



PROJECT SUMMARY

RIVER STREET AFFORDABLE

PROJECT DESCRIPTION

136 River Street Apartments proposes a 51-unit, 100% tax credit-affordable project in the River Street District. The Spanish-revival design will feature a courtyard, arcaded street façade, and celebrated corner-retail store opportunity. The upper floors will house 50 units with a 25% 3-bedroom, 25% 2-bedroom, and 48% 1-bedroom mix, and a large community patio. Laundry facilities, bike parking and a 2-bedroom unit are located on the ground floor, with the residential entry, support offices, and community center fronting the street to activate the sidewalk experience.

PROJECT DATA

136 River Street
APN 008-311-07
Gross Lot Area: 0.25 acres
Zoning: CC

RESIDENTIAL UNIT MIX

(24) 1-bedroom units, min. 450SF
(14) 2-bedroom units, min. 700 SF (includes 1 Manager's unit)
(13) 3-bedroom units, min. 900 SF

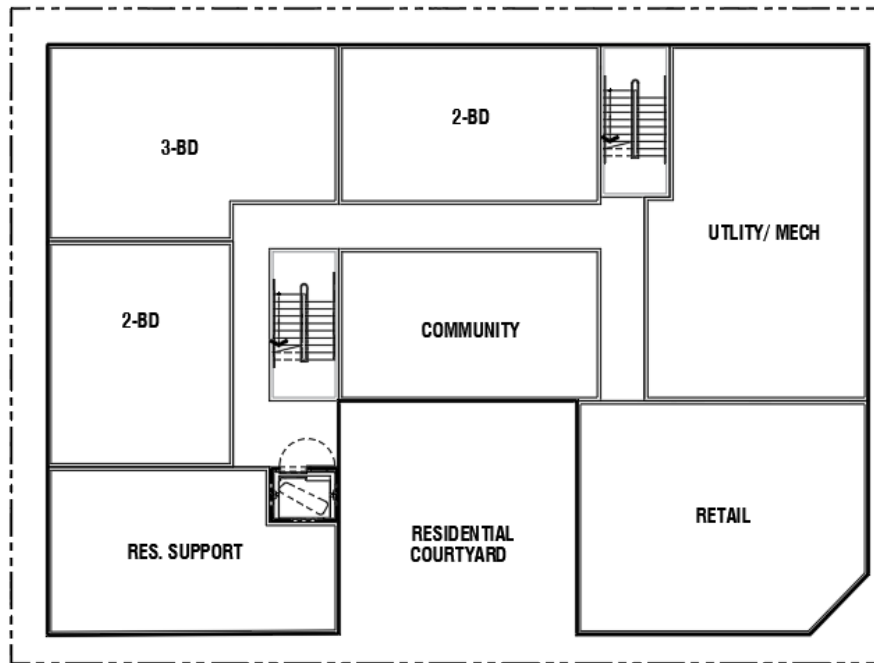
DEVELOPMENT STANDARDS

General Plan
Area Plan: Riverfront & Lower Pacific Study- Design Guidelines
24.12.185 Objective Development Standards

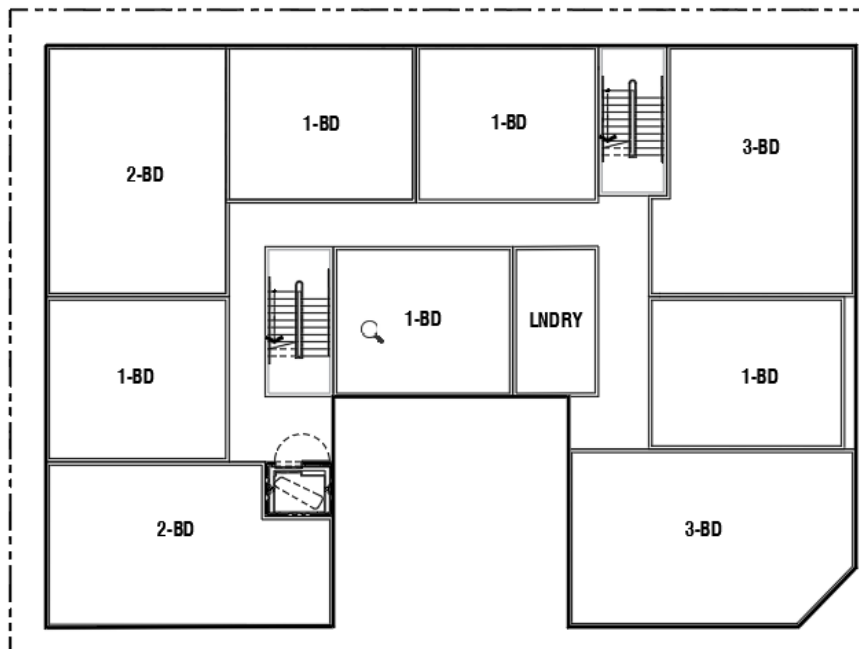
BASE DENSITY STUDY

Base density is per General Plan FAR of 1.5 for CC zone.
1.5 FAR (10,800 site area x 1.5 = 16,200 SF)
Floor plans on the following sheet show a full-build out of 1.5 FAR area. approx. 8,100 SF/Floor
Design Yields: 12 units + 1 Manager's unit under same TCAC mix requirements and unit size minimums as proposed project. A project of 13 units is not economically viable and would not be competitive to apply for tax-credit funding.

GROUND FLOOR, 8100 SF



SECOND FLOOR, 8100 SF



AFFORDABLE HOUSING DENSITY BONUS, CONCESSIONS AND INCENTIVES

The proposed projects utilizes Assembly Bill 1763 modification to current law to allow 100% affordable housing projects to be built denser and taller through:

- 1) For projects within .5 mile of transit stop, all restrictions on density are eliminated and three additional stories or 33' height increase is permitted to maximize density.
- 2) Up to four incentives and concessions from development standards
- 3) No parking requirement for projects that qualify as supportive housing.

Project will pursue the following concessions and incentives:

- 1) Reduced setbacks at sidewalk clearance and building modulation per Objective Development Standard (see comparison table provided further in document)
- 2) Reduction in private open space per unit.

DESIGN OVERVIEW

The intent of this summary is to relay our project's efforts to achieve a design that meets the goals of the General Plan, Area Plan, and Objective Standards as best applicable to our site opportunities and constraints as well as the requirements of a 100% affordable housing project.

SUMMARY OF AREA PLAN

Riverfront & Lower Pacific Study- Design Guidelines

Deviations are noted in blue, otherwise project meets requirements as designed.

Chapter 2, General Areawide Direction:

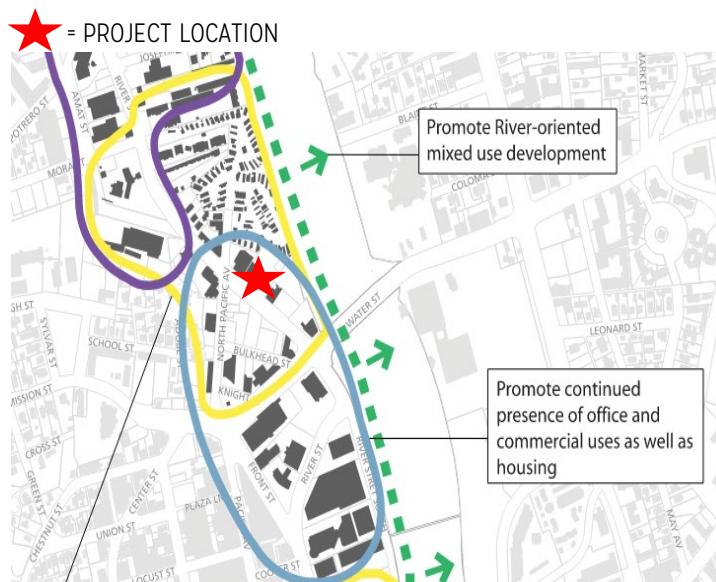
Compact Mixed-Use Development

Ground floor retail and housing as complementary upper floor use

Continuity of active ground-level uses.

25'-40' Depth of retail

FAR recommendations of the General Plan. *Project will increase FAR from 1.5 allowed by General plan to 4.76 as part of the allowable density increase per AB 1763.*



Chapter 3, Subdistrict Direction : North Pacific Avenue.

Promote Mixed-Use development with housing as a complementary upper-floor use.

Enhance the pedestrian environment.



Chapter 4, Areawide Design Guidelines: (As applicable to project program and site location)

Streetscape Improvements:

- Add a consistent planting of street trees along each street
- Increase the width of sidewalks wherever feasible
- Enhance Pedestrian crossings
- Underground utilities and remove poles from sidewalks.
- Add street furnishings
- Add street lighting
- Enhance bicycle facilities (e.g., bike lanes, racks)
- Maintain on-street parking as buffer to sidewalk wherever feasible

Street Walls and Street-front Setbacks:

- Site buildings at property lines for continuous street walls.
- Recess portions of building for key features: entrances, plaza, etc.
- Limit gaps in street wall
- Recess corner on diagonal at ground or ground and upper levels.

Service Areas, Loading and Building Equipment

- Service. Loading and storage areas located to the rear of buildings and on interior of blocks where they are away from public view.

Building Design

- Incorporate a hierarchy of vertical and horizontal features and articulation that establish a sense of order and reflect changes in building form.
- Facades that face public streets should be architecturally subdivided every 25-50 feet to promote visual interest.
- Façade increments should be defined at both the ground and upper stories
- Individual storefront should not exceed 50 feet.
- Strategies for varying facades: articulation of building volumes, changes in roofline & fenestration patterns, introduction of vertical features, such as columns, use of decorative detailing, and changes in building materials and color.



- Associate changes in material with changes in building plane.
- Building entrances, display windows, awnings, overhangs, balconies, light fixtures, shall face public streets.
- Maintain a consistent quality in character in terms of articulation, detailing and finishes.
- Avoid blank walls.

Building Entrances

- Locate primary entrances on primary street
- Distinguish retail storefronts from main building entrances
- Secondary entrances shall not detract from primary.
- Well-defined entrances with vertical mass, canopies, awnings, overhangs, architectural details, or enhanced ground surface like decorative paving.
- Screen service entries to degree feasible.

Roofs

- Distinctive, sculpted roof forms encouraged.
- Flat roofed buildings should incorporate a detailed cornice or parapet and screen mechanical equipment.
- If visible, roofs shall use high quality roofing materials.
- All rooftop equipment and stair towers shall be grouped and located where not visible from street.
- Open space of rooftop is encouraged.

Windows Doors and Other Openings

- Generous windows at street-level.
- Retail and Commercial storefront should generally occupy 60% of street-level façade.
- Provide enclosed display windows, where actual windows cannot be accommodated.
- Tinted, reflective or obscure glazing should not be used.
- Street-fronting glazing should have a sill height not to exceed 30 inches.
- Doors in commercial storefront shall include windows.

Commercial Signage

- In district 2, signage is preferred to be integrated in the building design over free-standing.

CITY OF SANTA CRUZ 24.12.185

OBJECTIVE STANDARDS CONFORMANCE & DEVIATIONS

Deviations are noted in blue.

Objective Standards Requirements: (As applicable to project program and site location)

Element:	Required:	Compliance:
24.12.185.3 Maximum Building Length	Dictated by required setback & parcel dimensions	Meets
24.12.185.4 Walkability	Maintain public connections	New Sidewalk along Lindberg proposed where there was none.
24.12.185.5 New Public Connections	(e) New or improved sidewalks per Area Plan, Section II.E Ground Floor Design and chapter 15.20 as applicable	Project will provide sidewalks in compliance.

24.12.185.6 Public Frontages	Residential Lobby at public frontage C-C zone: minimum 50% active frontage along street facade requiring widest sidewalk. Mechanical rooms shall not be a primary street 100% commercial use is required at the corner on corner lots Entries shall be placed no more than 50 linear feet apart. Lobbies are limited to max 30' of frontage.	Lobby Complies Street facades comply on both street frontages. No mechanical rooms are off primary street. Retail is provided at Corner. Project Complies Residential Lobby complies @ 14'-6" wide.
24.12.185.8 Landscape and Buffering	In C-C zone: 12 SF of planted area for each 30' of linear building frontage. Plants selected from WELO standards Street Trees in Public Right of Way at rate of 1 tree per 30' of site frontage. Plantings and materials to comply with City's LID Standards, Storm Water Best Management Practice, and Storm Water Management Program.	Project complies with 295 SF of planted area where 79 SF is required. River street has 120 LF, requiring 4 street trees. We are providing 3 street trees in existing tree planters. Lindberg street has 90 LF of frontage requiring 3 street trees. We are providing 2 street trees. Tree reduction is in order to not obstruct clear vision areas at the corner of Lindberg and River. Plants selected are from the WELO standards and comply with the City's LID standards, Storm Water Best Management Practice and Storm Water Management Program.
24.12.185.9 Useable Open Space	40 SF of Private Open space and at least 20 SF of common per dwelling unit. Common space can be substituted for private at ratio of 2:1. Minimum of 3 features shall be incorporated into common spaces.	No private space provided, with the exception of 40 SF balcony at the manager's unit. Project provides a Common Outdoor Area @ 18+ SF/ units. Project will provide: seating, flowering plants, children's play equipment.
24.12.185.11 Roof Form	Variation on roof form at rate of 1 roof form per 30' of frontage. Changes must be combined with a change in height of at least 3', and horizontal change of at least 4'.	Project Complies

24.12.185.12 Building Modulation	Provide horizontal change in plane every 30' (at least 4' deep and 6' wide) OR provide a horizontal change is plane every 30' (at least 2' deep and 6' wide) AND combined with change of material. OR provide a horizontal change is plane every 50' (at least 6' deep and 12' wide) AND combined with change of material, and 70% transparency at notch.	Project meets horizontal plane change on River Street. Project provides horizontal plane change along Lindberg street with a 4' deep plane change at grade, and 18" at upper floors. Notch depth is limited by maintaining minimum unit sizes per TCAC requirements.
24.12.185.13 Corridor Frontage	12' minimum setback form face of curb to ground floor frontage, where 80% is a useable 12-foot-wide sidewalk. In no case shall the passable sidewalk width be less than 8'	Project provides arcaded recesses along the entire River street façade at grade, maximizing the 12' sidewalk where possible. Project maintain minimum 8' sidewalk.
24.12.185.14 Ground Floor Design	For C-C zone: Minimum ground floor frontage transparency of 70-% btw. 2' and 12' in height. Minimum ground floor height of 15' measured from floor:floor. 2' inset at entries.	Project Complies
24.12.185.15 Architectural Detail	Visually differentiate the ground floor from upper floors with material, plane change or horizontal element like a cornice line. Buildings at corner either increase height of roof at corner, or provide chamfered corner with minimum 6' cut either side. Provide a public open space as an extension of the sidewalk of at least 30 SF in area. Buildings in C-C Provide at each building face and each level at least two categorial architectural features. Windows glass shall be inset 3" from face of building at upper levels. Unfenestrated portions of wall are limited to 15' in width.	Project Complies Project complies with chamfered corner. Project complies with sdiewalk extension areas totaling 160 sf. Design utilizes Category 1&2 at all upper levels, and Category 3& 4 at ground level. Project will attempt to comply, but may be limited by nailing flange options. Project Complies



24.12.185.16 Building Materials	Building materials must be on approved list and must utilize two materials one of which cannot exceed 85%. Vinyl windows are prohibited.	Project proposes stucco as primary material to stay true to architectural style. Secondary colors are an option. Project will likely pursue vinyl windows with integral black color to appear like metal-clad wood, as metal is cost prohibitive.
24.12.185.17 Lighting Goal	(Various requirements)	Project Lighting will comply.

Please feel free to contact me directly with any questions regarding the project's design intentions.

Sincerely,
Jessie Skidmore, jessies@tenoverstudio.com