

MISSION STUDIOS - BASE DENSITY SET

PROPOSED MIXED-USE COMMERCIAL AND SRO PROJECT
1815/1811 MISSION STREET, SANTA CRUZ, CA.



VIEW ALONG MISSION

City of Santa Cruz Parking Reduction Worksheet

The City of Santa Cruz allows various strategies be used to reduce a projects required parking to a maximum of 35%. The intent is to add further flexibility for a project applicant to use creative, documented methods of reducing the need for parking and also provide applicants with a "menu" of well-established options.

From the menu below, select options that your project seeks to employ to reduce your parking requirements on site. Staff will review the selections, the project, and the site location for concurrence.

Parking Reduction Tool	Description	Type of Project	Max Parking Reduction	Requested Parking Reduction %
General Strategies				
Priced parking	Paid parking on-site. Must be coupled with on-street parking management strategies. Cannot be used in conjunction with unbundled parking.	all	5%	
Shared Parking	The parking requirements for two or more uses of the same or different types on the same parcel may be reduced if it can be demonstrated that the nature of the uses will result in multipurpose trips being made to the site or trips being made to individual uses at different times of the day or week.	all	8%	8%
Transportation Management Agency (TMA)	Signup with a TMA to provide transportation management services. Ecology Action is preferred vendor.	non-residential	3%	
Unbundle Parking	Unbundles parking costs from property costs, requiring those who wish to purchase parking spaces to do so at an additional cost. This option is only available coupled with on-street parking management strategies. Implementation of residential permit parking zones within 500' of project for long-term use of on-street parking in residential area at the expense to the developer.	residential	10%	10%

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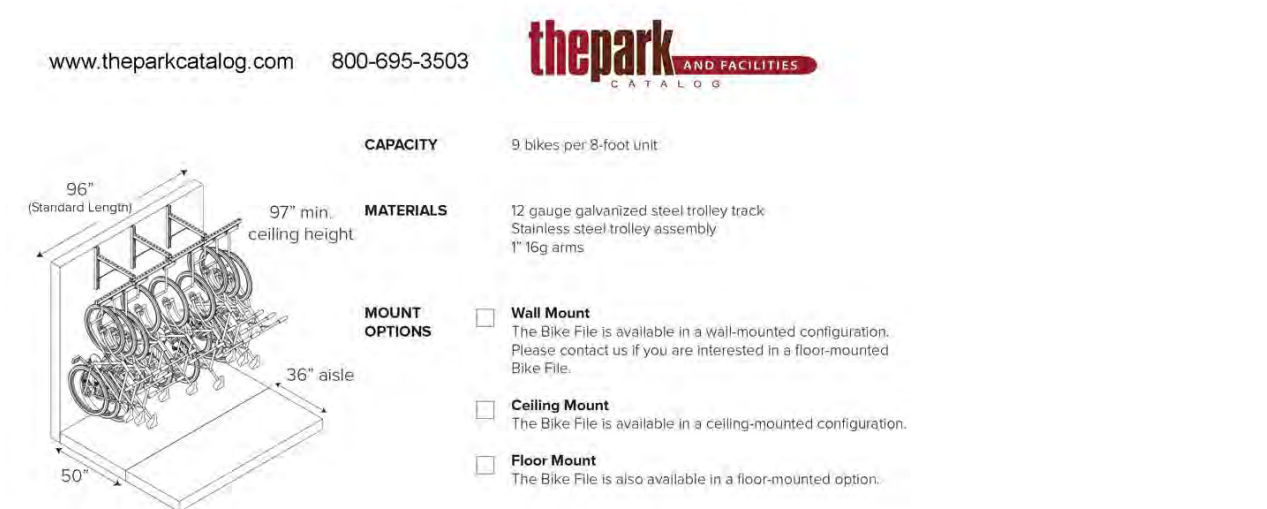
Emergency Ride Home (ERH) Program	Provides an occasional subsidized ride to commuters who use alternative modes. Guaranteed ride home for people if they need to go home in the middle of the day due to an emergency or stay late and need a ride at a time when transit service is not available. Ecology Action is preferred vendor. This supplemental to the other strategies.	Non-residential	4%	
Telecommuting and/or alternative work schedule	Having a portion of workforce working remote, or working staggered scheduled to reduce parking requirements during peak times	Non-residential	15%	
Shared Mobility Strategies				
Commute Management Program	Increases vehicle occupancy by providing ride-share matching services, designating preferred parking for ride-share participants, designating adequate passenger loading/unloading and waiting areas for ride-share vehicles, and providing a website or message board to connect riders and coordinator rides. Requires designated point person for mobility coordination at the workplace.	Non-residential	10%	
On-site Car Share	Implement car sharing to allow people to have on-demand access to a vehicle, as needed. This may include providing membership to an existing program located within 1/4 mile, contracting with a third-party vendor to extend membership-based service to an area, or implementing a project-specific fleet that supports the residents and employees on-site.	all	3%	
School Carpool Program	Implements a school carpool program to encourage ride-sharing for students. Eligible for secondary schools only	school	15%	
Bicycle Infrastructure Strategies				
Bike Share Subsidy	Should a public bike share system be available, subsidize membership and/or rides for residents and employees	all	7%	7%
Improve/Implement On-street Bicycle Facility	Implements or provides funding for improvements to corridors and crossings for bike networks identified within a one-half mile buffer area of the project boundary, to support safe and comfortable bicycle travel	all	4%	
Substitution of Car Parking with Bike Parking	Proposed and existing developments may convert up to ten percent of their auto spaces to unrequired additional bike parking, as long as the spaces are conveniently located near the entrance. Converted parking spaces must yield at least as many parking spaces per auto space	all	10%	

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Parking Cash-Out	Provide employees a choice of forgoing current parking for a cash payment to be determined by the employer. The higher the cash payment, the higher the reduction.	Non-residential	5%	
Residential Area Parking Permits	Provision of funding to implement a neighborhood parking permit program for a minimum of 150 feet surrounding project location.	residential	3%	3%
Valet	Strategies to encourage efficiency in parking facilities and improve the quality of service to parking users	Non-residential	1%	
Transit Strategies				
Transit strategies are only applicable to projects located within 1/4 mile of a major transit stop. A major transit stop is as defined in California Public Resources Code Section 21064.3, except that, for purposes of this section, it also includes major transit stops that are included in the applicable regional transportation plan. For purposes of this section, a high-quality transit corridor means a corridor with fixed route bus service with service intervals no longer than 15 minutes during peak commute hours. This is mapped in the City GIS system.				
Improve Proximate Transit Stops	Coordinate with local transit agency to improve existing bus stop near the site or provide a new bus stop within 500' of project site. Possible improvements include seating, lighting, shelter, signage, and real time transportation information.	all	3%	
Safe and Well-Lit Access to Transit	Enhance the route for people walking or bicycling to nearby neighborhood shuttle serving residents, employees, and visitors of the project site. Shuttle must operate daily and must include operations plan.	all	2%	
Implement Neighborhood Shuttle	Implement project-operated or project-sponsored neighborhood shuttle serving residents, employees, and visitors of the project site. Shuttle must operate daily and must include operations plan.	all	5%	
Transit Subsidies	Involves the subsidization of transit fare for residents and/or employees of the project site. Transit subsidies must be provided for the life of the parking reduction. Requires annual reporting.	all	5%	5%
Commuting Strategies				
Non-residential projects only				
Employer Sponsored Vanpool or Shuttle	Implementation of employer-sponsored employee vanpool or shuttle providing new opportunities for access to connect employees to the project site.	non-residential	5%	
On-site Carts or Shuttles or bikes	Provide on-site cart or shuttle for employees to travel across campus.	Non-residential	2%	

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Include Showers and lockers in excess of City Code.	Implements additional end-of-trip bicycle facilities to support safe and comfortable bicycle travel.	Non-residential	2%	
Bicycle Repair Station / Services	On-site bicycle repair tools and space to use them supports on-going use of bicycles for transportation.	all	1%	1%
Neighborhood Enhancement Strategies				
Traffic Calming Improvements	Implements traffic calming measures throughout and around the perimeter of the project site that encourage people to walk, bike, or take transit within the development and to the development from other locations.	all	4%	
Pedestrian Network Improvements	Implements pedestrian network improvements throughout and around the project site that encourages people to walk.	all	2%	
Total Requested Reduction (max 35%):				34%



BIKE ROOM PARKING RACKS

PROJECT DIRECTORY

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LANDSCAPE	SCOTT LIPSCOMB LANDSCAPE ARCHITECT 311 Emerald Forest Lane Bonny Doon, CA 95050 (831)239-2392 smtipscomb@me.com

PROJECT INFORMATION

PROJECT DESCRIPTION: TWO EXISTING PARCELS WITH OLDER SINGLE STORY SINGLE FAMILY RESIDENCES. EXISTING STRUCTURES TO BE REMOVED AND PARCELS COMBINED TO ALLOW FOR A 3-STORY MIXED-USE DEVELOPMENT W/ COMMERCIAL, PARKING, RESIDENTIAL LOBBY, LEASING OFFICE, BIKE AND UNIT STORAGE, TRASH/MECHANICAL ON THE GROUND FLOOR. TWO STORIES OF UNITS ABOVE WITH A ROOF TERRACE FOR COMMON OPEN SPACE. RESIDENTIAL UNITS DESIGNED AS SINGLE ROOM OCCUPANCY (SRO) APARTMENTS.	
PROJECT ADDRESS:	1811 AND 1815 MISSION STREET SANTA CRUZ, CA 95060
APN:	004-124-32, 004-124-34
ZONING:	CC-COMMUNITY COMMERCIAL
OCCUPANCY GROUP:	R2/U/B
NUMBER OF STORIES:	3
CONSTRUCTION TYPE:	VB (FULLY-SPRINKLERED)
BUILDING CODES: 2019 CA.BUILDING CODE, CA. RESIDENTIAL CODE, CA.PLUMBING CODE, CA. MECH. CODE, CA. ELECTRIC CODE, CA. GREEN BUILDING CODE, THE CA. ENERGY CODE AND CITY OF SANTA CRUZ MUNICIPAL CODE (TITLE 18).	
NATURAL GAS FREE DESIGN AS REQ'D BY SCMC 6.100	

PROJECT CALCULATIONS

PROJECT DESIGN DATA FOR BASE PLAN (provided in lieu of City of Santa Cruz standard form 2-project design data)	
SITE INFORMATION	
PROJECT SITE: 1811 AND 1815 MISSION STREET	
APN: 004-124-32 AND 34	9800 SF
SITE AREA:	
EXISTING SQUARE FOOTAGE:	
EXISTING SINGLE FAMILY RESIDENCE (1811 MISSION)	
1 BEDROOM	923 SF
GARAGE	435 SF
EXISTING SINGLE FAMILY RESIDENCE (1815 MISSION)	
1 BEDROOM (VACANT)	981 SF
GARAGE	264 SF
ALL STRUCTURES TO BE DEMOLISHED AS PART OF THIS PROJECT	

PROPOSED SQUARE FOOTAGE:	
GROUND FLOOR COMMERCIAL	797 SF
GROUND FLOOR PARKING/SUPPORT SPACES	7639 SF
GROUND FLOOR TOTAL	8436 SF
SECOND FLOOR GSF	5742 SF
THIRD FLOOR GSF	5742 SF
ROOF TERRACE	1655 SF
TOTAL GSF	21,575 SF
TOTAL SRO UNITS:	
AVG. SRO UNIT SIZE	20 341.7 SF
FAR CALCULATION:	
SITE AREA	9800 SF
GROUND FLOOR (GSF MINUS UNCOVERED PARKING)	6945 SF
SECOND FLOOR (GSF MINUS DECKS)	4689 SF
THIRD FLOOR (GSF MINUS DECKS)	4689 SF
TOTAL GSF	16,323 SF
FAR TOTAL	1.66

OPEN SPACE CALCULATION:	
10 SF/UNIT COMMON OUTDOOR OPEN SPACE REQUIRED	
10 SF X 20 UNITS = 200 SF REQUIRED	
ROOF DECK COMMON OPEN SPACE PROVIDED	1612 SF
COMMON INDOOR SPACE REQUIRED IS 200 SF	
PROVIDED COMMON INDOOR SPACE AT THE LOBBY	392 SF
2ND AND THIRD FLOOR COMMON AREAS	279 SF
COMMON LAUNDRY REQUIRED (MIN. 3 WASH/3 DRY)	
PROVIDING 4 WASH/4 DRY (2 OF EACH ON RESIDENTIAL LEVELS)	

PARKING ANALYSIS:	
RESIDENTIAL	
20 RESIDENTIAL UNITS (.5 SPACES PER UNIT)	10 SPACES
PER PARKING WORKSHEET (THIS SHEET)	
PROJECT QUALIFIES FOR A 34% PARKING REDUCTION (10 SPACES X 34% = 3.4. 10 - 3.4 = 7 SPACES)	7 SPACES
COMMERCIAL	
797 SF @ 1 SPACE PER 300 SF = 3 SPACES	3 SPACES
TOTAL REQUIRED SPACES	
SPACES PROVIDED	10 SPACES 11 SPACES
BIKE PARKING REQUIRED:	
1 CLASS 1 PER UNIT (20 UNITS)	20 SPACES
1 CLASS 1 FOR COMMERCIAL	1 SPACE
CLASS 2 AT COMMERCIAL (2 REQ'D)	2 SPACES
CLASS 2 AT RESIDENTIAL (7 REQ'D)	7 SPACES
TOTAL PROVIDED:	
CLASS 1 FOR RESIDENTIAL	24 SPACES
CLASS 1 FOR COMMERCIAL	3 SPACES
CLASS 2 FOR COMMERCIAL	7 SPACES
CLASS 2 FOR RESIDENTIAL	20 SPACES
INCLUSIONARY SUMMARY:	
20 (base unit count) SRO UNITS X 20% = 4 UNITS (ALL UNITS: VERY LOW INCOME HOUSEHOLDS)	4 UNITS

PSD

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1815/1811 MISSION ST.
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PROJECT TITLE:
MIXED-USE COMMERCIAL AND
SRO PROJECT
BASE DENSITY PLAN SET

PLANNING APPLICATION	9-6-22
PLANNING APPLICATION	5-08-23

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DATE:	1-19-22

COVER SHEET

A1



AERIAL VIEW OF PROJECT SITE

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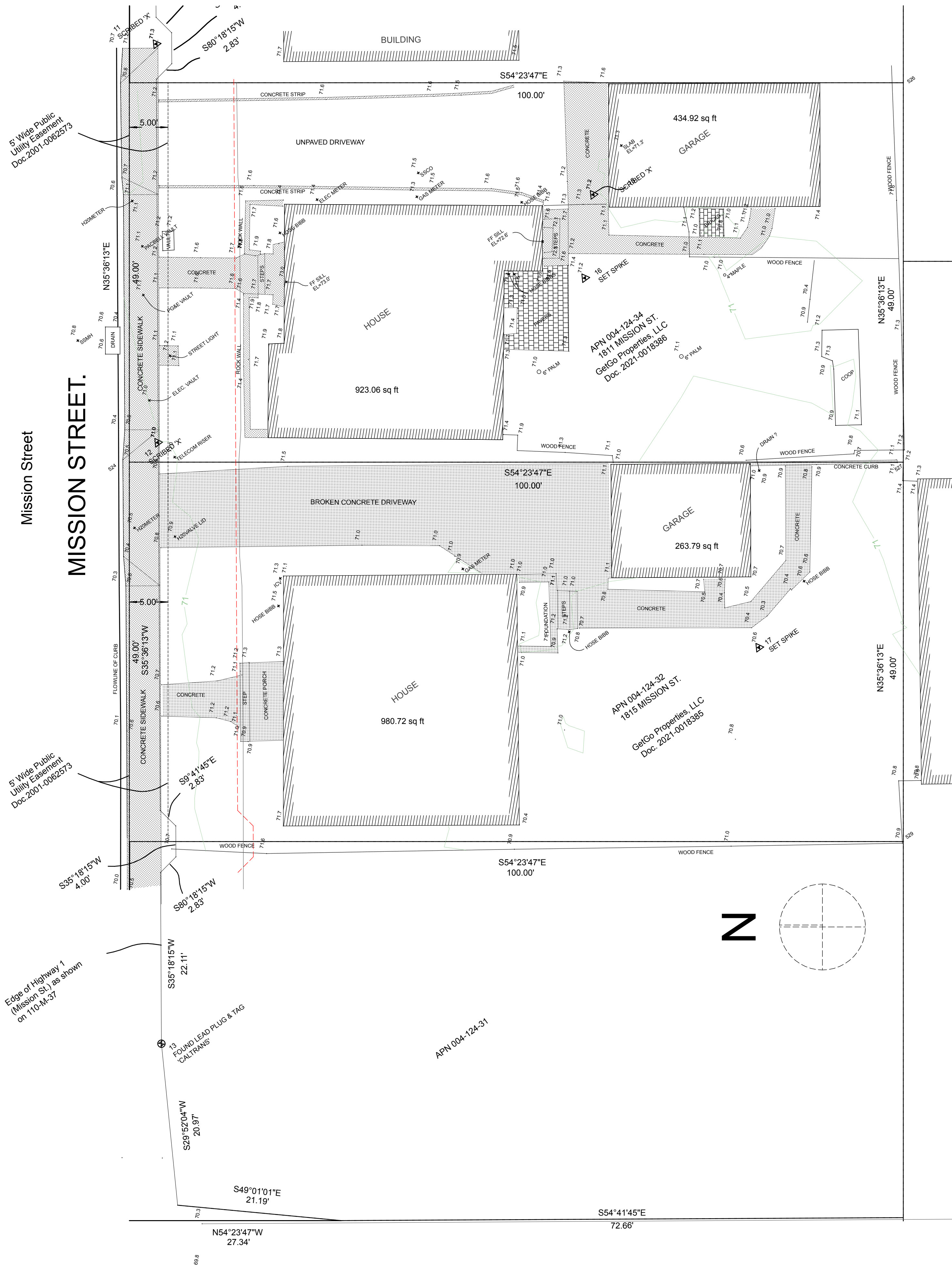
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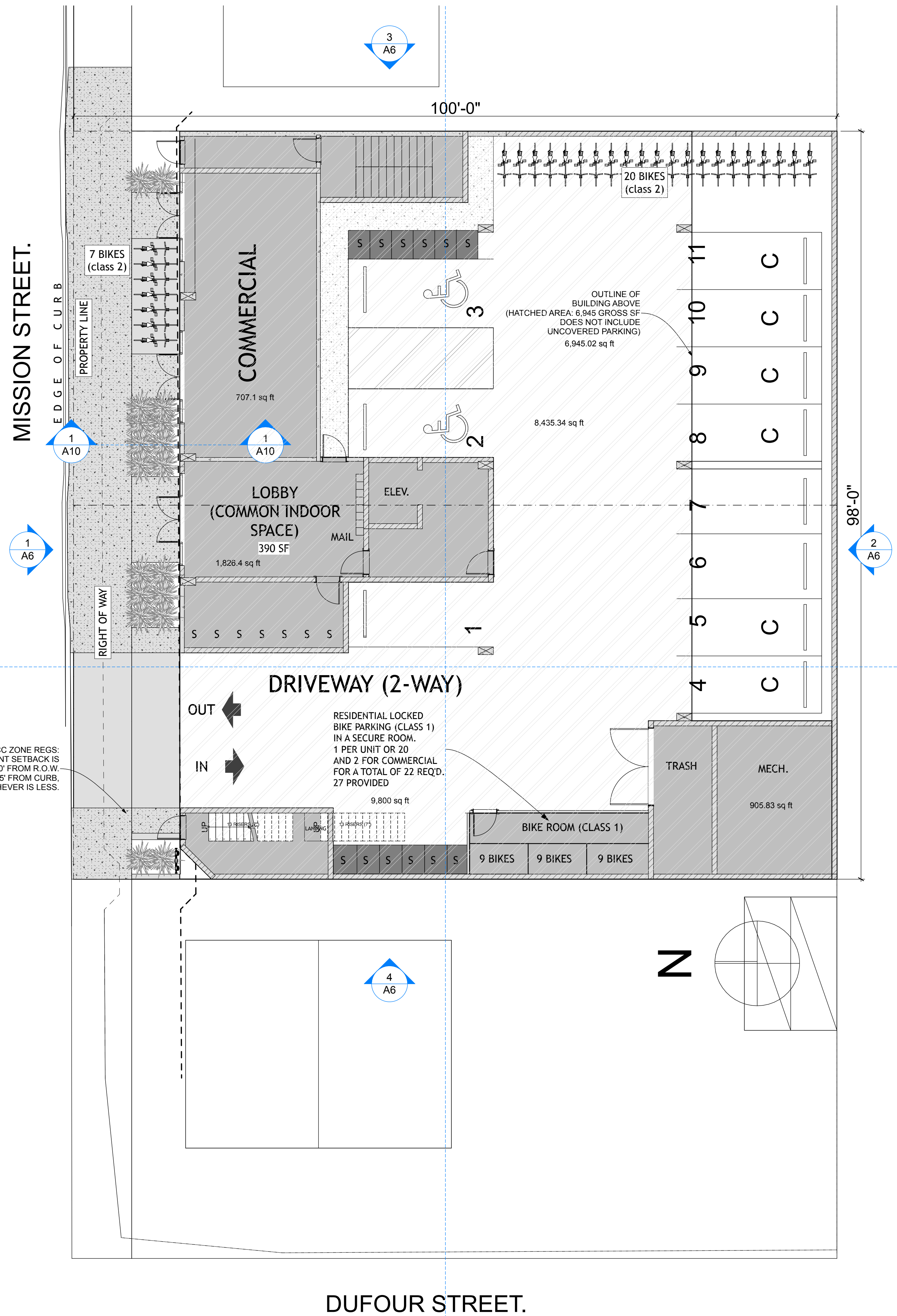
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AERIAL VIEW/
SITE CONTEXT

A2



1 SURVEY/ EXISTING SITEPLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SITEPLAN
SCALE: 1/8" = 1'-0"

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SITEPLAN

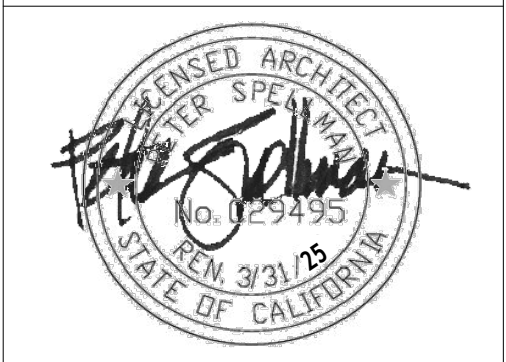
A3

A4

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT AREA SUMMARY	
SECOND FLOOR:	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
10 UNITS	393 SF
THIRD FLOOR:	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
	337 SF
10 UNITS	393 SF
TOTAL UNITS	20
TOTAL UNIT SF	6834 SF
AVG. UNIT SIZE	341.7 SF

2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



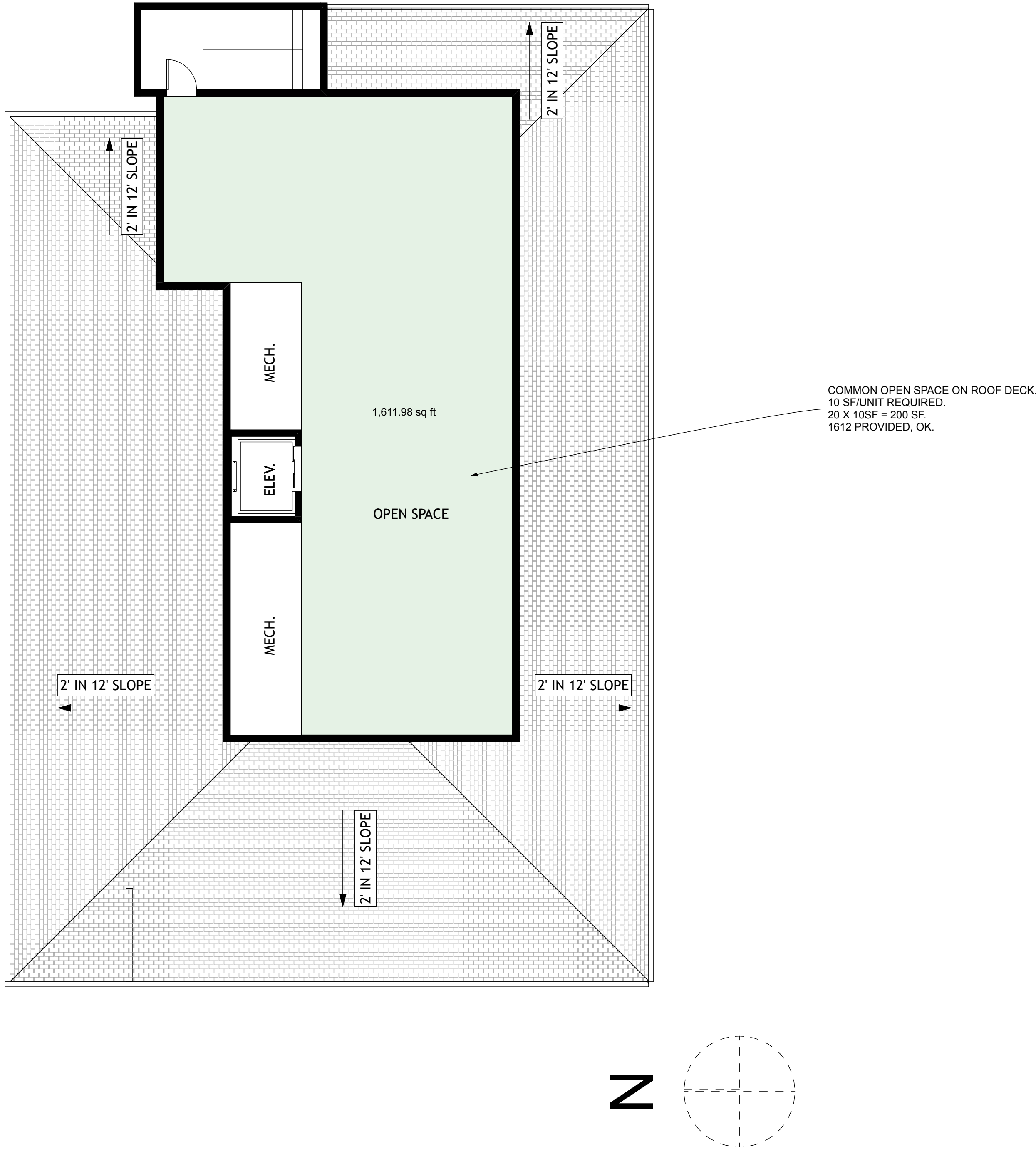
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1

ROOF PLAN
SCALE: 1/8" = 1'-0"



1

NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4

WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES:

GROUND FLOOR SMOOTH STUCCO AND EXPOSED CONCRETE (BOARD FORMED)
SECOND AND THIRD FLOORS: FIBER CEMENT SIDING (BOARD AND BATT)
ROOF: DESIGNER GRADE ASPHALT SHINGLE ROOFING
BALCONIES: FIBER CEMENT (WOOD LOOK)
WINDOWS AND DOORS: MATTE BLACK



BOARD AND BATT



GROUND FLOOR STUCCO



RAILINGS



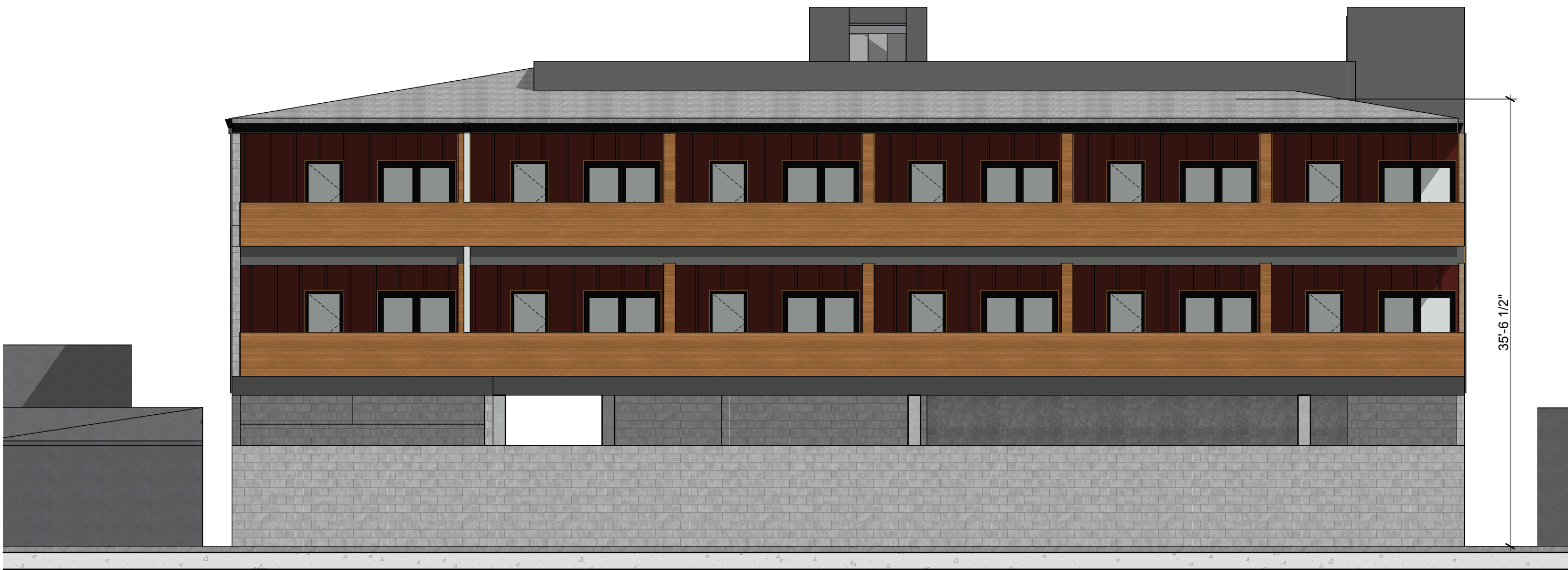
DECK PARTITIONS



PERIMETER WALLS

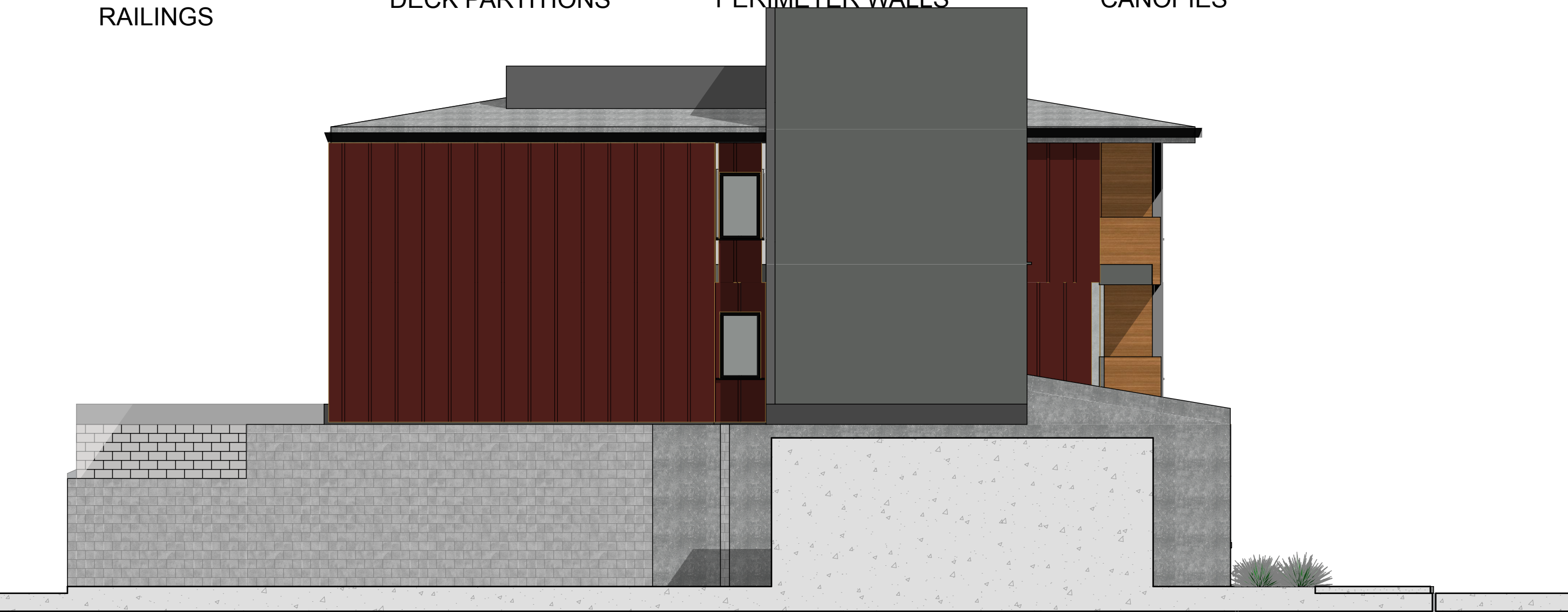


CANOPIES



2

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3

EAST ELEVATION
SCALE: 1/8" = 1'-0"

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ELEVATIONS

A6

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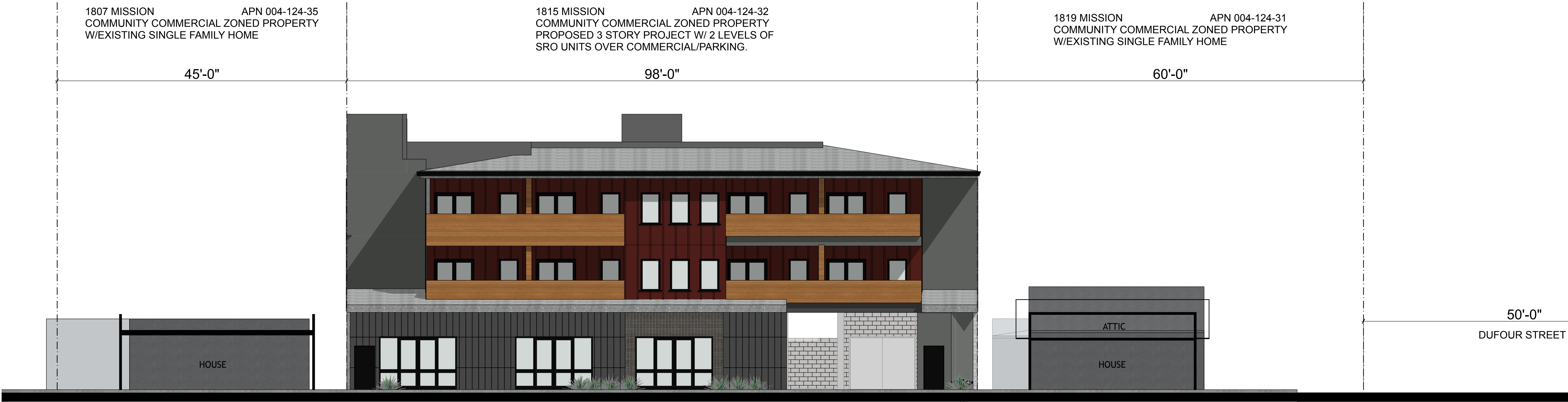
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SITE
SECTIONS

A7

1 SECTION NORTH/SOUTH LOOKING EAST
SCALE: 1/8" = 1'-0"

2 SECTION EAST/WEST LOOKING SOUTH
SCALE: 1/8" = 1'-0"



1

SITE ELEVATION ALONG MISSION
SCALE: 1/8" = 1'-0"

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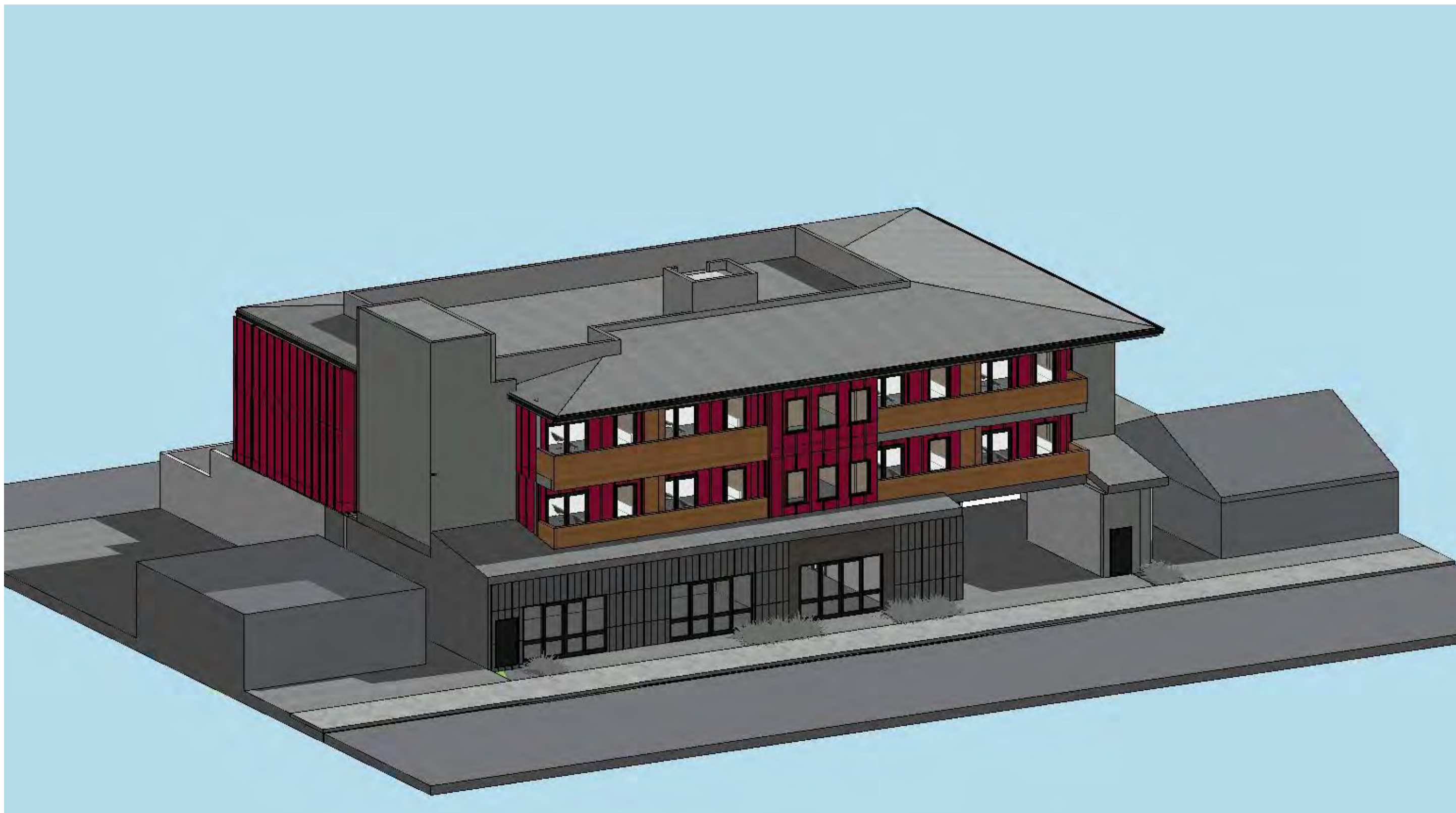
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SITE
ELEVATION

A8



VIEW OF SOUTH SIDE OF BUILDING



VIEW ALONG MISSION



VIEW ALONG MISSION

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VIEWS

A9