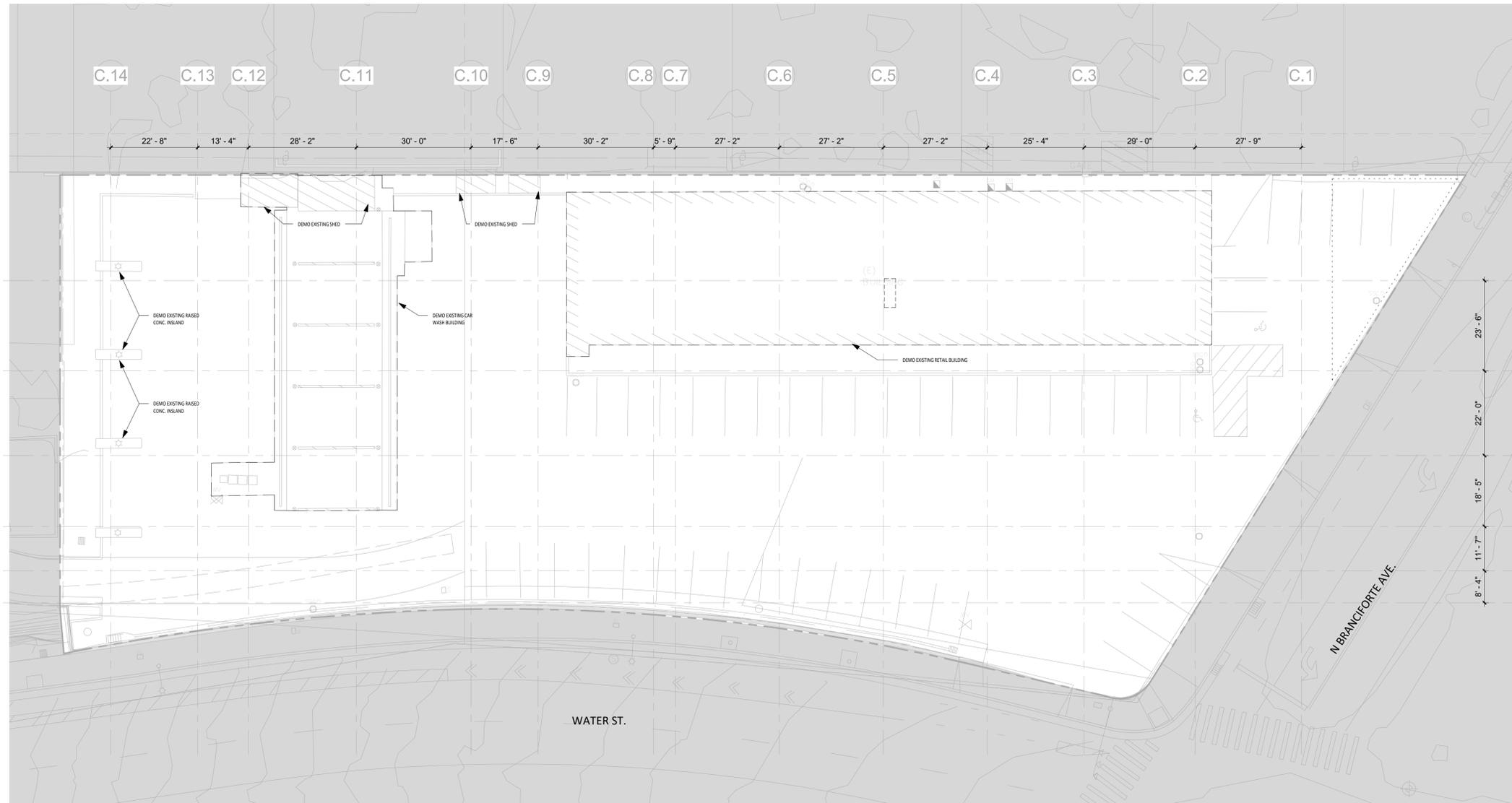
Residential (2 level stacker)	108 spaces
Residential ADA:	5 spaces
<u>Residential:</u>	<u>1 space</u>
Total auto spaces provided:	114 spaces

Commercial Ground lvl.:	4 spaces
Commercial ADA:	3 spaces
<u>Commercial Underground:</u>	<u>20 spaces</u>
Total auto spaces provided:	27 spaces
TOTAL PARKING PROVIDED:	141 spaces

Required Bicycle Parking:

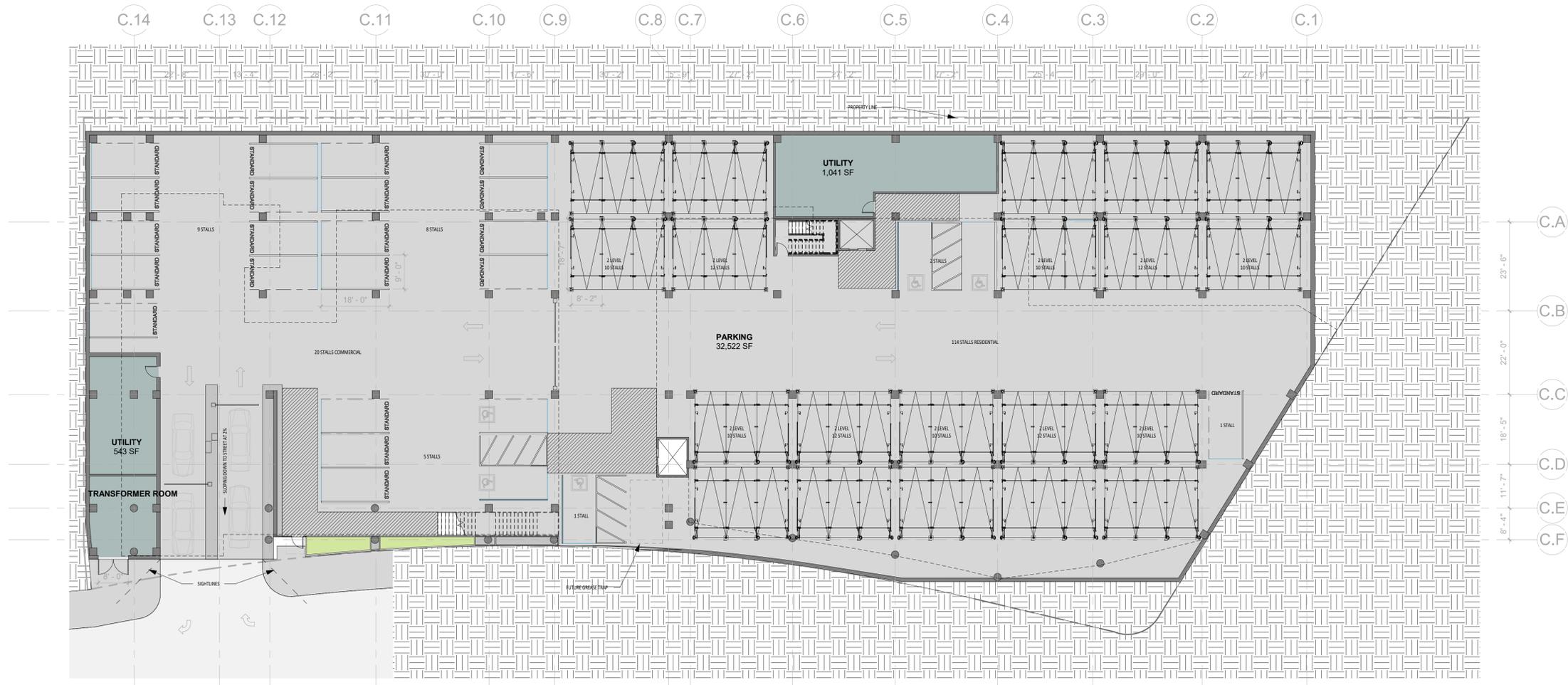
24.12.250:

Residential: 1 space/ units	
Commercial: 2 + 15% of auto parking required	
Total bicycle spaces provided:	132 spaces



C.A
C.B
C.C
C.D
C.E
C.F

LEGEND	
	EXISTING WALL TO BE DEMOLISHED
	EXISTING ITEM TO BE DEMOLISHED, REFER TO KEY NOTES ABOVE
	EXISTING WALL TO REMAIN
	AREA NOT IN CONTRACT

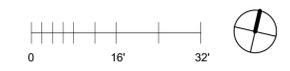


TOTAL GROSS SF: 36,340 SF
 TOTAL LEASABLE SF: 34,539 SF

- OPEN SPACE
- PARKING
- UTILITY
- CIRCULATION



	BUILDING A	BUILDING B
TOTAL GROSS SF:	12,497 SF	9,469 SF
TOTAL LEASABLE SF:	11,692 SF	8,028 SF



GROUND FLOOR PLAN
831 WATER ST. - 6/30/21

A1.1

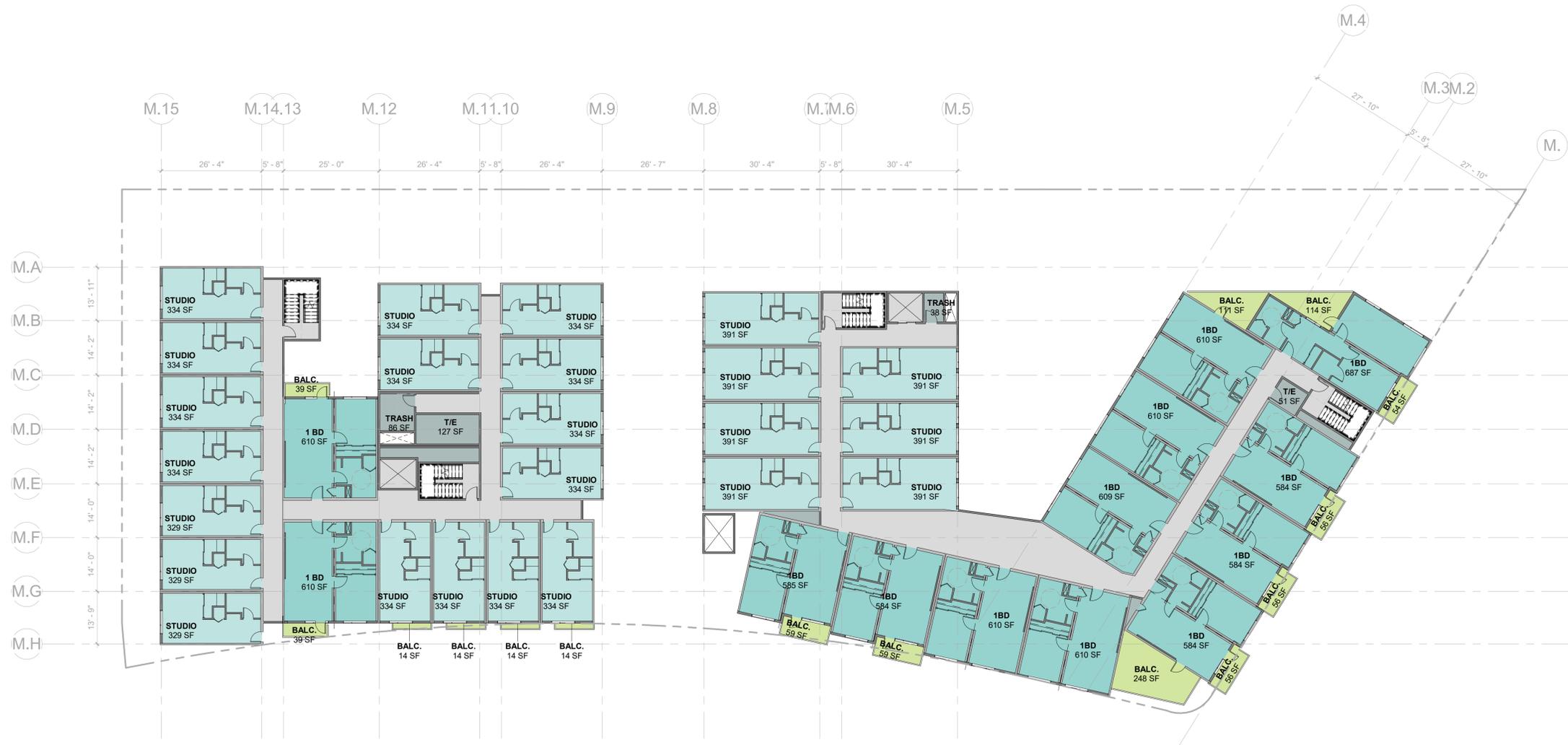


TOTAL GROSS SF: 12,799 SF
 TOTAL LEASABLE SF: 9,563 SF

BUILDING A
 12,799 SF
 9,563 SF

BUILDING B
 9,876 SF
 7,177 SF

- STUDIO
- 1 BEDROOM
- OPEN SPACE
- UTILITY
- CIRCULATION

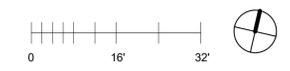


TOTAL GROSS SF: 12,799 SF
 TOTAL LEASABLE SF: 9,736 SF

BUILDING A
 12,799 SF
 9,736 SF

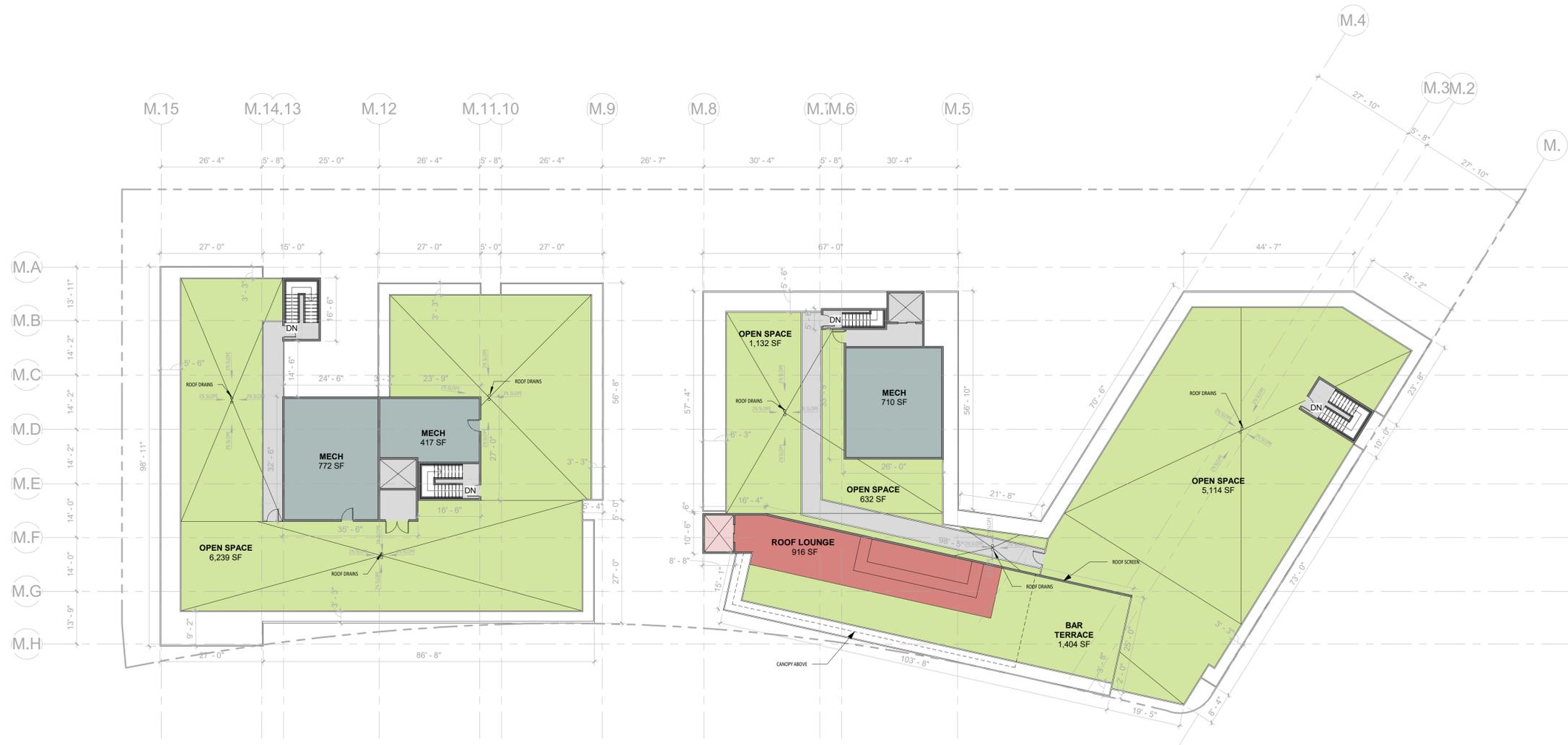
BUILDING B
 9,876 SF
 7,177 SF

- STUDIO
- 1 BEDROOM
- OPEN SPACE
- UTILITY
- CIRCULATION



LEVEL 3-5 PLAN
 831 WATER ST. - 6/30/21

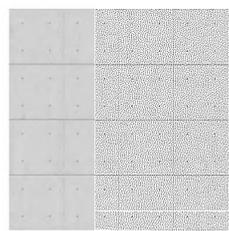
A1.3





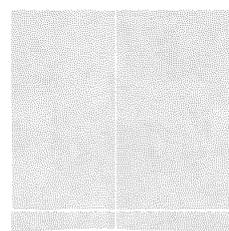
W1

CEDAR
Nichiha Vintagewood



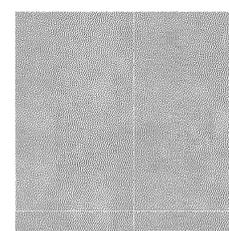
C1

CONCRETE



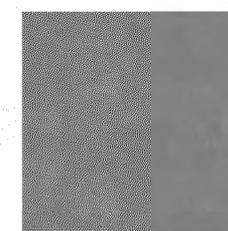
S1

STUCCO
White



S2

STUCCO
Grey



S3

STUCCO
Dark Grey



M1

PAINTED METAL
Dark Blue



M2

PAINTED STEEL ELEVATOR
Blue Gradient



G1

GLAZING
Vinyl Clad Window



G2

GLAZING
Aluminum Storefront



G3

GLAZING
Aluminum Window



M.15 M.14 M.13 M.12 M.11 M.10 M.9 M.8 C.7 M.7 M.6 M.5 M.2 S.3 S.2 S.1 W.1 G.3 M.1 G.2 C.1

ROOF LEVEL 0'-0" LEVEL 5 48'-0" LEVEL 4 39'-0" LEVEL 3 28'-0" LEVEL 2 18'-0" LEVEL 1 0'-0" BASEMENT -13'-0"

CUSTOMER PARKING BELOW

SIGNAGE

SIGNAGE

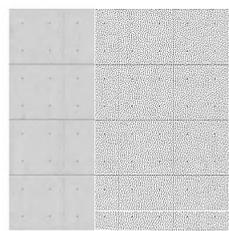
SIGNAGE

SIGNAGE



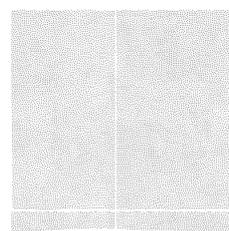
W1

CEDAR
Nichiha Vintagewood



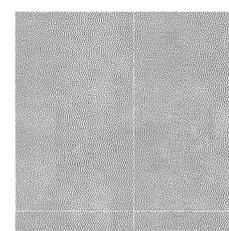
C1

CONCRETE



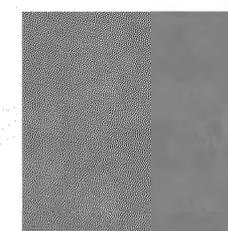
S1

STUCCO
White



S2

STUCCO
Grey



S3

STUCCO
Dark Grey



M1

PAINTED METAL
Dark Blue



M2

PAINTED STEEL ELEVATOR
Blue Gradient

G1

GLAZING
Vinyl Clad Window

G2

GLAZING
Aluminum Storefront

G3

GLAZING
Aluminum Window



ROOF LEVEL
59'-0"

LEVEL 5
48'-0"

LEVEL 4
37'-0"

LEVEL 3
26'-0"

LEVEL 2
15'-0"

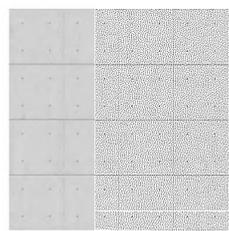
LEVEL 1
4'-0"

BASEMENT
-13'-0"



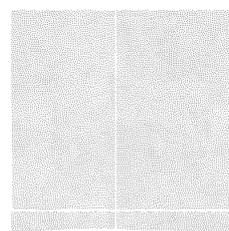
W1

CEDAR
Nichiha Vintagewood



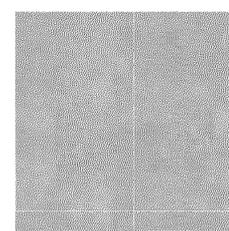
C1

CONCRETE



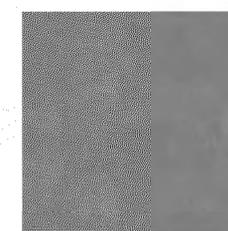
S1

STUCCO
White



S2

STUCCO
Grey



S3

STUCCO
Dark Grey



M1

PAINTED METAL
Dark Blue



M2

PAINTED STEEL ELEVATOR
Blue Gradient

G1

GLAZING
Vinyl Clad Window

G2

GLAZING
Aluminum Storefront

G3

GLAZING
Aluminum Window



3 BUILDING A ELEVATION - EAST
1" = 10'-0"

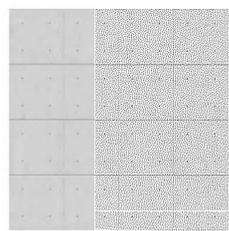


4 BUILDING B ELEVATION - EAST
1" = 10'-0"



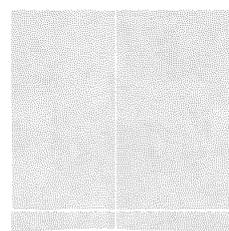
W1

CEDAR
Nichiha Vintagewood



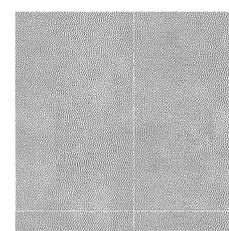
C1

CONCRETE



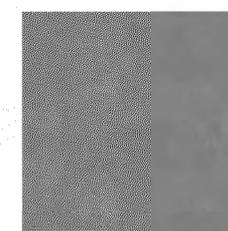
S1

STUCCO
White



S2

STUCCO
Grey



S3

STUCCO
Dark Grey



M1

PAINTED METAL
Dark Blue



M2

PAINTED STEEL ELEVATOR
Blue Gradient



G1

GLAZING
Vinyl Clad Window



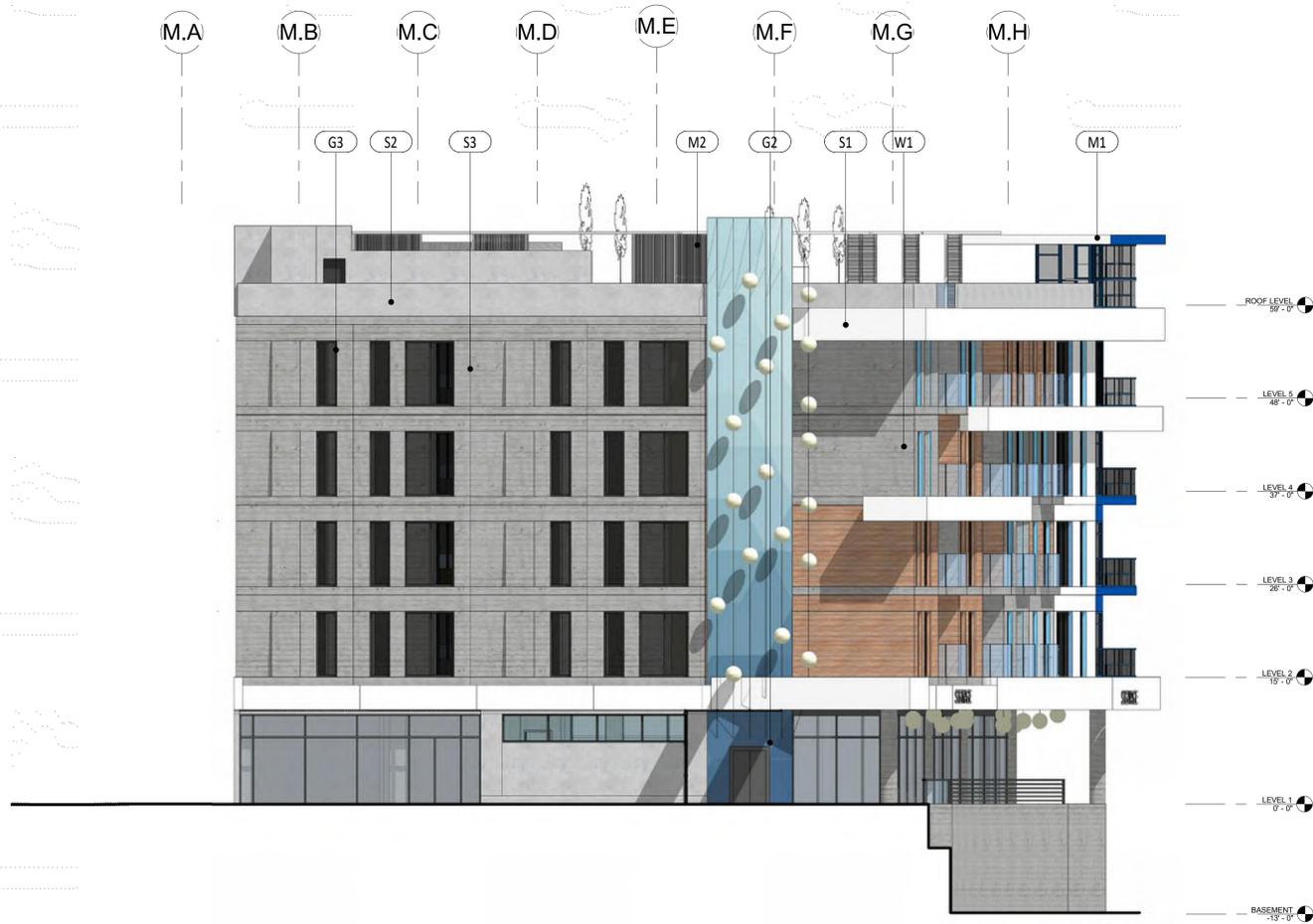
G2

GLAZING
Aluminum Storefront



G3

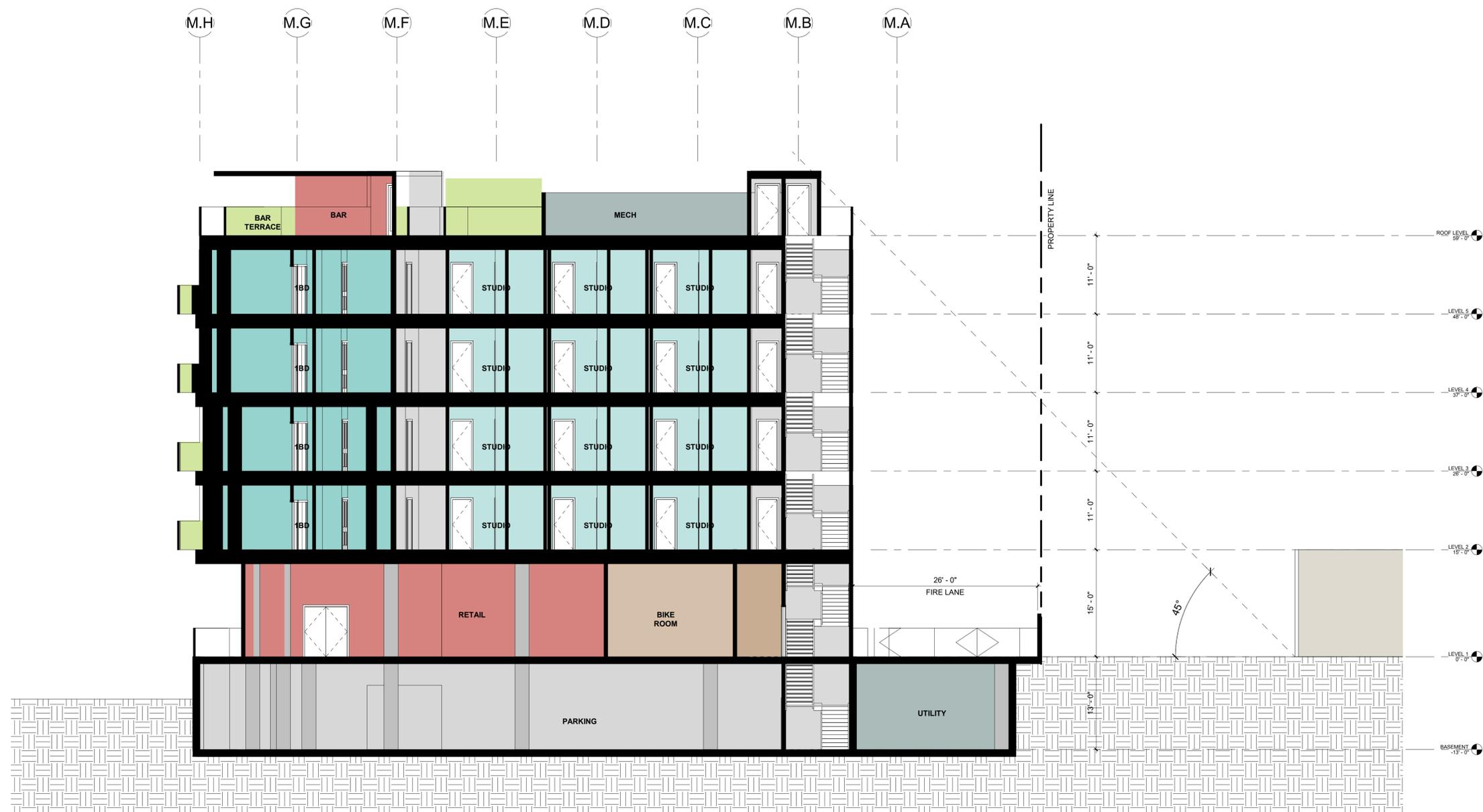
GLAZING
Aluminum Window

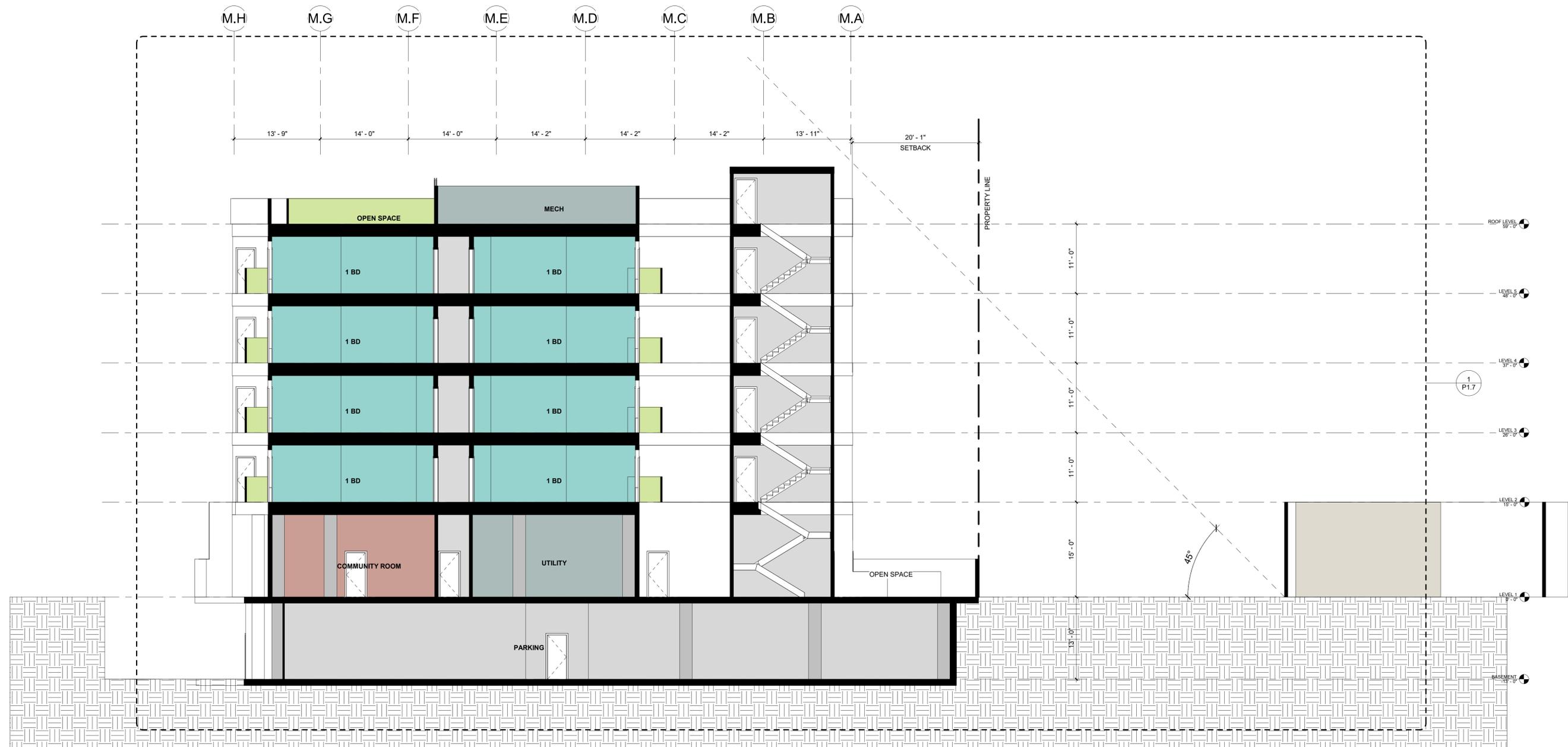


① BUILDING A ELEVATION - WEST
1" = 10'-0"



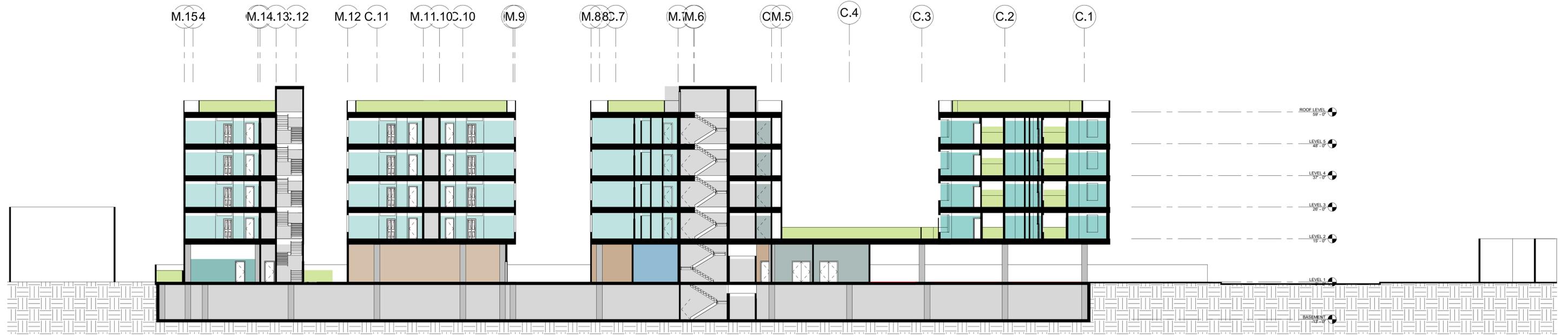
② BUILDING B ELEVATION - WEST
1" = 10'-0"











② SITE CROSS SECTION
1/16" = 1'-0"



① STREET CROSS SECTION
1/16" = 1'-0"







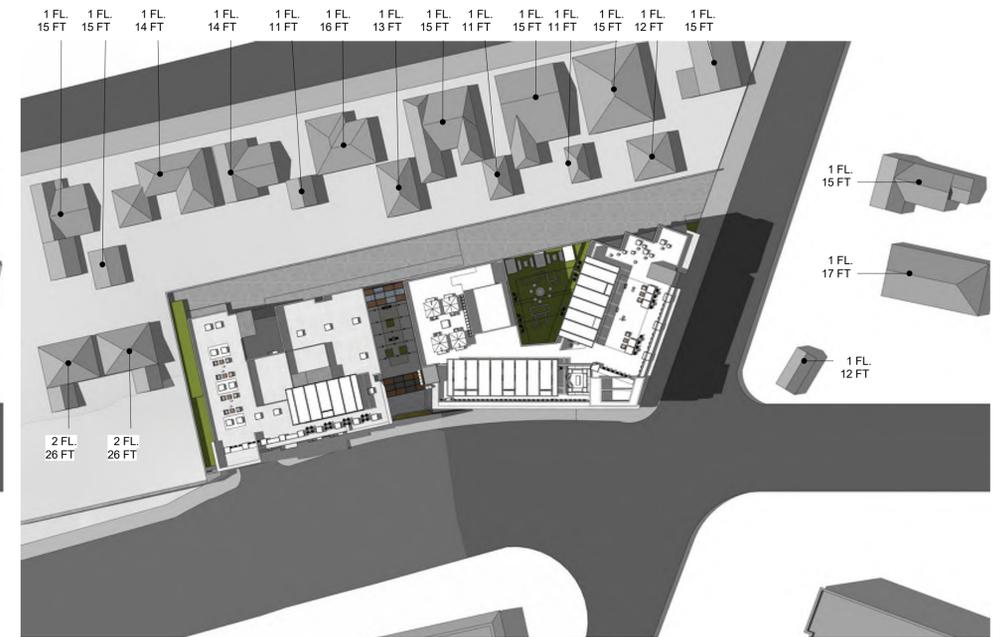




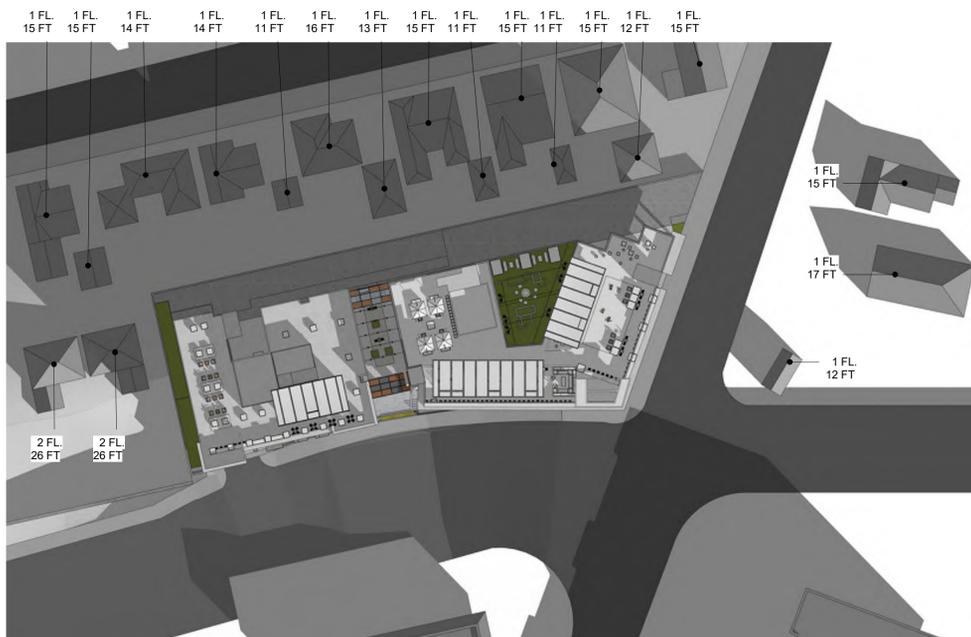
JUN 21 9AM



JUN 21 12PM



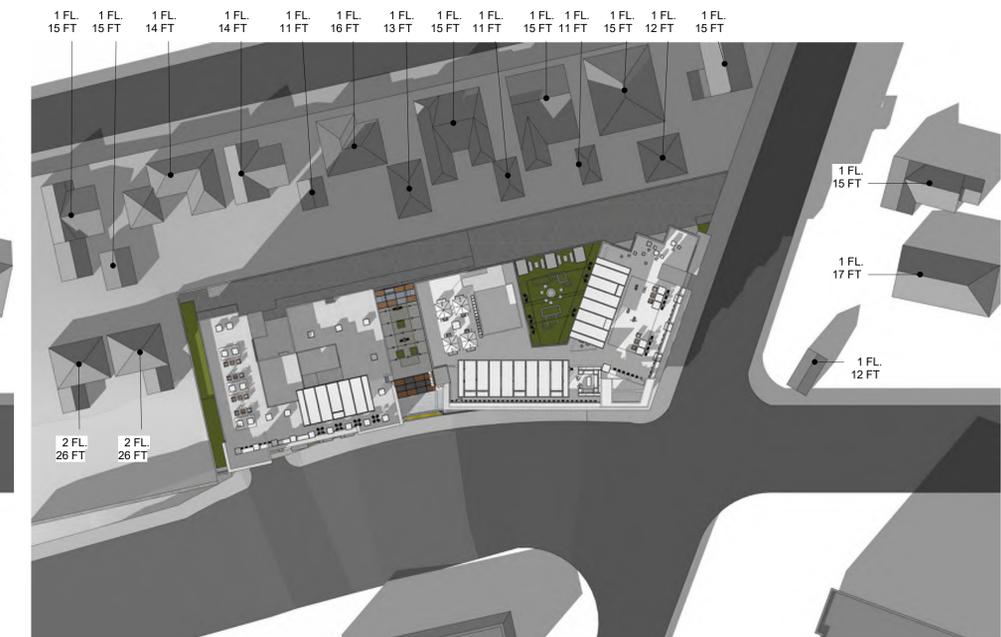
JUN 21 3PM



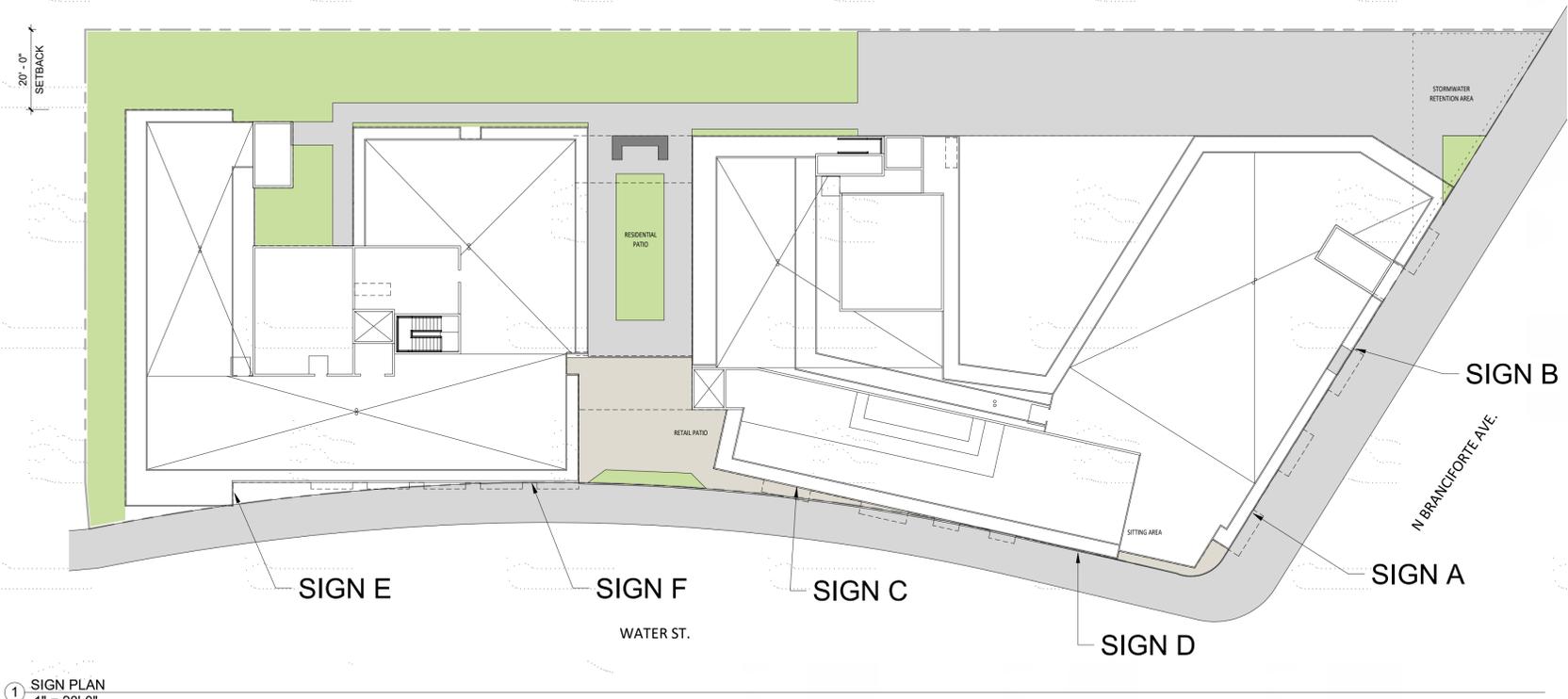
DEC 21 9AM



DEC 21 12PM



DEC 21 3PM



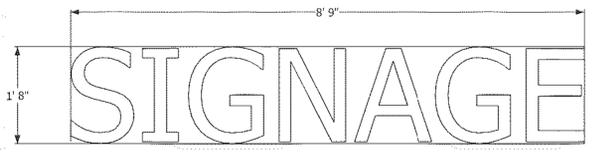
1 SIGN PLAN
1" = 20'-0"



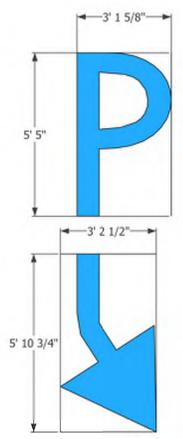
SIGN F
BLACK PAINTED ALUMINUM LETTERS IN ARIAL



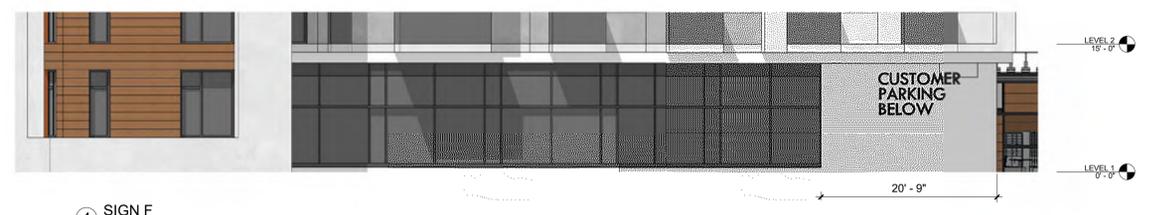
SIGN E
CYAN PAINTED ALUMINUM LETTERS IN ARIAL



SIGN A,B,C,D
WHITE PAINTED ALUMINUM LETTERS



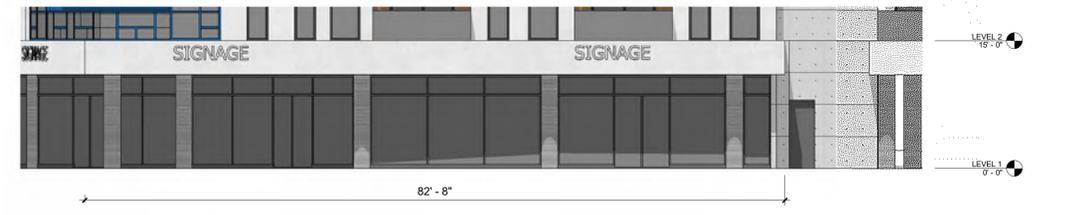
SIGN E
CYAN PAINTED ALUMINUM LETTER & ARROW IN ARIAL



4 SIGN F
1" = 10'-0"



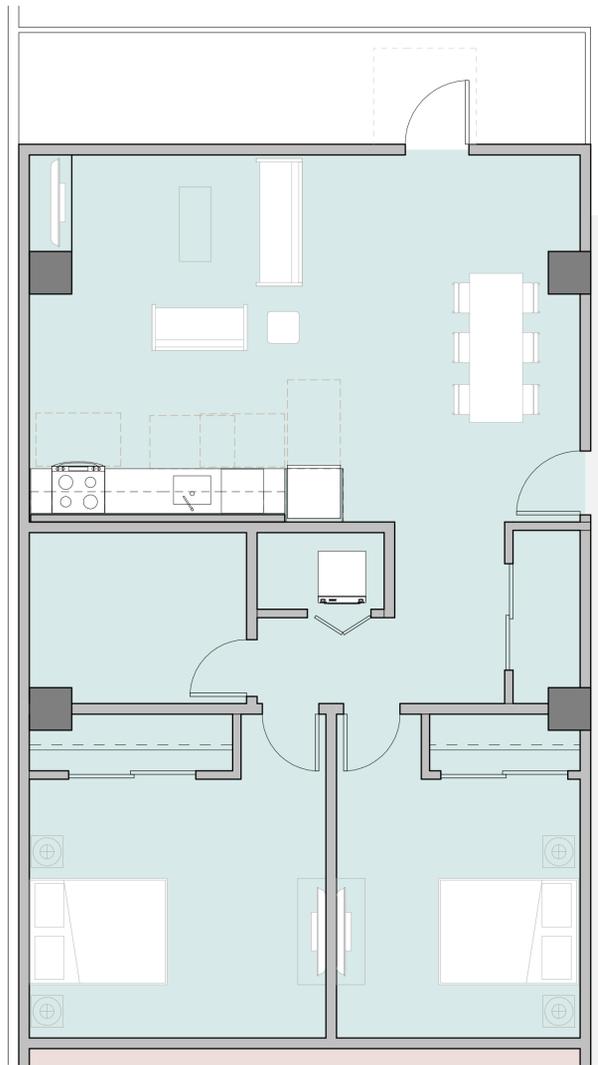
5 SIGN E
1" = 10'-0"



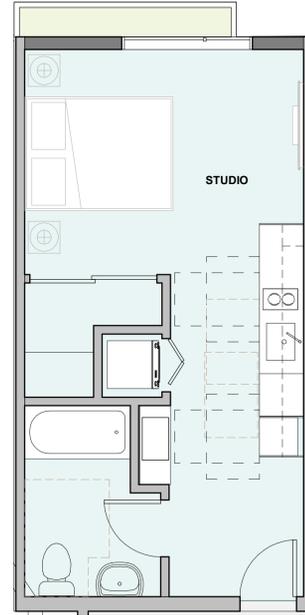
2 SIGN A&B
1" = 10'-0"



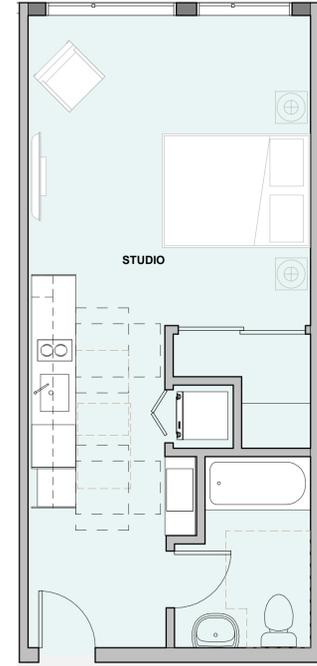
3 SIGN C&D
1" = 10'-0"



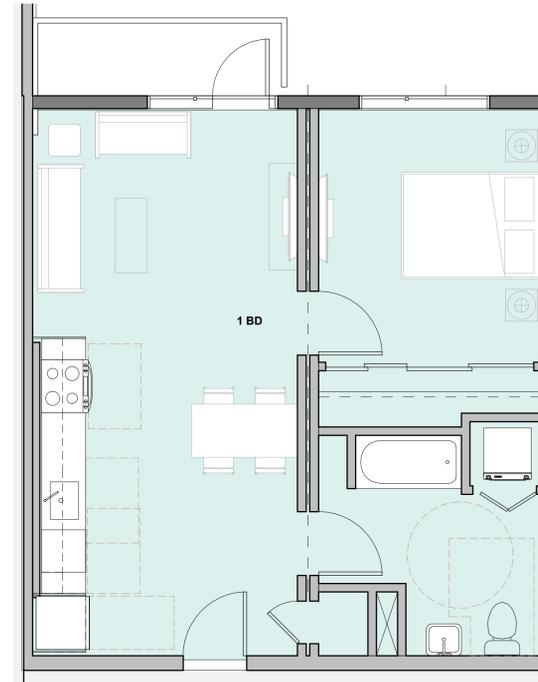
⑤ ENLARGED UNIT PLAN - 2 BEDROOM
1/4" = 1'-0"



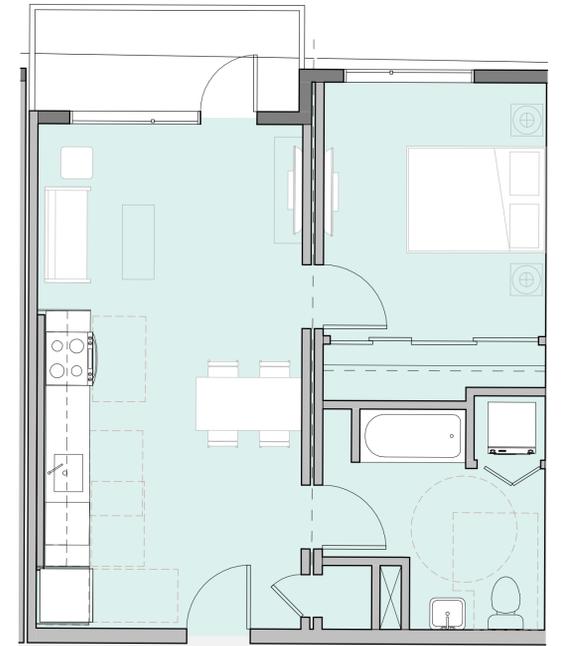
④ ENLARGED UNIT PLAN - STUDIO (AFFORDABLE)
1/4" = 1'-0"



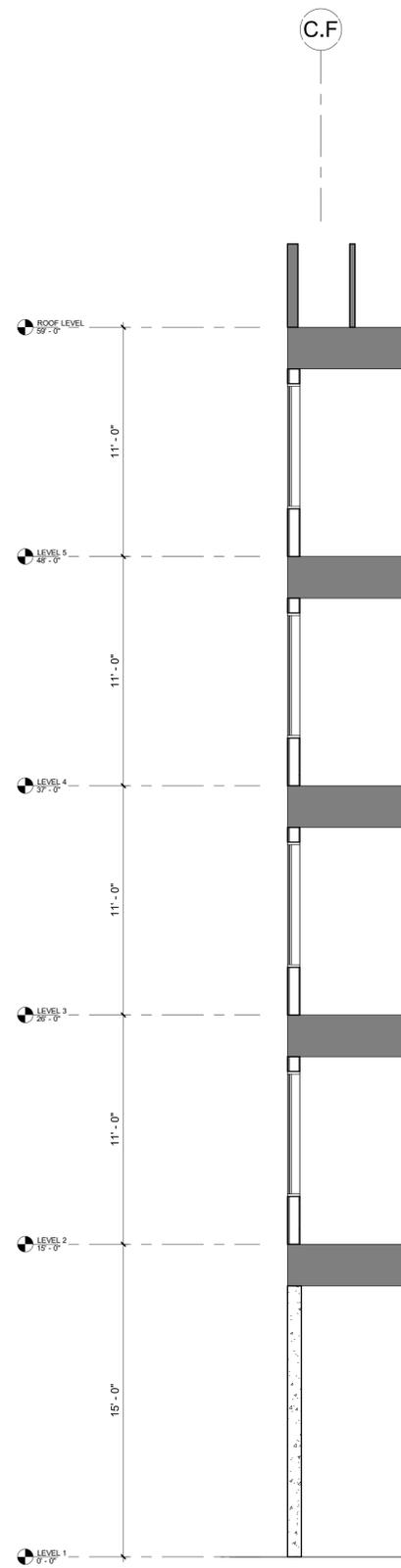
② ENLARGED UNIT PLAN - STUDIO (MARKET RATE)
1/4" = 1'-0"



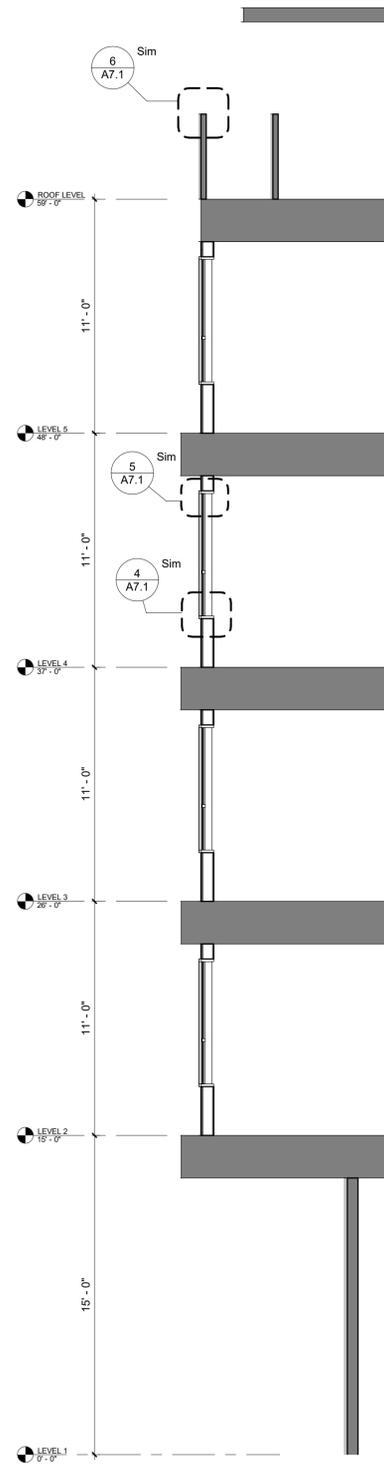
③ ENLARGED UNIT PLAN - AFFORDABLE 1 BEDROOM
1/4" = 1'-0"



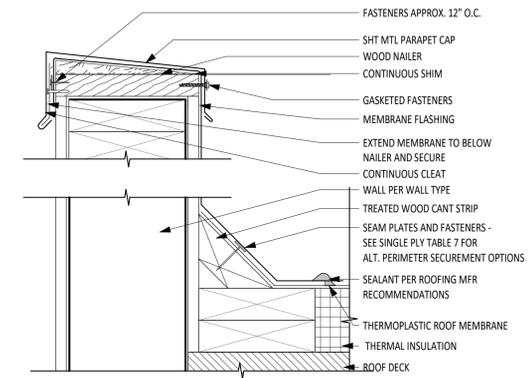
① ENLARGED UNIT PLAN - MARKET RATE 1 BEDROOM
1/4" = 1'-0"



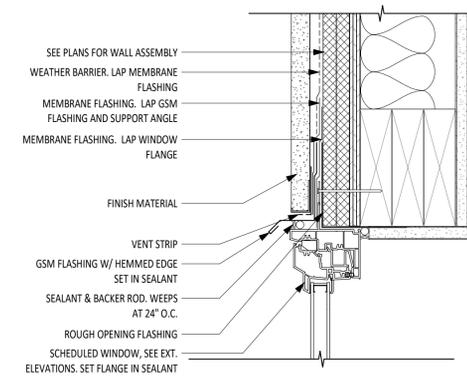
① Section 3
1/4" = 1'-0"



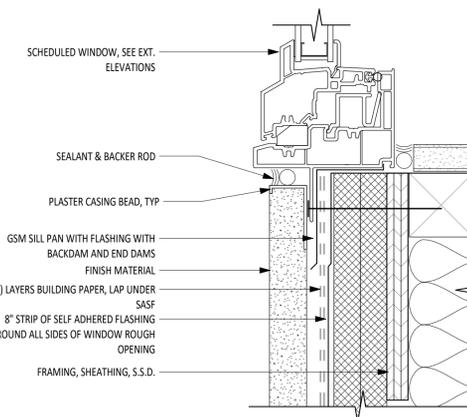
② Section 4
1/4" = 1'-0"



⑥ PARAPET DETAIL
3" = 1'-0"



⑤ WINDOW HEAD DETAIL
3" = 1'-0"

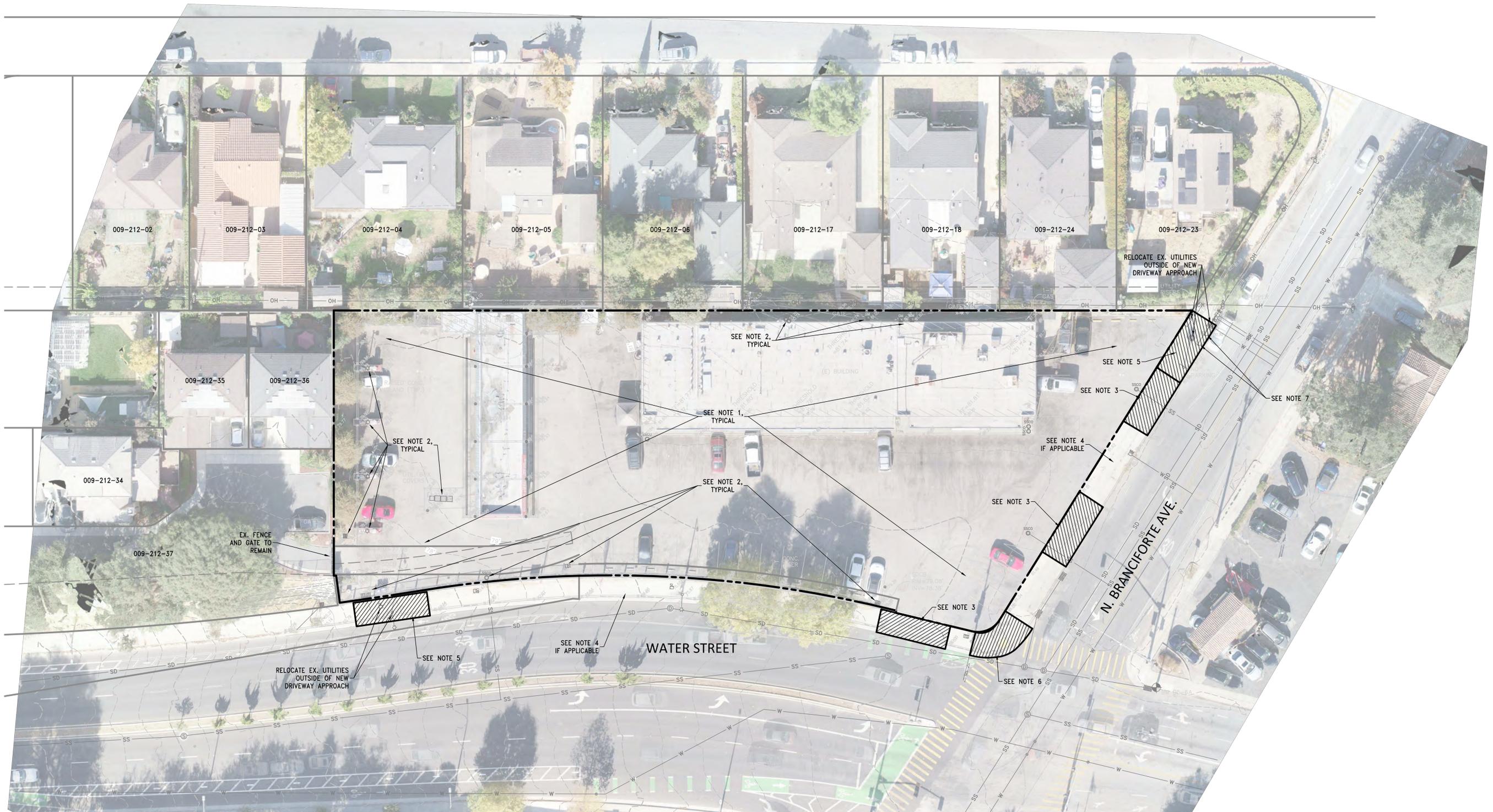


④ WINDOW SILL DETAIL
6" = 1'-0"



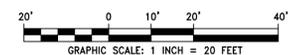
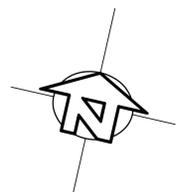
18" BALCONY

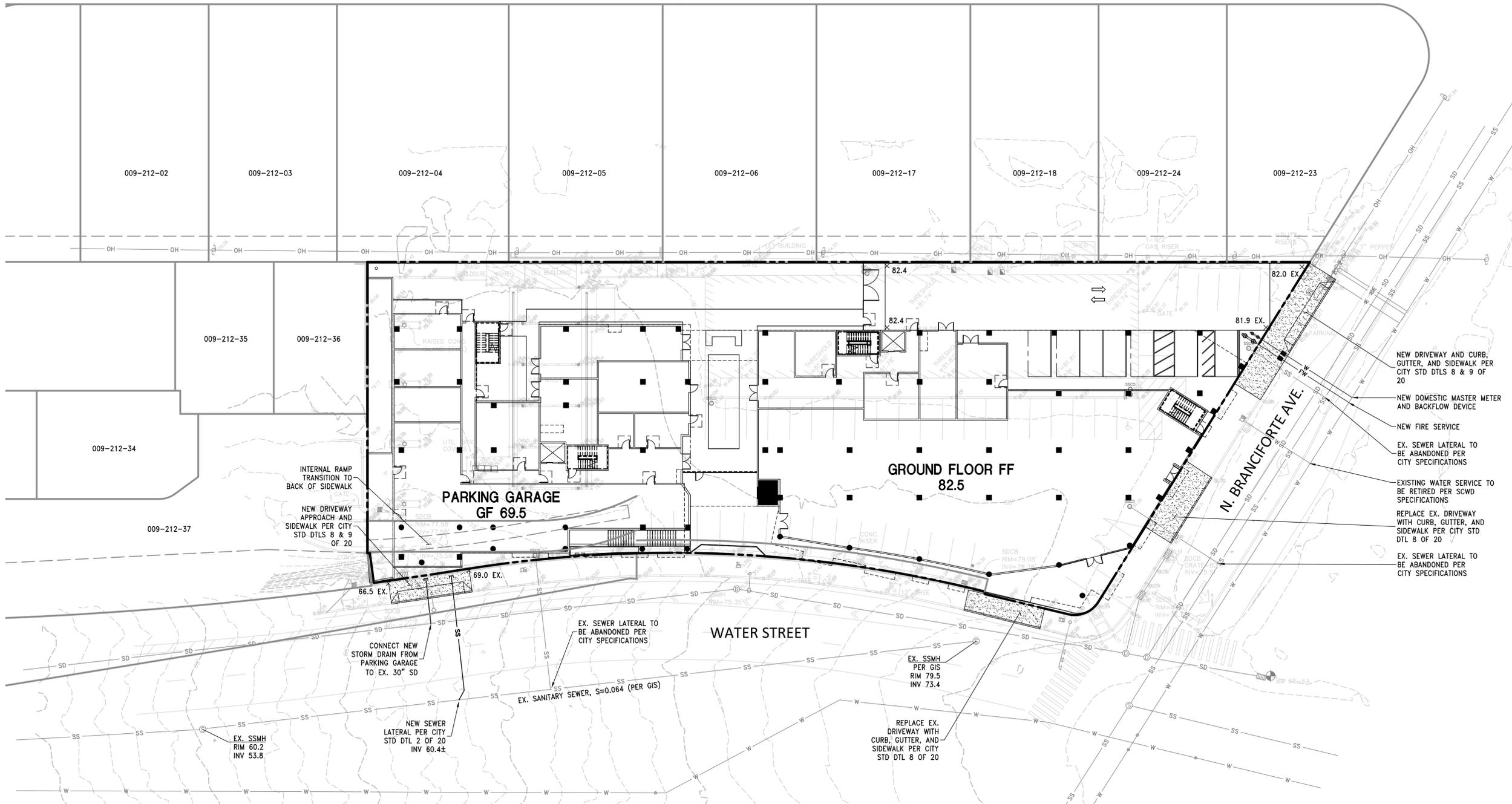




NOTES:

1. ALL SITE IMPROVEMENTS AND STRUCTURES WITHIN THE PROPERTY BOUNDARIES ARE TO BE DEMOLISHED.
2. ON-SITE UTILITIES NOT SERVING ADJACENT PARCELS ARE TO BE REMOVED.
3. EXISTING DRIVEWAY APPROACHES TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER, AND SIDEWALK PER CITY STANDARDS.
4. EXISTING CURB, GUTTER, AND SIDEWALK IN POOR CONDITION IS TO BE REMOVED AND REPLACED PER CITY STANDARDS.
5. NEW DRIVEWAY APPROACHES WITH WRAPAROUND SIDEWALKS SHALL BE CONSTRUCTED PER CITY STANDARDS.
6. EXISTING CURB RAMP TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT ACCESSIBLE CURB RAMP.
7. EXISTING UTILITY POLE AND GUY WIRES TO BE RELOCATED OR REMOVED AND OVERHEAD LINES BURIED AS DETERMINED THROUGH SEPARATE PG&E NEW SERVICE APPLICATION PROCESS (BY OTHERS).





- NEW DRIVEWAY AND CURB, GUTTER, AND SIDEWALK PER CITY STD DTLS 8 & 9 OF 20
- NEW DOMESTIC MASTER METER AND BACKFLOW DEVICE
- NEW FIRE SERVICE
- EX. SEWER LATERAL TO BE ABANDONED PER CITY SPECIFICATIONS
- EXISTING WATER SERVICE TO BE RETIRED PER SCWD SPECIFICATIONS
- REPLACE EX. DRIVEWAY WITH CURB, GUTTER, AND SIDEWALK PER CITY STD DTL 8 OF 20
- EX. SEWER LATERAL TO BE ABANDONED PER CITY SPECIFICATIONS

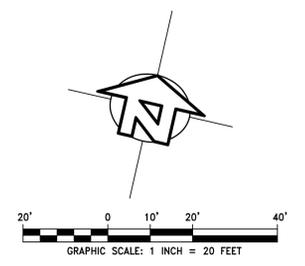
ESTIMATED EARTHWORK QUANTITIES

17,800	CUBIC YARDS CUT
0	CUBIC YARDS FILL
17,800	CUBIC YARDS EXPORT

- NOTES:
1. ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
 2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.

NOTES:

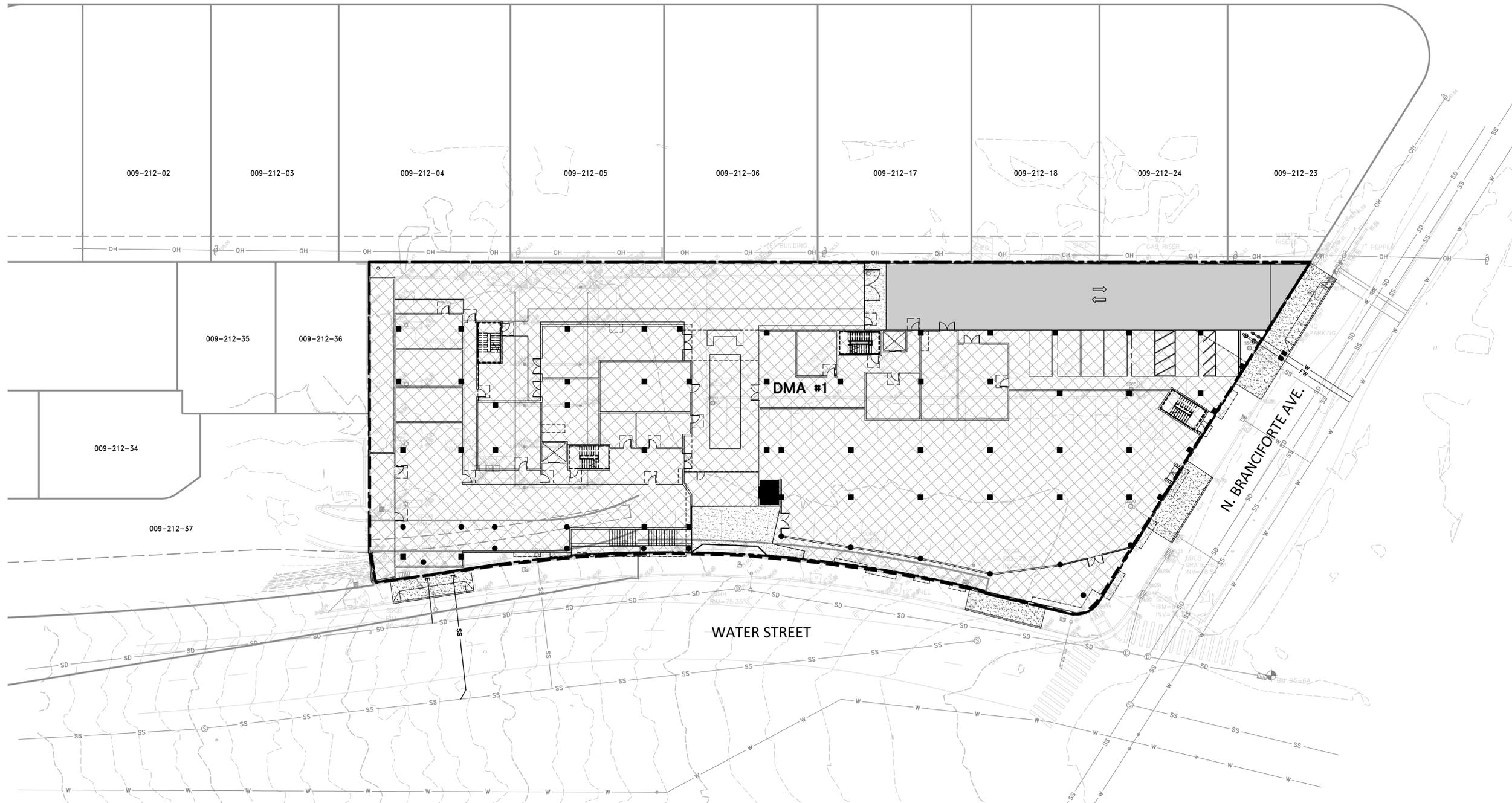
1. SCHEMATIC SITE PLAN PROVIDED BY LOWNEY ARCHITECTS.
2. SEE SHEET C3.0 FOR DESCRIPTION OF ON-SITE DRAINAGE IMPROVEMENTS.
3. SIZING OF NEW UTILITIES SERVICES WILL BE DETERMINED DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS. INFORMATION SHOWN HEREON IS FOR CONCEPTUAL PURPOSES ONLY AND SUBJECT TO CHANGE.
4. GRADING INFORMATION SHOWN HEREON IS SCHEMATIC, INTENDED TO COMMUNICATE GENERAL DESIGN INTENT ONLY, AND IS SUBJECT TO CHANGE.
5. BUILDING SHALL HAVE INTERNAL RAMPS AS NEEDED TO PROVIDE EXITING AT BACKS OF SIDEWALKS THAT MAY VARY IN ELEVATION.



SCHEMATIC GRADING, DRAINAGE & UTILITY PLAN

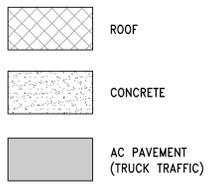
831 WATER ST. - 6/30/21

C2.0



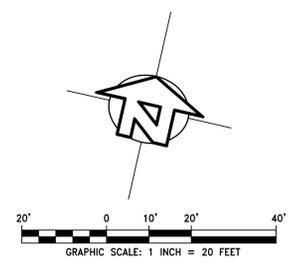
TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA	DRAINAGE AREA (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	PROPOSED TREATMENT CONTROL
DMA #1	39,659	N/A	N/A	39,659	ROOF/CONC/AC PVMT	SCM-1 MECH. FILTRATION UNIT



NOTES:

1. THE PROJECT HAS MORE THAN 22,500 SF OF NEW OR REPLACED IMPERVIOUS SURFACES AND THEREFORE QUALIFIES AS A TIER 4 PROJECT PER CHAPTER 6B OF THE CITY'S STORMWATER BMP MANUAL.
2. RUNOFF REDUCTION IS PROVIDED BY LIMITING SURFACE PARKING AND IMPERVIOUS SURFACES TO WITHIN THE BOUNDARIES OF EXISTING IMPERVIOUS COVERAGE.
3. TREATMENT FOR ALL IMPERVIOUS SURFACES (DMA #1) WILL BE PROVIDED VIA A MECHANICAL FILTRATION UNIT LOCATED IN THE PARKING GARAGE PRIOR TO DISCHARGE TO THE PUBLIC STORM DRAIN IN WATER STREET.
4. THE SITE IS LOCATED WITHIN AN URBAN SUSTAINABILITY AREA (USA) AND THEREFORE QUALIFIES FOR CERTAIN REDUCTIONS AND EXEMPTIONS FROM ON-SITE RETENTION AND DETENTION REQUIREMENTS.
5. ON-SITE RETENTION REQUIREMENTS ARE LIMITED TO THE LEVEL OF EXISTING RETENTION PROVIDED AT THE EXISTING SITE, WHICH IS ZERO. THEREFORE, NO ON-SITE RETENTION UPON REDEVELOPMENT OF THE SITE IS REQUIRED PER "DEVELOPMENT REQUIREMENT SPECIAL CIRCUMSTANCES", SECTION I., OF THE CITY'S STORMWATER BMP MANUAL.
6. AS ALL RUNOFF FROM THE SITE WILL BE HARD-PIPED TO THE CONCRETE-LINED CHANNEL THAT IS BRANCIFORTE CREEK WHICH DISCHARGES TO THE SAN LORENZO RIVER, THE PROJECT QUALIFIES FOR AN EXEMPTION FROM ON-SITE DETENTION PER "DEVELOPMENT REQUIREMENT SPECIAL CIRCUMSTANCES", SECTION II., OF THE CITY'S STORMWATER BMP MANUAL.
7. PARKING GARAGE INLETS WILL BE CONNECTED TO THE SANITARY SEWER SYSTEM.

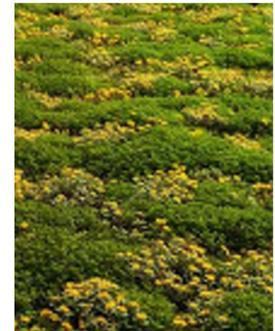
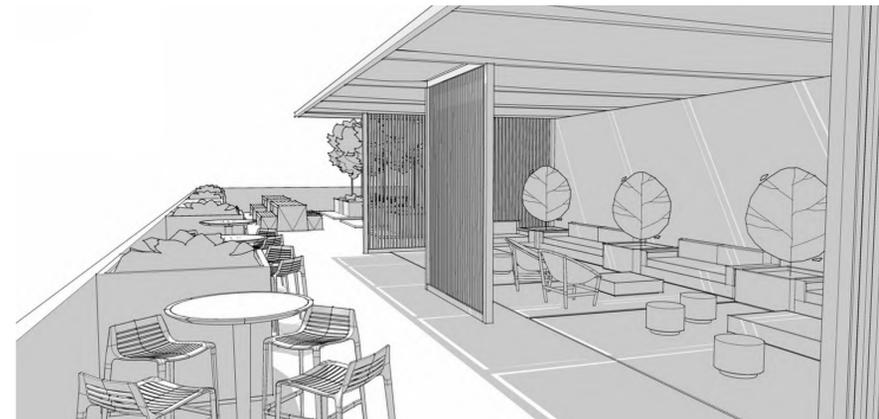
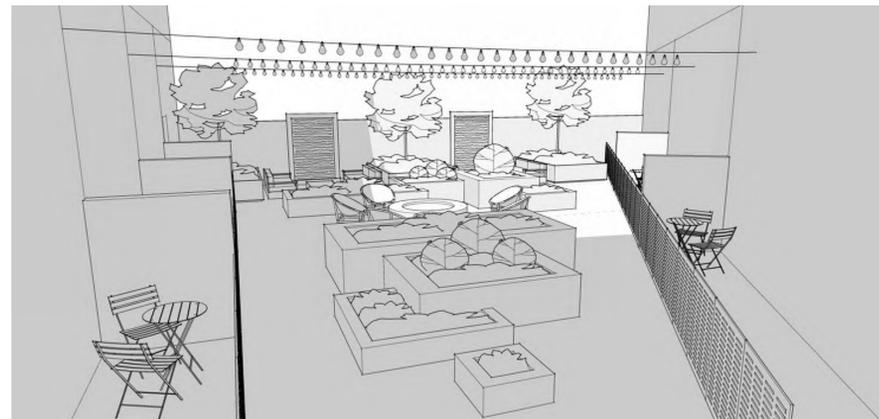
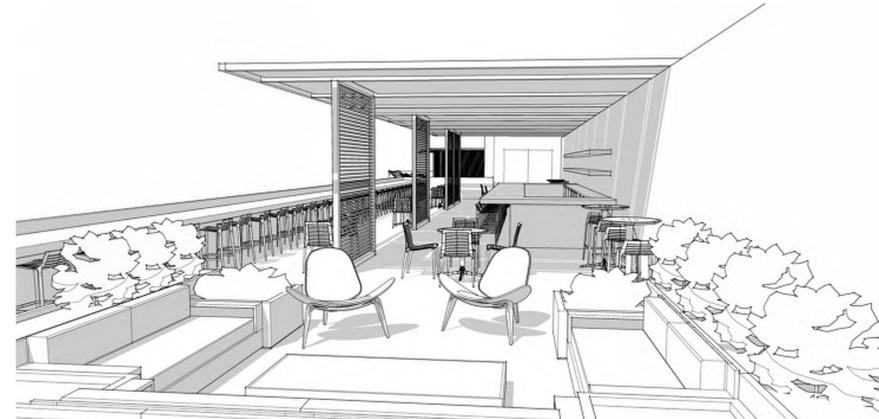
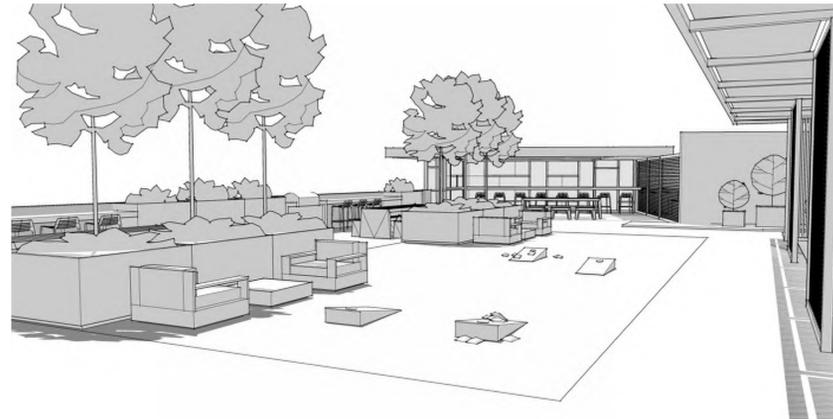


SCHEMATIC STORWATER CONTROL PLAN

831 WATER ST. - 6/30/21



LANDSCAPE ARCHITECTURAL DRAWINGS



Landscape Narrative

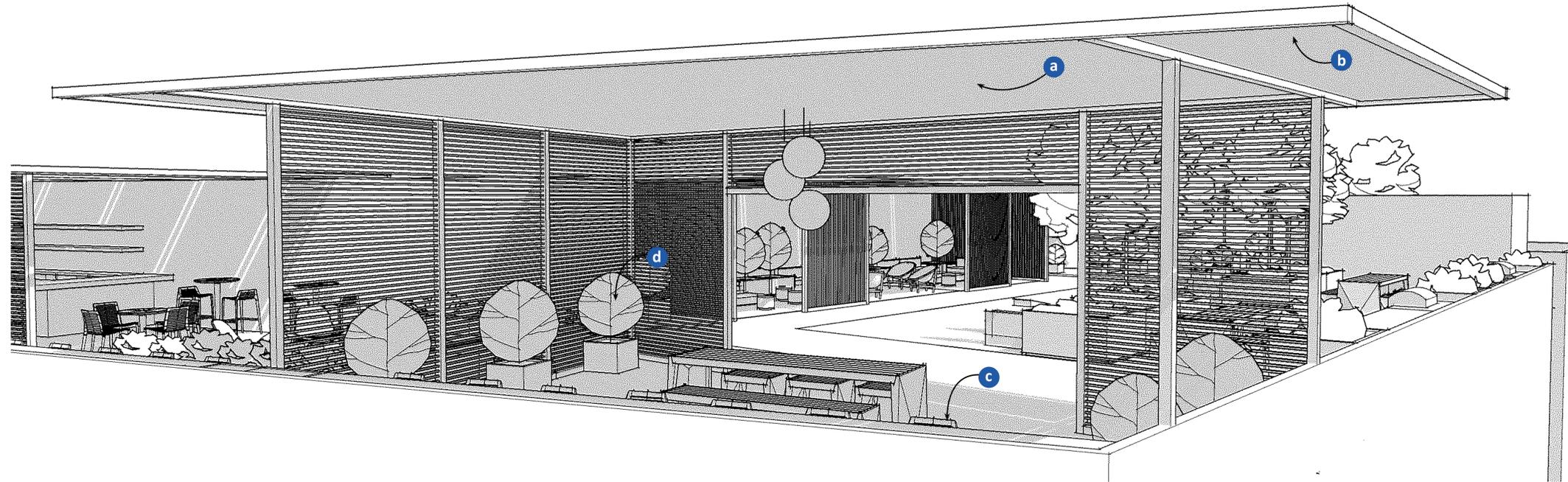
Outdoor living spaces and integrated green infrastructure are fundamental to the design of the site and building. Residents and retail visitors are surrounded by low-water-use, California Coastal friendly landscape in a variety of outdoor spaces. Included in this project is a proposed rooftop dining space, a rooftop amenity spaces for both the market rate and affordable residents, a common-use breezeway between buildings, a podium-supported private courtyard for the market-rate building, and perimeter landscaping that seamlessly blends the project site with the surrounding neighborhood and community.

The outdoor amenity spaces are designed to offer a variety of uses so that everyone can find their favorite place to read a book outside, socialize with friends and family, or even grow chef-worthy produce in the proposed vegetable garden beds.

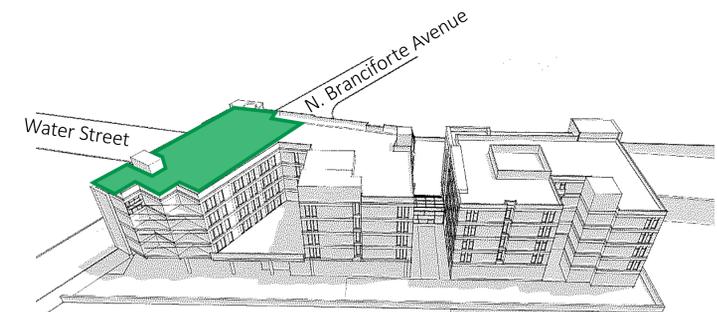
Irrigation Narrative

All planting areas will be watered by an approved, automated irrigation system. A separate water meter to be provided for the irrigation system. The system to include a weather based smart controller, remote controlled valves, and high efficiency emitters. The system shall comply to all applicable water conserving rules and regulations. Project will follow the requirements of the state Model Water Efficient Landscape Ordinance (<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>)

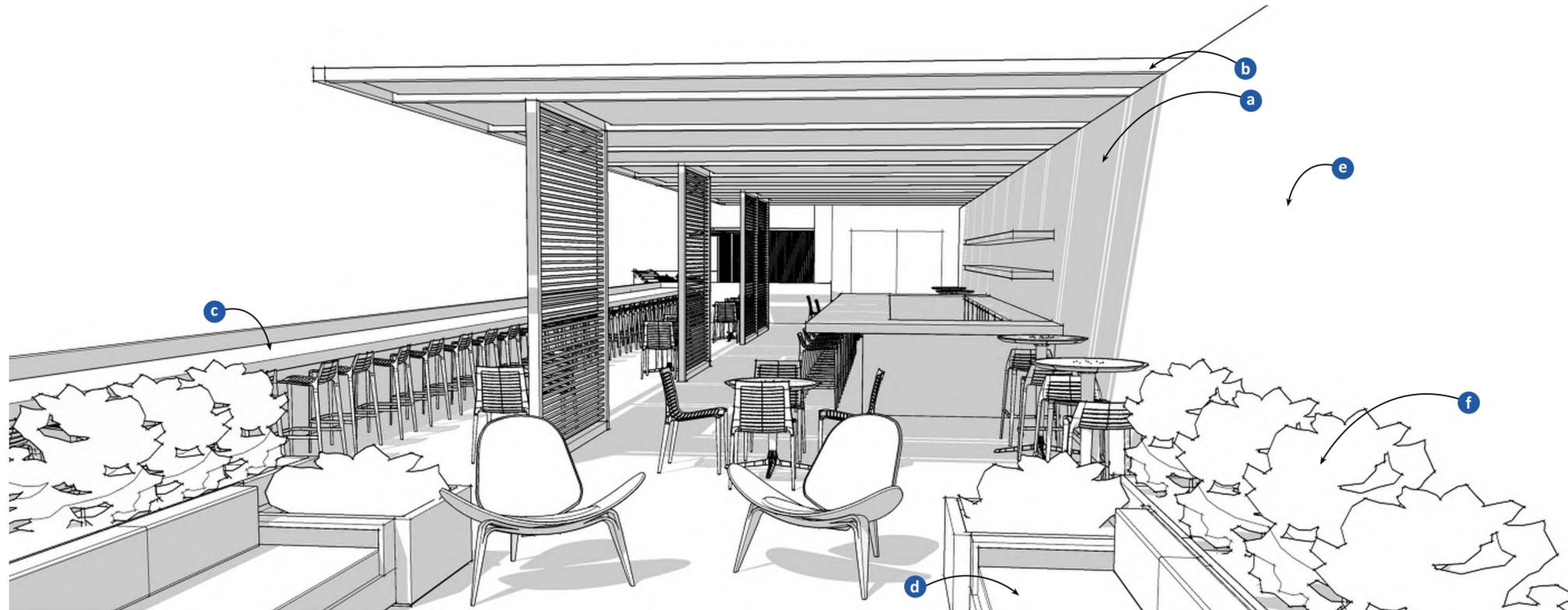
Outdoor Viewing Room



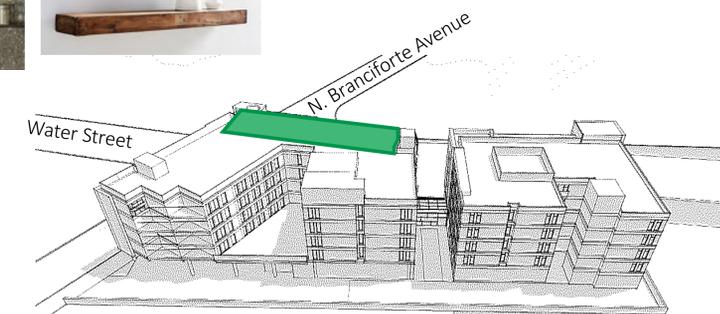
- a** Unique viewing room
- b** Overhead structure
- c** Seating with a view
- d** Large pottery with planting



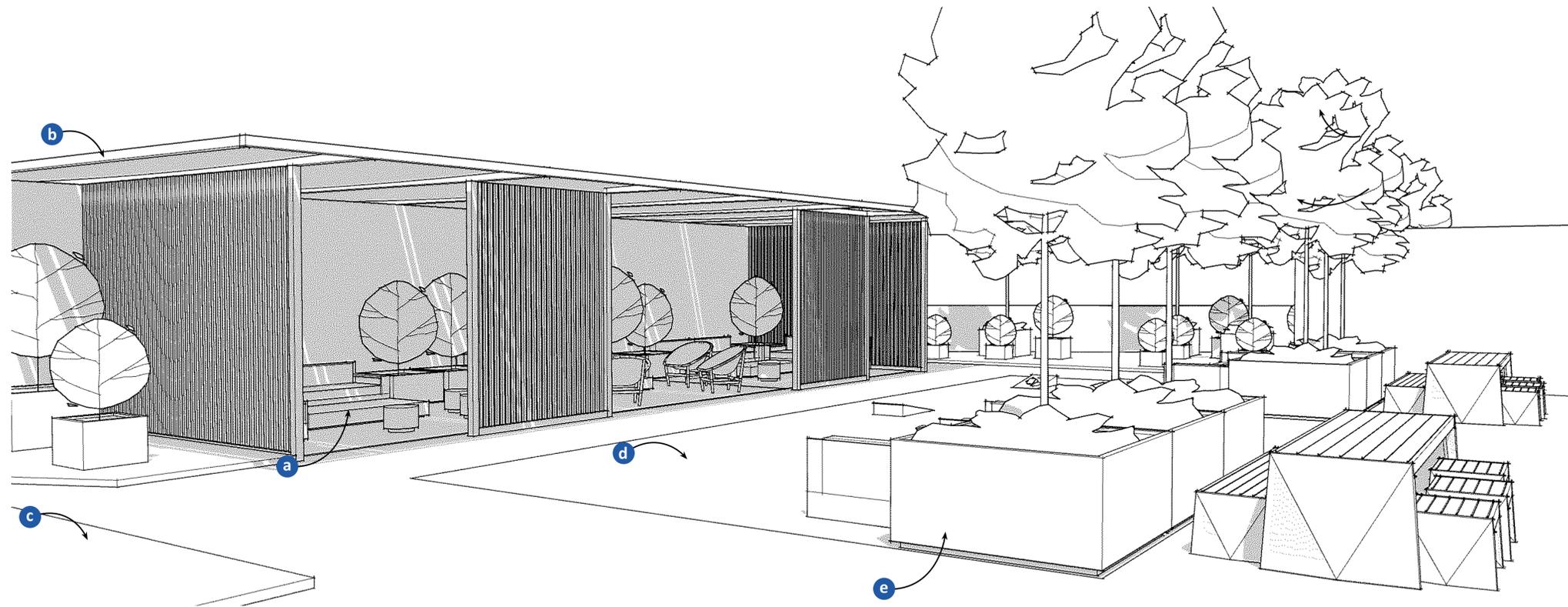
Amenity Space



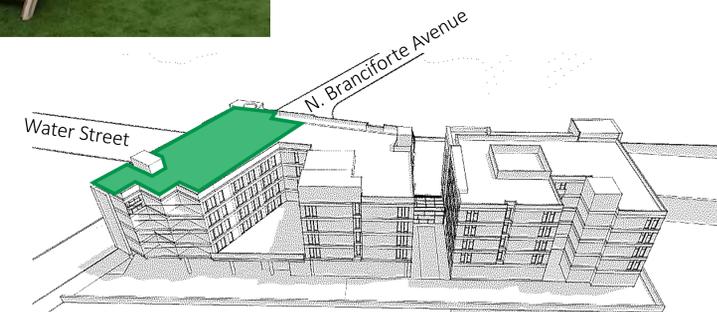
- a** Covered counter and seating areas
- b** Overhead structure with shade fabric
- c** Seating with a view
- d** Group lounge seating
- e** Feature wall
- f** Large pottery with planting



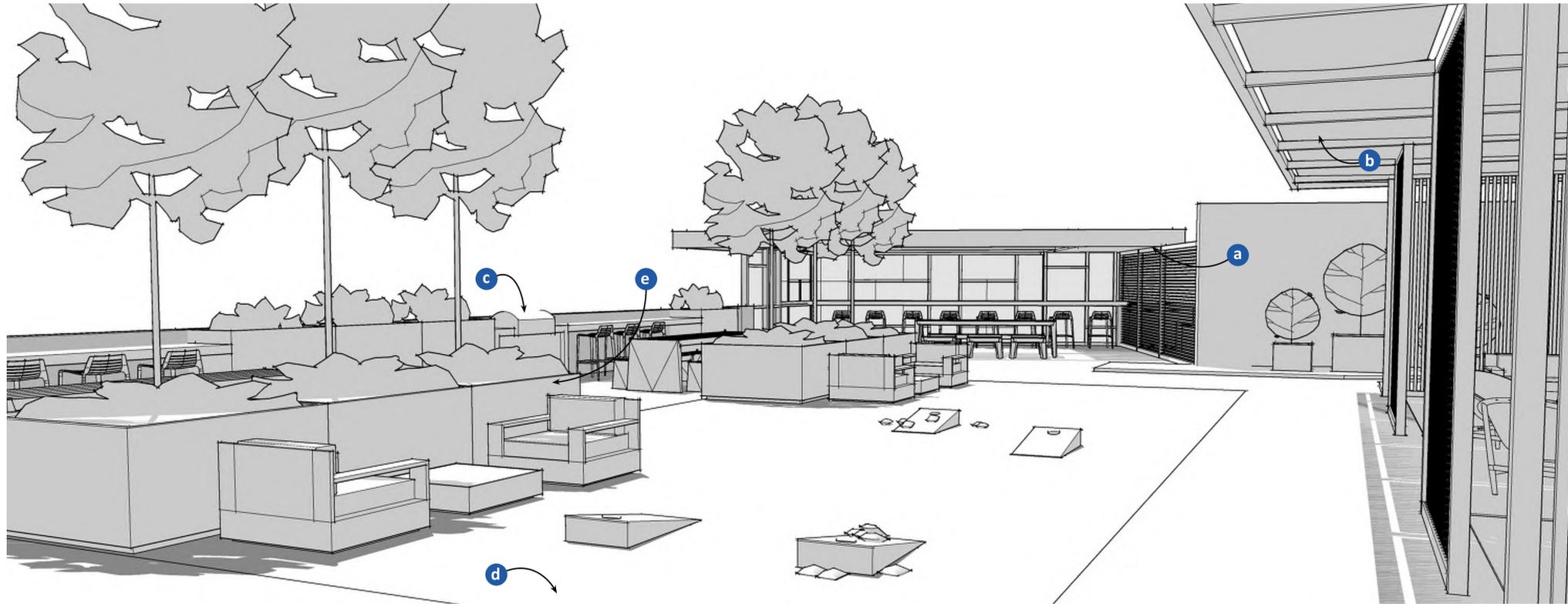
Market-rate Rooftop Amenity Space



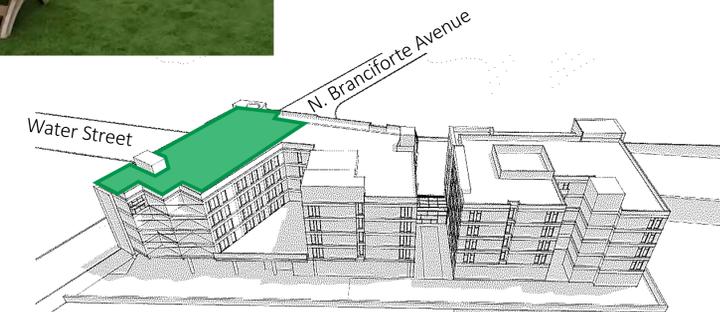
- a Covered group lounge seating
- b Overhead structure with shade fabric
- c Green roof
- d Turf gathering space
- e Large pottery with planting



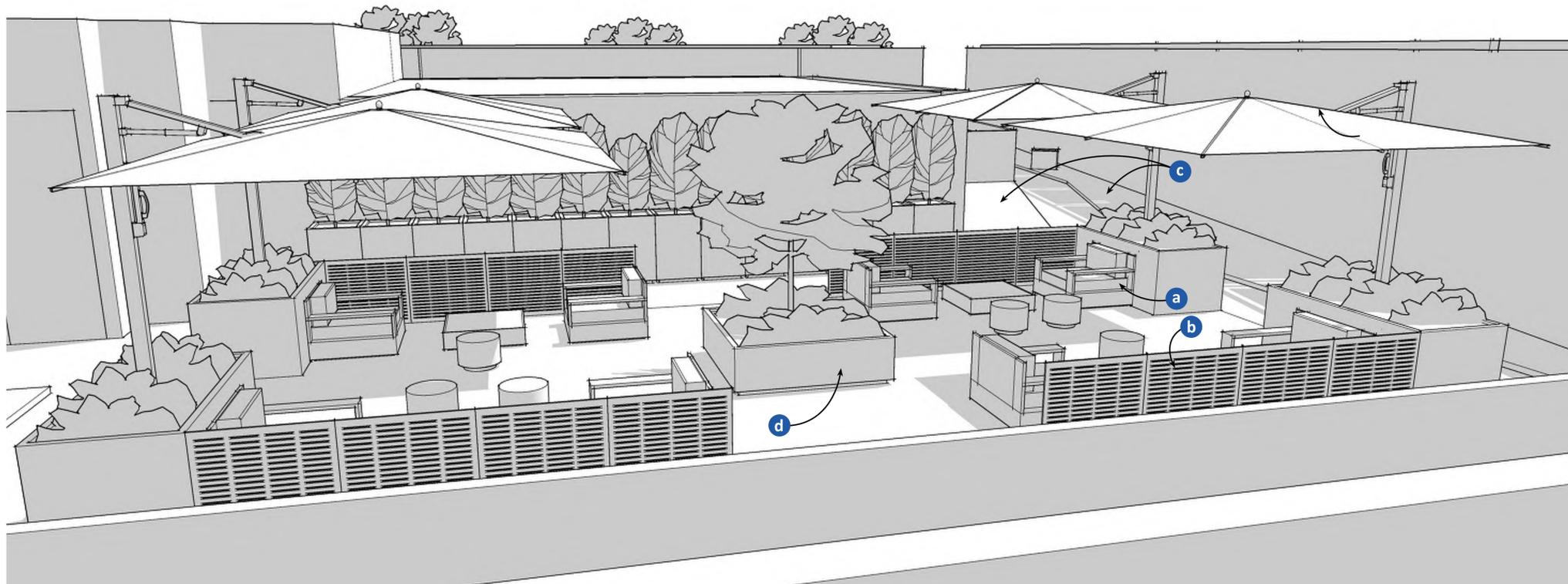
Market-rate Rooftop Amenity Space



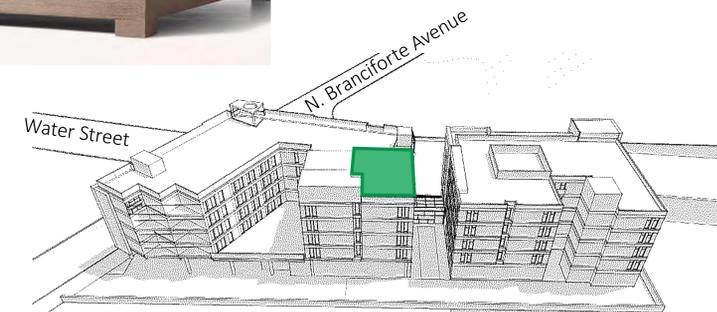
- a Unique viewing room
- b Overhead structure with shade fabric
- c Outdoor kitchen with BBQ
- d Turf gathering space
- e Large pottery with planting



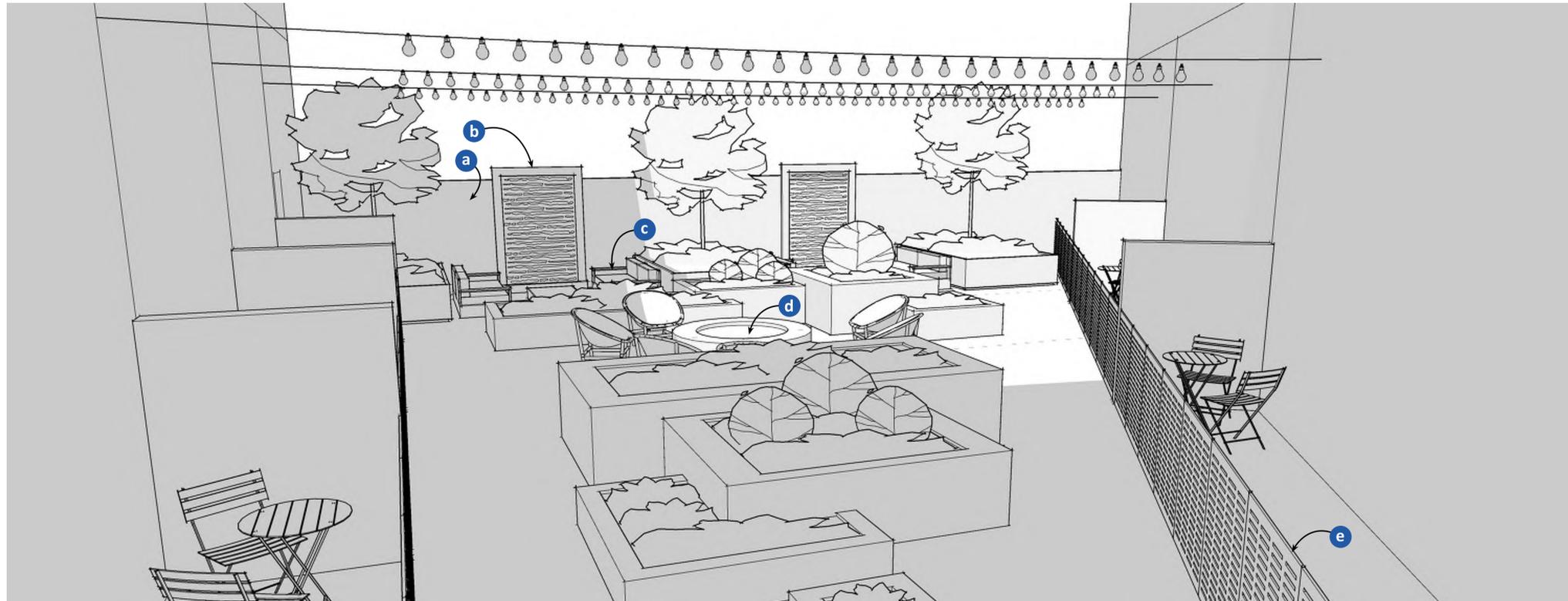
Market-rate Rooftop Seating Areas



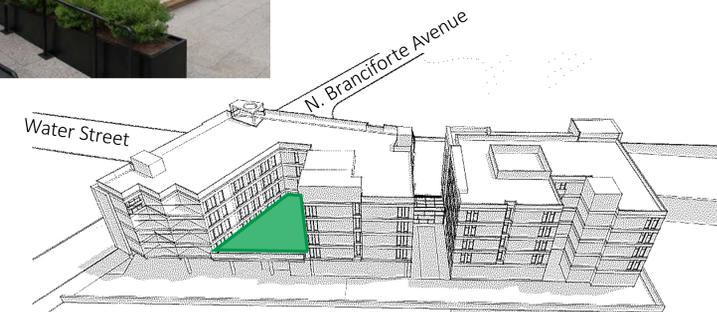
- a Covered seating nooks
- b Decorative metal screen
- c Green roof
- d Large pottery with planting



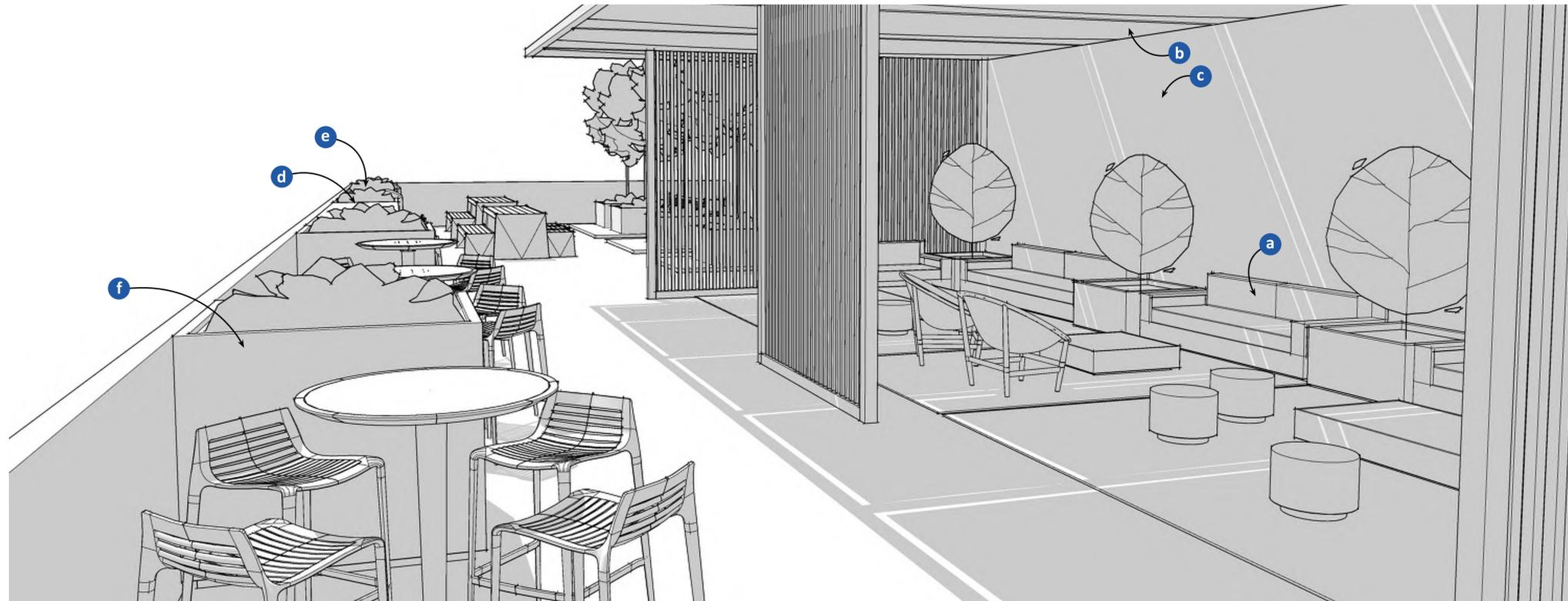
Market-rate Podium Amenity Space



- a** Feature wall
- b** Waterfall water feature
- c** Lounge seating
- d** Gathering table
- e** Decorative metal screen



Affordable Rooftop Amenity Space



a Covered group lounge seating

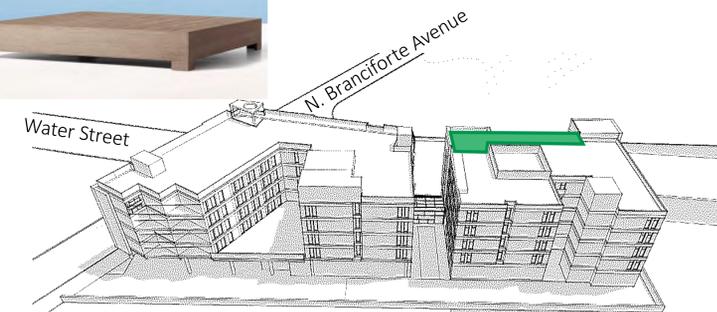
b Overhead structure with shade fabric

c Feature wall

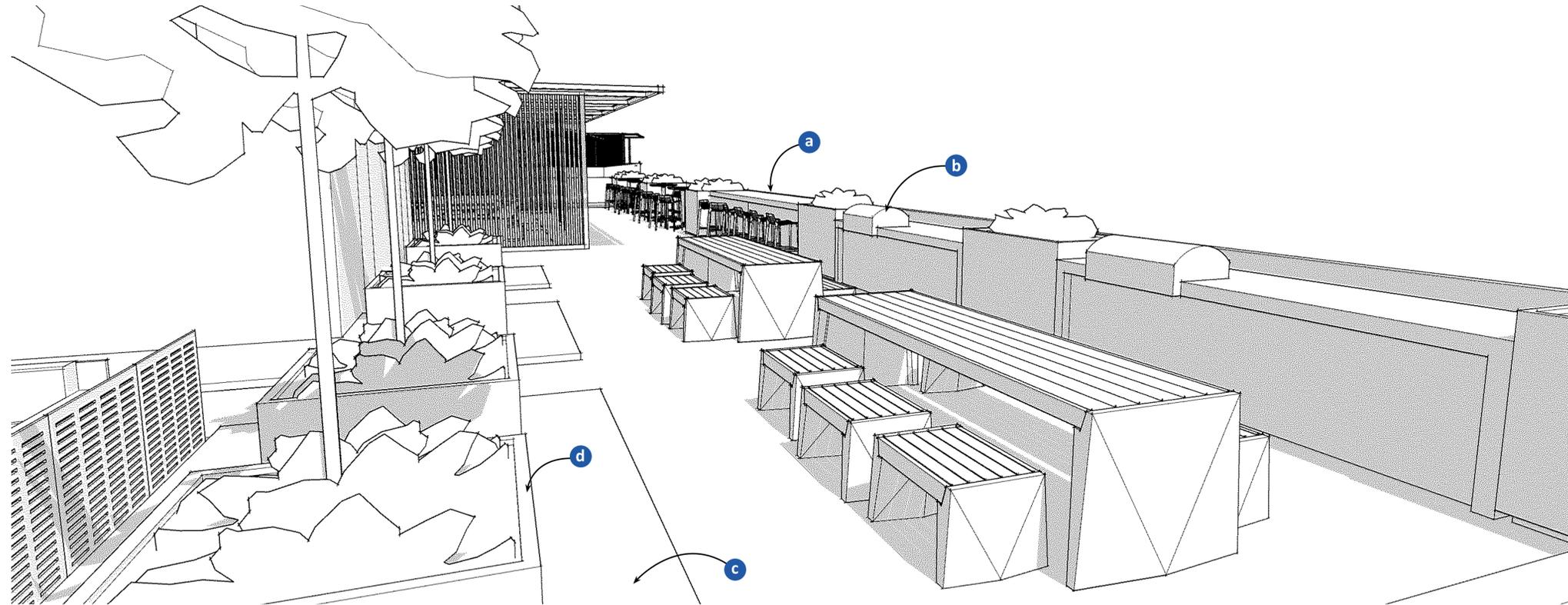
d Seating with a view

e Outdoor kitchen with BBQ

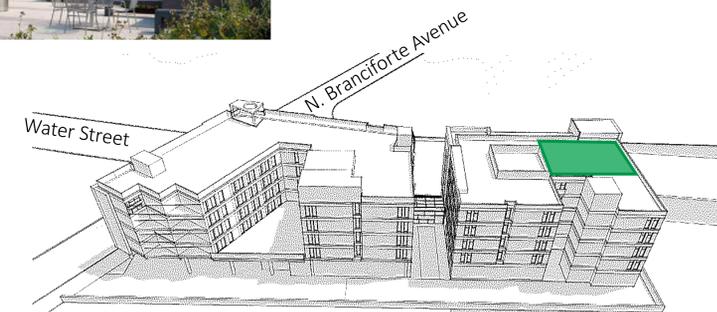
f Large pottery with planting



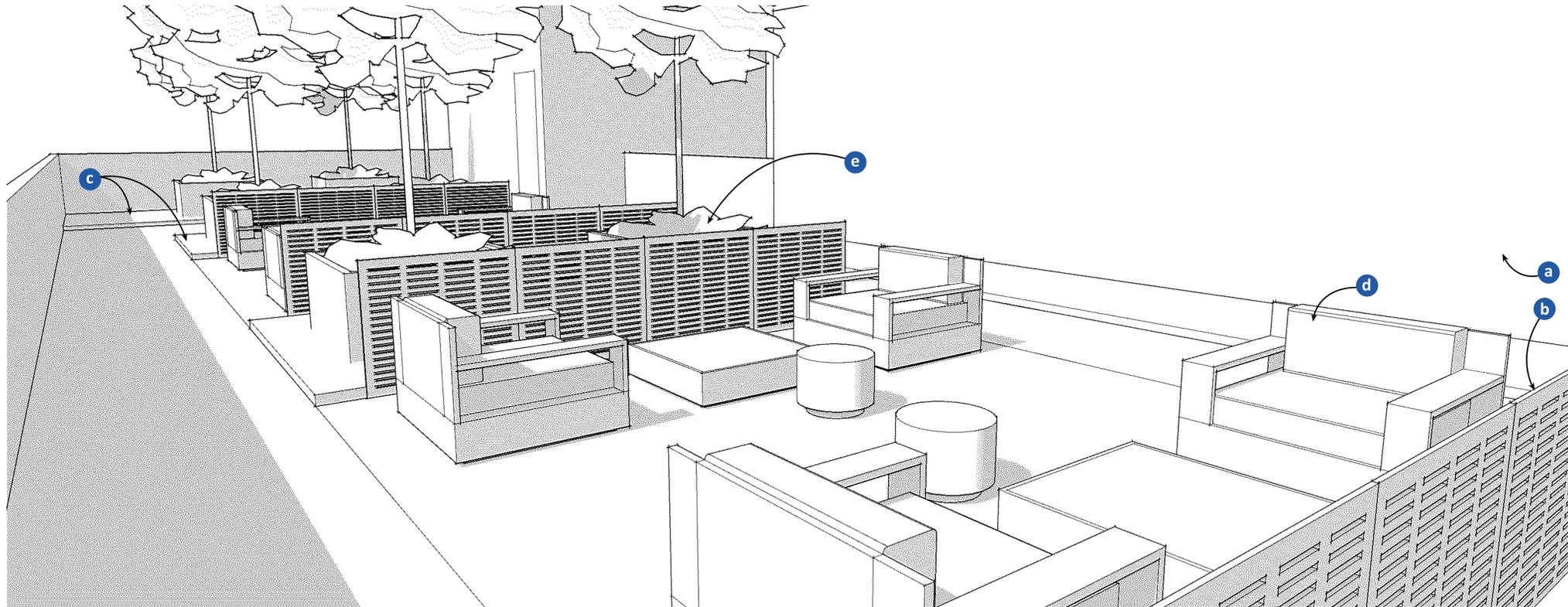
Affordable Rooftop Amenity Space



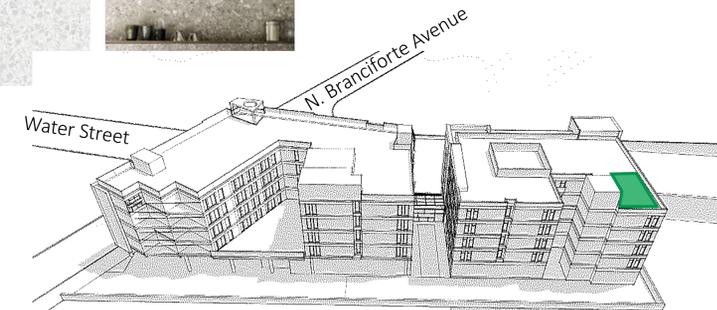
- a Seating with a view
- b Outdoor kitchen with BBQ
- c Green roof
- d Large pottery with planting



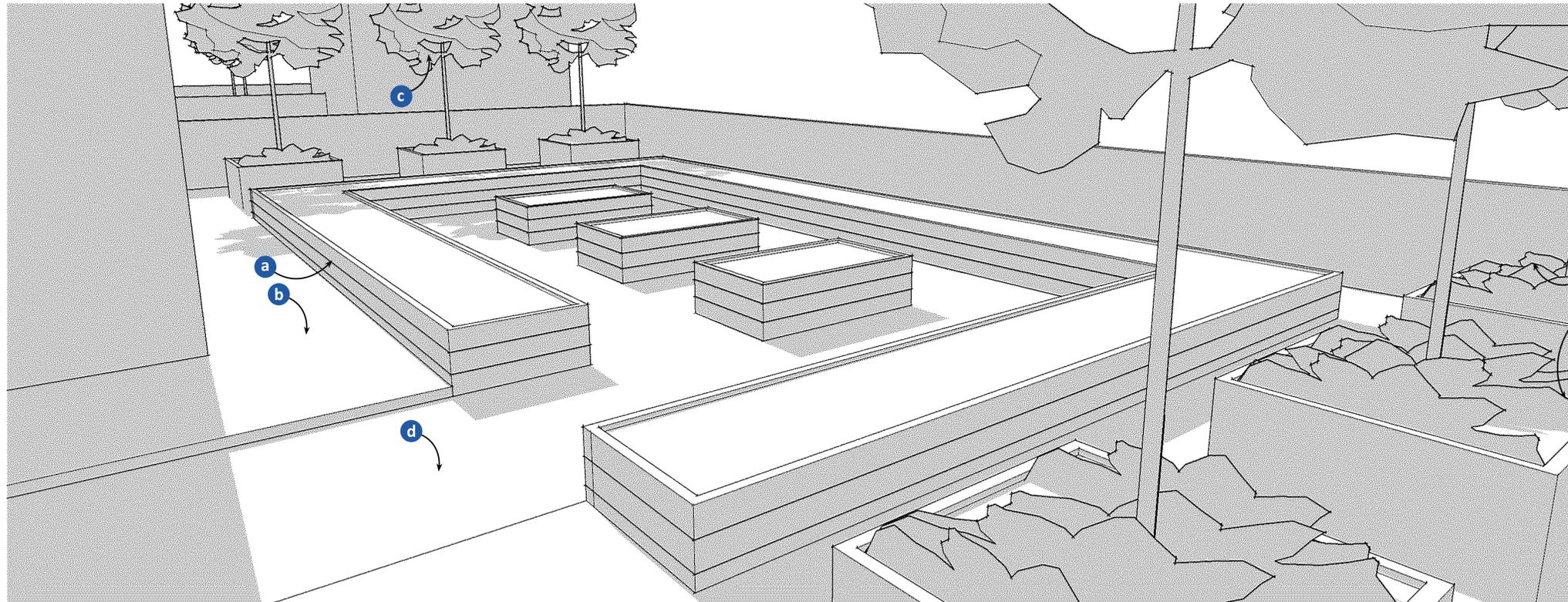
Affordable Rooftop Seating Areas



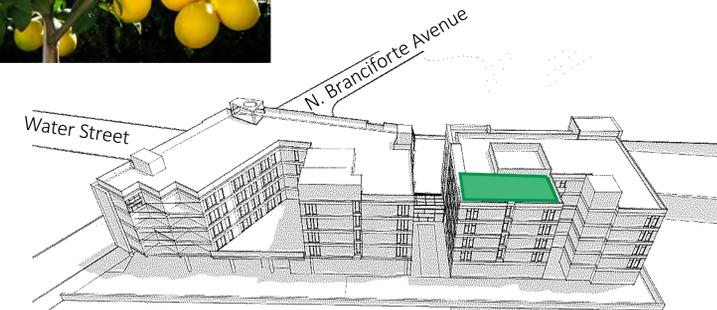
- a** Feature wall
- b** Decorative metal panel
- c** Green roof
- d** Lounge furniture
- e** Large pottery with planting



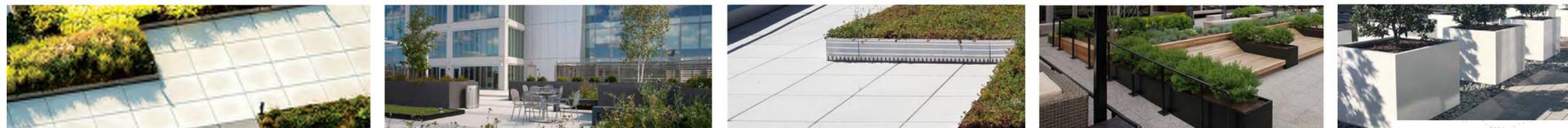
Rooftop Community Garden



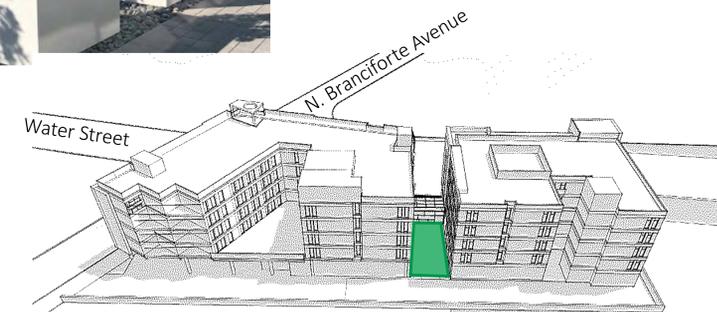
- a** Planting beds
- b** Green roof
- c** Planter with fruit trees
- d** Pedestal pavers



Breezeway Amenity Space

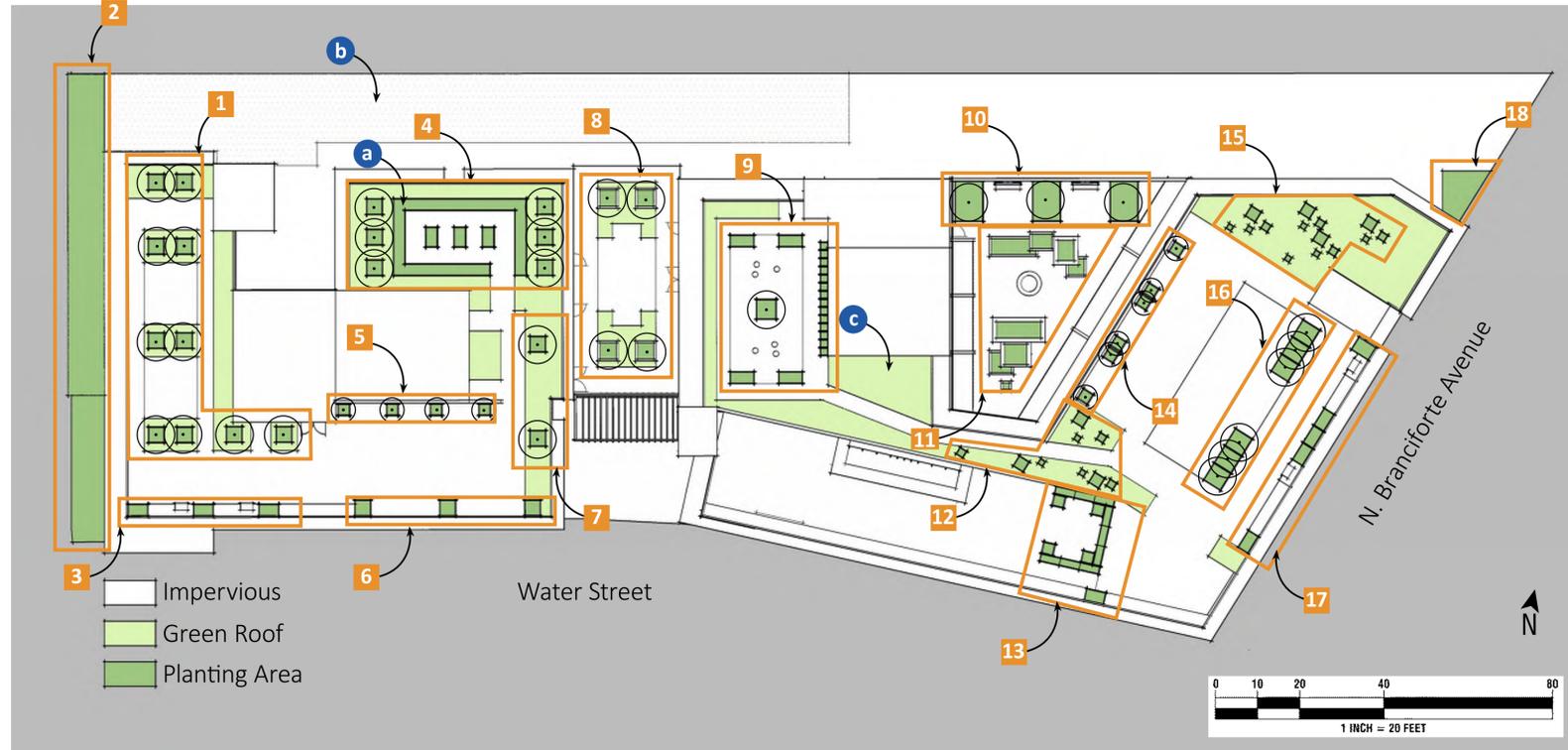


- a Catenary lighting
- b Green roof
- c Pedestal pavers
- d Large pottery with planting





a Community Garden **c** Green roof, typical
b Synthetic turf flex space



Pottery Planting Plan:

- 1** 10 planters each with:
 1 Lophostemon confertus
 2 Anigozanthos hybrids
 2 Lomandra L. 'Platinum Beauty'
- 2** At Grade Buffer planting:
 4 Arctostaphylos 'Dr. Hurd'
 4 Cotinus coggygria
 8 Grevillea Lanigera 'Coastal Gem'
 5 Salvia clevelandii
 10 Arctostaphylos 'Emerald Carpet'
- 3** 3 planters each with:
 2 Salvia officinalis
 4 Coriandrum sativum

- 4** 6 planters total
 2 each with:
 1 Citrus x latifolia 'Bears'
 4 Salvia officinalis
 2 each with:
 1 Citrus x Meyeri 'Improved'
 4 Mentha spicata
 2 each with:
 1 Citrus sinensis
 12 Coriandrum sativum
- 5** 4 planters each with:
 1 Cotinus coggygria
 2 Ceanothus 'Carmel Creeper'
- 6** 3 planters each with:
 1 Rosmarinus officinalis

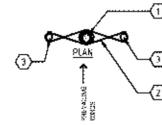
- 7** 2 planters each with:
 1 Cercis occidentalis
 2 Erigeron glaucus 'White Lights'
 2 Sisyrinchium bellum
- 8** 4 planters each with:
 1 Lophostemon confertus
 2 Anigozanthos hybrids
 2 Lomandra L. 'Platinum Beauty'
- 9** 19 planters total
 1 with:
 1 Ceanothus 'Ray Hartman'
 4 Euphorbia x Martinii 'Ascot Rainbow'
 4 each with:
 1 Frangula californica
 2 Epilobium canum 'Everett's Choice'
 14 each with:
 1 Abutilon Palmeri

- 10** 3 planters each with:
 1 Lophostemon confertus
 6 Anigozanthos hybrids
 6 Lomandra L. 'Platinum Beauty'
- 11** 8 planters total
 1 with:
 1 Juncus patens
 2 with:
 6 Ceanothus 'Carmel Creeper'
 2 with:
 3 Arctostaphylos 'Emerald Carpet'
 3 with:
 1 Frangula californica
 4 Arctostaphylos 'Emerald Carpet'

- 12** 9 planters total:
 3 with:
 1 Juncus patens
 3 with:
 1 Abutilon Palmeri
 3 with:
 1 Rosmarinus officinalis
- 13** 14 planters total:
 1 with:
 2 Euphorbia x Martinii 'Ascot Rainbow'
 2 Salvia officinalis
 4 with:
 1 Frangula californica
 2 Arctostaphylos 'Emerald Carpet'
 9 with:
 2 Euphorbia x Martinii 'Ascot Rainbow'
- 14** 6 planters each with:
 1 Cotinus coggygria
 2 Arctostaphylos 'Emerald Carpet'

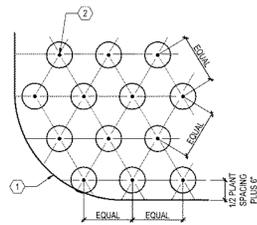
- 15** 14 planters total:
 6 with:
 1 Juncus patens
 4 with:
 1 Abutilon Palmeri
 4 with:
 1 Rosmarinus officinalis
- 16** 6 planters each with:
 1 Arbutus unedo
 4 Ceanothus 'Carmel Creeper'
- 17** 5 planters each with:
 2 Euphorbia x Martinii 'Ascot Rainbow'
 2 Salvia officinalis
- 18** At Grade planting:
 1 Arctostaphylos 'Dr. Hurd'
 2 Salvia clevelandii
 2 Arctostaphylos 'Emerald Carpet'

- NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. THIS DETAIL APPLIES TO 15 GALLON AND 24" BOX TREES.
3. ROOTBALL GROWN TO EXTEND 1" ABOVE FINISH GRADE.
4. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH ARBOR-GARD AT BASE OF TRUNK.
- TREE-SEE PLAN FOR SIZE AND TYPE
 - CINCH TIE OR APPROVED EQUAL
 - 2" DIAMETER TREATED LODGE POLE PINE STAKE PLACED ON WINDWARD SIDES OF TREE, AND OUTSIDE OF ROOTBALL
 - A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE. TREES PLANTED IN TURF SHALL NOT HAVE BASINS.
 - FINISH GRADE
 - ROOTBALL
 - AGRIFORM PLANT TABLETS 2 PER 15 GALLON, 6 PER 24" BOX AND 8 FOR 30" BOX
 - APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION. FUDGE AND SETTLE PRIOR TO PLANTING TREE.
 - FOOT TAMP BASE
 - NATIVE GRADE



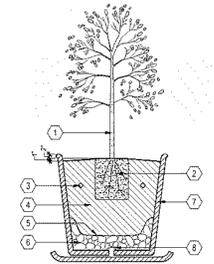
E TREE STAKING (DOUBLE)
SCALE: N.T.S.

- NOTES:
1. ALL PLANTS TO BE PLANTED AT EQUAL SPACING 'TRIANGULATED' UNLESS OTHERWISE INDICATED ON PLANS.
2. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.
- EDGE OF PLANTING AREA
 - TYPICAL PLANT SPACING VARIES SEE PLANTING LEGEND AND PLANS.



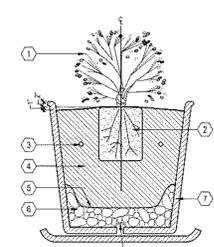
D GROUNDCOVER PLANTING
SCALE: NOT TO SCALE

- NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. DETAIL APPLIES TO TREES UP TO 30" BOX MAXIMUM.



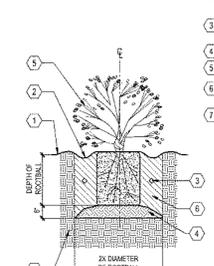
C TREE CONTAINER PLANTING DETAIL
SCALE: N.T.S.

- NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.



B SHRUB CONTAINER PLANTING
SCALE: N.T.S.

- NOTES:
1. ROOTBALL CROWN TO BE 1" ABOVE FINISHED GRADE.



A SHRUB PLANTING
SCALE: NOT TO SCALE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS
TREES						
ARB UNE		ARBUS UNEDO	STRAWBERRY TREE	15 GALLON	15' X 15'	L
ARC DRH		ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA	15 GALLON	15' X 15'	L
CEA RAY		CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS	15 GALLON	30' X 10'	L
CER OCC		CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GALLON	20' X 15'	VL
CIT LAT		CITRUS X LATIFOLIA 'BEARSS'	BEARSS LIME	15 GALLON	11'X11'	M
CIT MEY		CITRUS X MEYERI 'IMPROVED'	MEYER LEMON TREE	15 GALLON	8'X4'	M
CIT SIN		CITRUS SINENSIS	NAVEL ORANGE	15 GALLON	12'X12'	M
COT COG		COTINUS COGGYGRIA	SMOKE TREE	15 GALLON	15' X 15'	L
LOP CON		LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GALLON	30' X 25'	M

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS
SHRUBS						
		ABUTILON PALMERI	PALMER'S ABUTILON	1 GALLON	5' X 5'	L
		ANIGOZANTHOS HYBRIDS	KANGAROO PAW	1 GALLON	1' X 3'	L
		ARCTOSTAPHYLOS 'SENTINEL'	SENTINEL MANZANITA	1 GALLON	4' X 4'	L
		BACCHARIS PILULARIS	COYOTE BRUSH	1 GALLON	8' X 8'	L
		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GALLON	3' X 3'	L
		CORIANDRUM SATIVUM	CILANTRO	1 GALLON	1'X1'	L
		EUPHORBIA X MARTINII 'ASCOT RAINBOW'	ASCOT RAINBOW SPURGE	1 GALLON	2' X 2'	L
		FRANGULA CALIFORNICA	COFFEEBERRY	1 GALLON	6' X 6'	L
		GREVILLEA LANIGERA 'COASTAL GEM'	WOOLY GREVILLEA	1 GALLON	1' X 5'	L
		JUNCUS PATENS	COMMON RUSH	1 GALLON	3' X 3'	L
		LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GALLON	2' X 2'	L
		MENTHA SPICATA	MINT 'SPEARMINT'	1 GALLON	2' X 2'	L
		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	1 GALLON	5' X 3'	L
		ROSA CALIFORNICA	CALIFORNIA ROSE	1 GALLON	8' X 8'	L
		ROSMARINUS OFFICINALIS	ROSEMARY	1 GALLON	4'X4'	L
		SALVIA CLEVELANDII	CLEVELAND SAGE	1 GALLON	4' X 8'	L
		SALVIA OFFICINALIS	GARDEN SAGE	1 GALLON	2'X2'	L

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS
GROUNDCOVERS						
		ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GALLON	1' X 4'	M
		CEANOTHUS 'CARMEL CREEPER'	CARMEL CREEPER CEANOTHUS	1 GALLON	2' X 3'	L
		EPILOBIUM CANUM 'EVERETT'S CHOICE'	EVERETT'S CHOICE CALIFORNIA FUCHSIA	1 GALLON	1' X 3'	L
		ERIGERON GLAUCUS 'WHITE LIGHTS'	WHITE LIGHTS SEASIDE DAISY	1 GALLON	1' X 3'	L
		SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GALLON	2' X 3'	VL

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
GREEN ROOF			
	PER MANUFACTURER'S SPECIFICATIONS	SEDUM MIX - TRAY SYSTEM	COLUMBIA GREEN - PRE GROWN TRAY