

ARTHAUS OCEAN



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WORKBENCHBUILT.COM
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ARTHAUS OCEAN
530, 542 & 548 OCEAN STREET
SANTA CRUZ, CA 95060



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	02.23.2024
1	PLANNING PACKAGE	08.23.2024
2	PLANNING REV-01	11.01.2024
3	PLANNING REV-02	01.22.2025

APN number	010-011-16, 31, 30
Project number	23154
Print Date	08.26.2024
Drawn by	OH
Checked by	EB
Scale	NTS

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COVER SHEET INDEX

GPO.01

PLANNING REV-02 CP24-0071

DRAWING INDEX - PLANNING

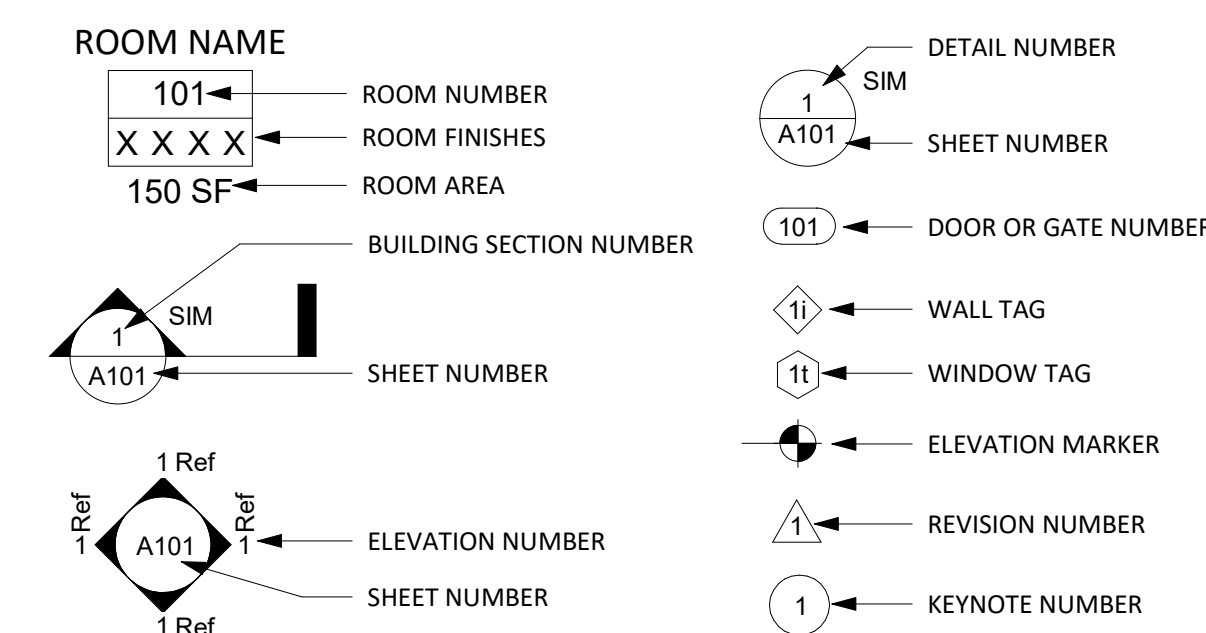
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GRAPHIC LEGEND



PROJECT DIRECTORY

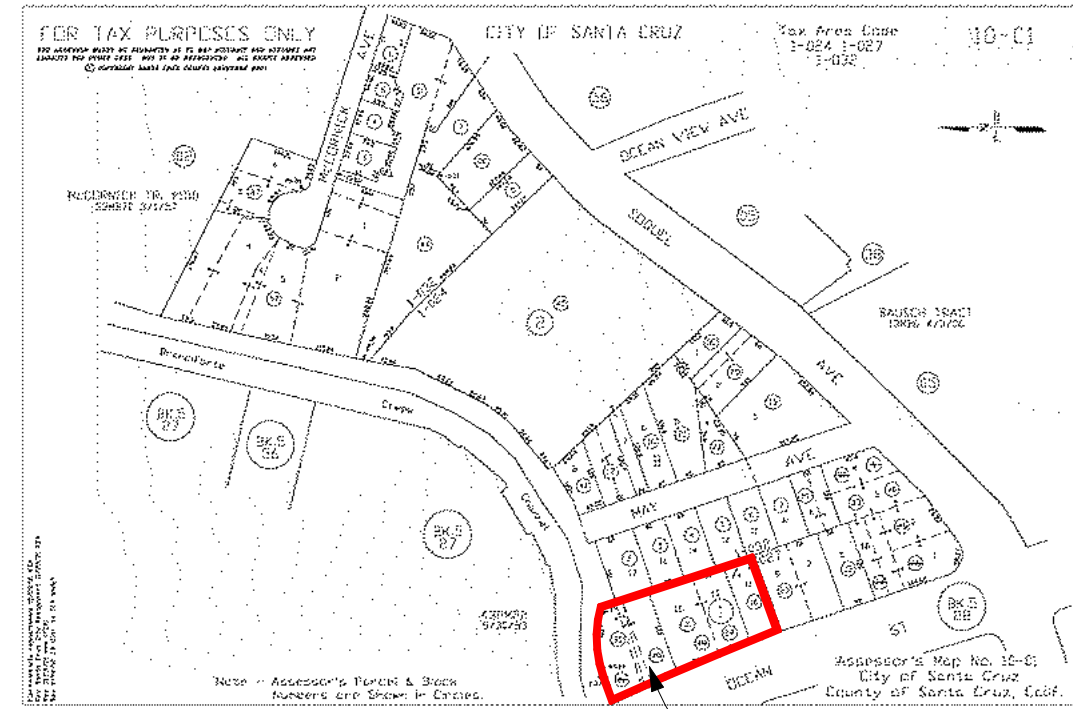
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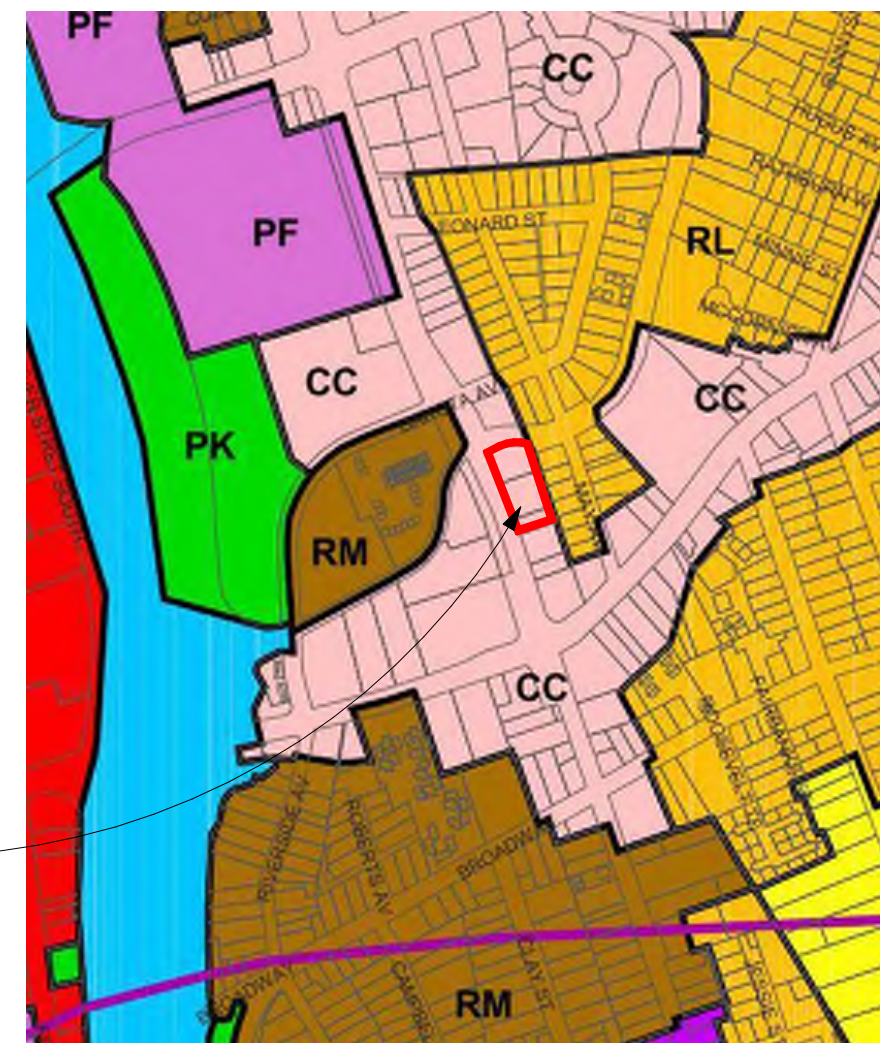
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ASSESSORS MAP



SUBJECT PROPERTIES

ZONING MAP



CONTEXT & MOBILITY



SCOPE OF WORK

THIS PROJECT IS AN APPROXIMATELY 152,702 GSF MIXED USE APARTMENT BUILDING. THE SIX STORY BUILDING CONSISTS OF A TYPE-I GROUND FLOOR PODIUM WITH FIVE STORIES OF TYPE-III A RESIDENTIAL LEVELS ABOVE. THE BUILDING SPANS THREE LAND PARCELS DESIGNATED "COMMUNITY COMMERCIAL" (CC) AND SEEKS TO REPLACE FOUR EXISTING BUILDINGS (SEE DEMOLITION SITE PLAN).

THE PROPOSED PROJECT WILL RAISE THE SITE 1'-6" OUT OF THE FEMA 100-YEAR FLOOD PLAIN. RAMPS/SITE STAIRS ARE PROVIDED FOR ACCESS TO THE GROUND FLOOR. SITE IMPROVEMENTS IN THE FORM OF STREET TREES, CLASS-II BICYCLE STORAGE, WALKWAYS AND PLANTINGS BOTH CONFORM WITH THE OCEAN STREET OVERLAY AND CREATE INVITING COMMON OUTDOOR SPACE FOR RESIDENT USE.

THE GROUND FLOOR TYPE-I PODIUM IS COMPOSED OF A MIXED-USE GROUND FLOOR FEATURING A COMMERCIAL SPACE FRONTING OCEAN STREET AS WELL AS A RESIDENTIAL LOBBY AND RESIDENT AMENITIES. THE REMAINDER OF THE GROUND FLOOR IS DEDICATED TO A PARKING GARAGE THAT HOSTS BOTH COMMERCIAL AND RESIDENTIAL PARKING AS WELL AS BUILDING SERVICES LIKE THE TRASH ROOM AND ELECTRICAL ROOM. AB2097 ELIMINATES MINIMUM PARKING REQUIREMENTS FOR DEVELOPMENTS LOCATED <0.5 MILES FROM A MAJOR TRANSIT STOP. THE PROJECT PROVIDES 84 RESIDENTIAL PARKING SPACES AND 0 COMMERCIAL PARKING SPACES. SEE SHEET AP9.02 FOR MORE INFORMATION.

THE UPPER FLOORS OF THE BUILDING FEATURE THE RESIDENTIAL UNITS, RESIDENT AMENITIES, AND BUILDING SERVICES LIKE A TRASH ROOM AND MEP ROOM. ON LEVEL TWO THERE IS A COMMON RESIDENT AMENITY ROOM ENVISIONED AS A LOUNGE SPACE WITH ACCESS TO A TERRACE ON THE LID OF THE GROUND FLOOR PODIUM. A DOUBLE LOADED CORRIDOR WITH INTERIOR CIRCULATION FRONTS OCEAN STREET AND A SINGLE LOADED BAR OF UNITS LINES THE BACK OF THE SITE, ACCESSED BY EXTERIOR BRIDGES AND CORRIDORS.

THE RESIDENCES ARE A MIX OF STUDIOS, 1 BEDROOM AND 2 BEDROOM UNITS. EACH UNIT CONTAINS AT LEAST A SINGLE FULL BATHROOM, FULL KITCHEN, PRIVATE WASHER/DRYER AND THE REQUIRED 200 CUFT OF STORAGE. EACH UNIT HAS OPERABLE WINDOWS.

THE ROOF HOSTS SCREENED MECHANICAL EQUIPMENT ALONG WITH SOLAR PHOTOVOLTAIC PANELS.

THE BUILDING'S MASSING FRONTING OCEAN STREET AND THE MASSING FACING THE REAR YARD IS HIGHLY ARTICULATED, PROVIDING A CHANGE IN PLANE OF 3'-0" AND A MATERIAL CHANGE EVERY 15' TO 30'. VARYING PARAPET HEIGHTS CREATE DYNAMISM IN THE ROOF-LINE AND THE BUILDING'S MASSING IS COMPLEMENTED BY A VARIETY OF COLORS UTILIZED STRATEGICALLY TO INVOKE THE SPIRIT OF OCEAN STREET AND THE APPROACH TO THE SANTA CRUZ BOARDWALK. MID-CENTURY AND ART DECO INSPIRATIONS FOR COLOR AND ARTICULATION ARE MANIFESTED IN THE BUILDING'S MATERIAL PALETTE AND REINFORCE THE SPIRIT OF THIS AREA OF SANTA CRUZ.

THE PROJECT USES SB-330, CA AB-2097, AB-2345, AND AB-1287

DENSITY BONUS REQUESTS

CONCESSIONS (UP TO 3)

- MULTI-USE PATH - 24.12.185.5(C)
- VINYL WINDOWS - 24.12.185.16(C)

WAIVERS (UNLIMITED)

- BUILDING HEIGHT - SCMC 24.10.750(1)(A)
- BUILDING STORIES - SCMC 24.10.750(1)(A)
- REAR YARD SETBACK - SCMC 24.10.750(1)(C)
- COMMON USABLE OPEN SPACE PER DWELLING UNIT - SCMC 24.10.750(1)(D)
- PRIVATE OPEN SPACE PER DWELLING UNIT - SCMC 24.10.750(1)(D)
- MAXIMUM BUILDING LENGTH - SCMC 24.12.185.3(B)
- 15' WIDE SIDEWALK - SCMC 24.12.185.4(A)(II)
- 15' WIDE SIDEWALK - SCMC 24.12.185.5(E)
- REAR YARD LANDSCAPE BUFFER - SCMC 24.12.185.8(B)(III)
- OPEN SPACE - SCMC 24.12.185.9(A)(I)
 - USABLE OPEN SPACE PER UNIT
 - PRIVATE OPEN SPACE PER UNIT
- NEIGHBORHOOD TRANSITION - SCMC 24.12.185.10(A)(I)
- BUILDING MODULATION - SCMC 24.12.185.12(A)
- UNFENESTRATED ELEVATIONS - SCMC 24.12.185.15(F)
- COMMON OPEN SPACE PER FDU - SCMC 24.12.1530(1)
- FLOOR AREA RATIO - 2030 GENERAL PLAN
- WATERCOURSE DEVELOPMENT SETBACK - CITY-WIDE CREEKS & WETLANDS MANAGEMENT PLAN

VARIATIONS FROM OBJECTIVE DESIGN STANDARDS (UP TO 5)

- GROUND FLOOR ENTRIES - 24.12.185.6(E)(II)

ADDITIONAL SITE CONDITIONS

SEE MEMO INCLUDED W/ APPLICATION FOR ADDITIONAL INFORMATION

NEIGHBORHOOD:	OCEAN STREET CORRIDOR
FEMA FLOODWAY:	AE
FLOOD PLAIN:	YES
TSUNAMI INUNDATION PLANNING AREA:	YES
ARCHAEOLOGICAL AREA:	SENSITIVE - EXEMPTION MAY APPLY
LIQUEFACTION ZONE:	YES
SENSITIVE HABITAT:	NO
VERY HIGH FIRE SEVERITY ZONE:	NO
HISTORIC/CULTURAL RESOURCES:	NO
SPECIES OF CONCERN:	NO
COASTAL ZONE:	NO
POINT SOURCE AIR/WATER POLLUTANTS:	NO
RECORDED PUBLIC EASEMENTS:	NO
WETLANDS:	NO



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Drawn by	DS
Checked by	EB
Scale	NTS

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PROJECT INFO

GPO.03



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OPEN SPACE EXHIBIT

GP0.06

OPEN SPACE NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- NO LESS THAN 25 PERCENT OF THE TOTAL COMMON OPEN SPACE AREA SHALL BE PERMANENTLY LANDSCAPED WITH LIVE PLANT MATERIAL INCORPORATING TREES, SHRUBS, AND GROUND COVER PER SCMC 24.12.185.9(C)(III)
- SEE LANDSCAPE PLANS FOR INFORMATION ON PLANTING AND TERRACE DESIGN.

Level	OPEN SPACE TYPE	AREA
COMMON INDOOR SPACE		
LEVEL 1	COMMON INDOOR SPACE	1,766 SF
LEVEL 2	COMMON INDOOR SPACE	376 SF
LEVEL 3	COMMON INDOOR SPACE	143 SF
LEVEL 4	COMMON INDOOR SPACE	82 SF
LEVEL 5	COMMON INDOOR SPACE	143 SF
LEVEL 6	COMMON INDOOR SPACE	82 SF
		2,593 SF
COMMON OPEN SPACE		
LEVEL 2	COMMON OPEN SPACE	4,280 SF
		4,280 SF
PRIVATE OPEN SPACE		
LEVEL 2	PRIVATE OPEN SPACE	1,618 SF
LEVEL 3	PRIVATE OPEN SPACE	288 SF
LEVEL 4	PRIVATE OPEN SPACE	288 SF
LEVEL 5	PRIVATE OPEN SPACE	288 SF
LEVEL 6	PRIVATE OPEN SPACE	288 SF
		2,770 SF

CITY OF SANTA CRUZ SHARED OPEN SPACE REQUIREMENTS
PER SCMC 24.12.185.9
WAIVER REQUESTED, SEE SHEET GP0.03

TOTAL UNIT COUNT:	70 TRADITIONAL UNITS 155 FDU'S 225 TOTAL UNITS
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COMMON OPEN SPACE PER DWELLING UNIT REQ'D:	70 UNITS x 80 SF PER UNIT = 5,600 SF
TRADITIONAL DWELLING UNITS: <small>SCMC 24.10.7501(I)(D)</small>	
COMMON OPEN SPACE PROVIDED:	4,280 SF

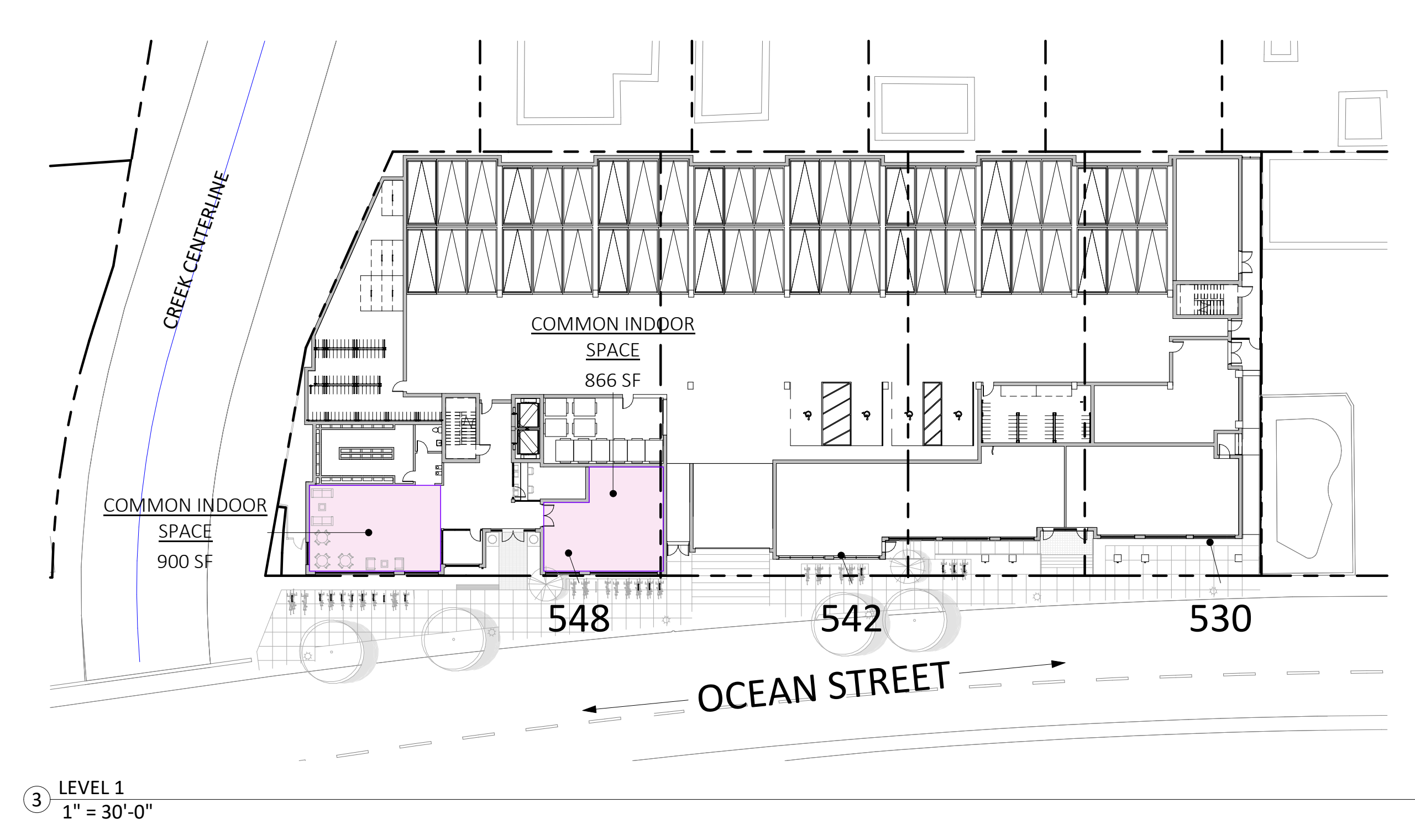
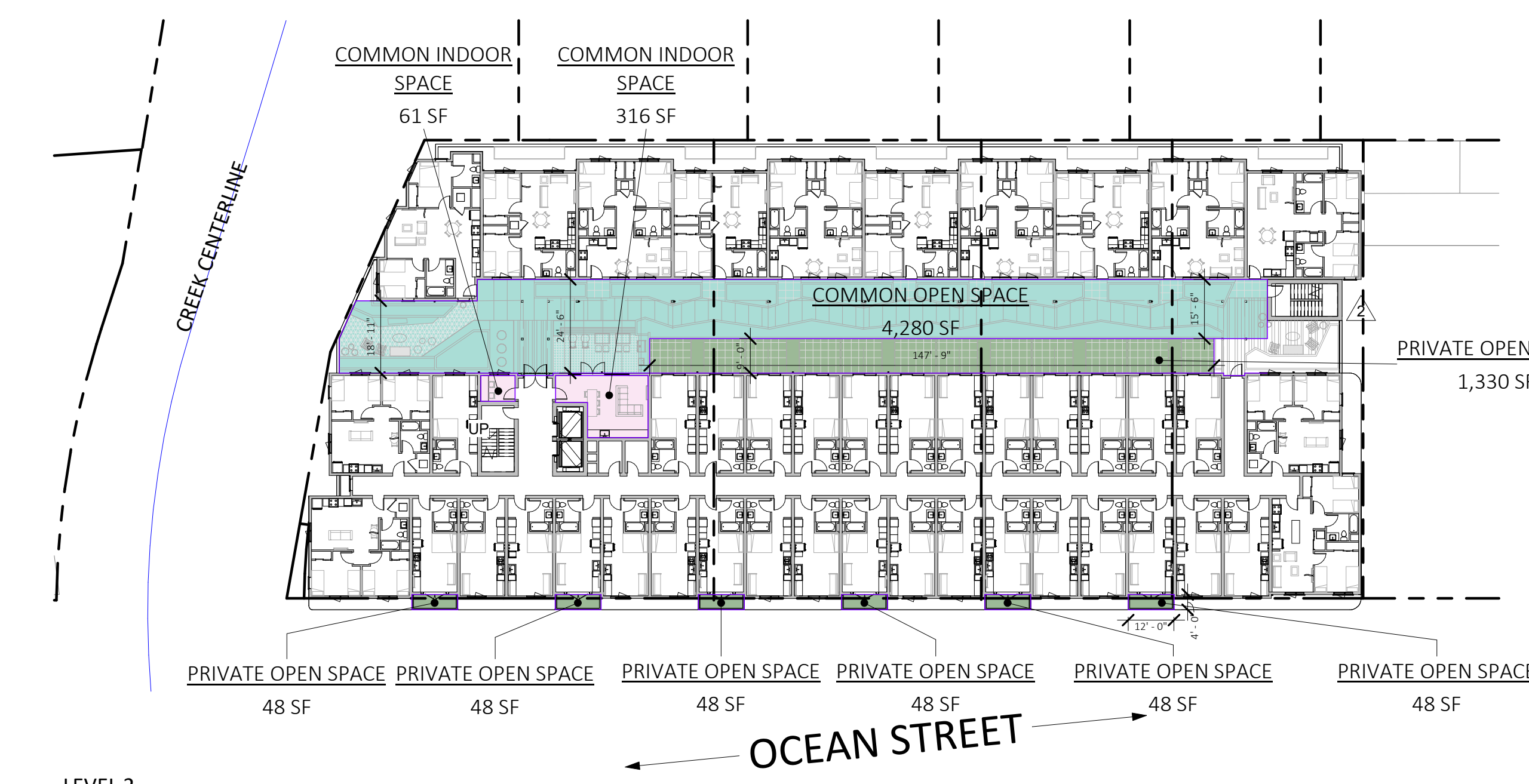
PRIVATE OPEN SPACE PER DWELLING UNIT REQ'D:	70 UNITS x 40 SF PER UNIT = 2,800 SF
TRADITIONAL DWELLING UNITS: <small>SCMC 24.10.7501(I)(D)</small>	
PRIVATE OPEN SPACE PROVIDED:	0 SF <small>WAIVER, SEE GP0.03</small>

COMMON OPEN SPACE PER FDU REQ'D:	155 UNITS x 150 SF PER UNIT = 23,250 SF
FDU'S: <small>SCMC 24.12.1530(I)</small>	
COMMON OPEN SPACE PROVIDED:	5,363 SF <small>WAIVER, SEE GP0.03</small>

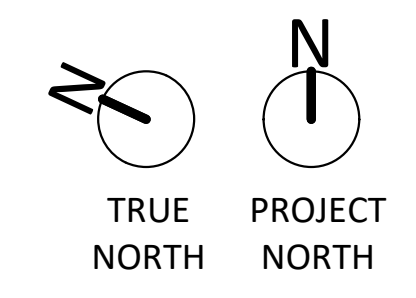
COMMON INDOOR SPACE PER FDU REQ'D:	MINIMUM 200 SF COMMON INDOOR SPACE
FDU'S: <small>SCMC 24.12.1530</small>	
COMMON INDOOR SPACE PROVIDED:	2,593 SF

PRIVATE OPEN SPACE FOR ALL UNITS REQ'D:	225 UNITS x 40 SF PER UNIT = 9,000 SF
TRADITIONAL UNITS + FDU'S: <small>SCMC 24.12.1859(A)(II)</small>	
PRIVATE OPEN SPACE PROVIDED:	2,770 SF <small>WAIVER, SEE GP0.03</small>

USABLE OPEN SPACE FOR ALL UNITS REQ'D:	225 UNITS x 20 SF PER UNIT = 4,500 SF
TRADITIONAL UNITS + FDU'S: <small>SCMC 24.12.1859(A)(II)</small>	
USABLE OPEN SPACE PROVIDED:	4,280 SF <small>WAIVER, SEE GP0.03</small>



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A: CENTRAL COURTYARD VIEW



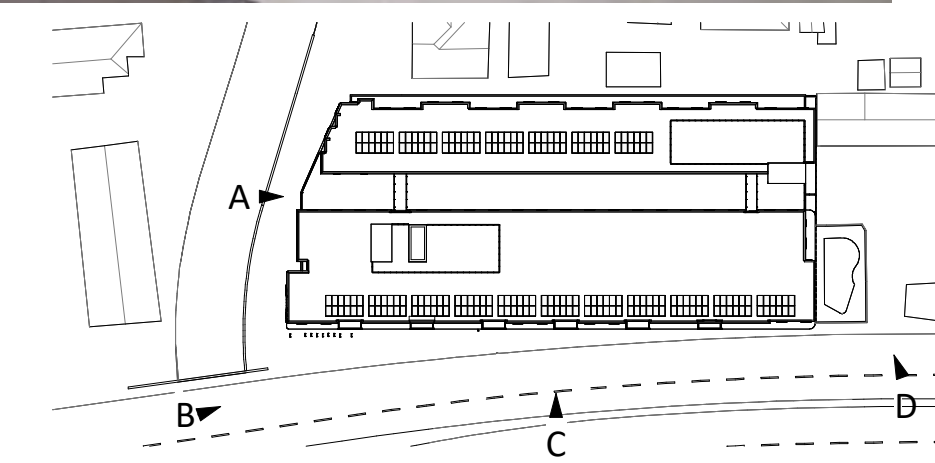
B: CORNER VIEW FROM BRANCIFORTE CREEK



C: ELEVATION VIEW FROM OCEAN STREET



D: CORNER VIEW FROM OCEAN STREET LOOKING NORTH



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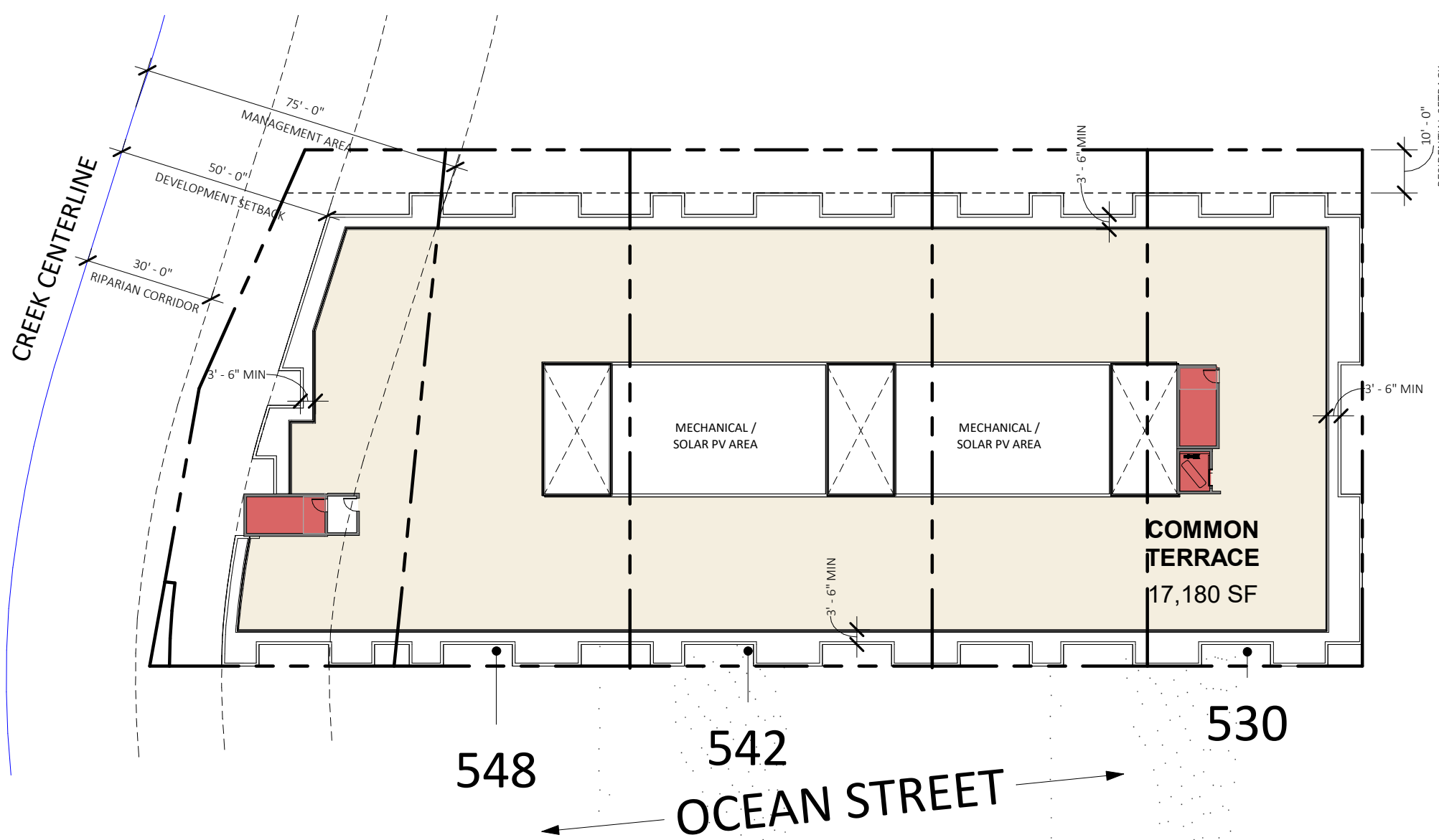
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RENDERING & 3D EXHIBITS
GP0.07

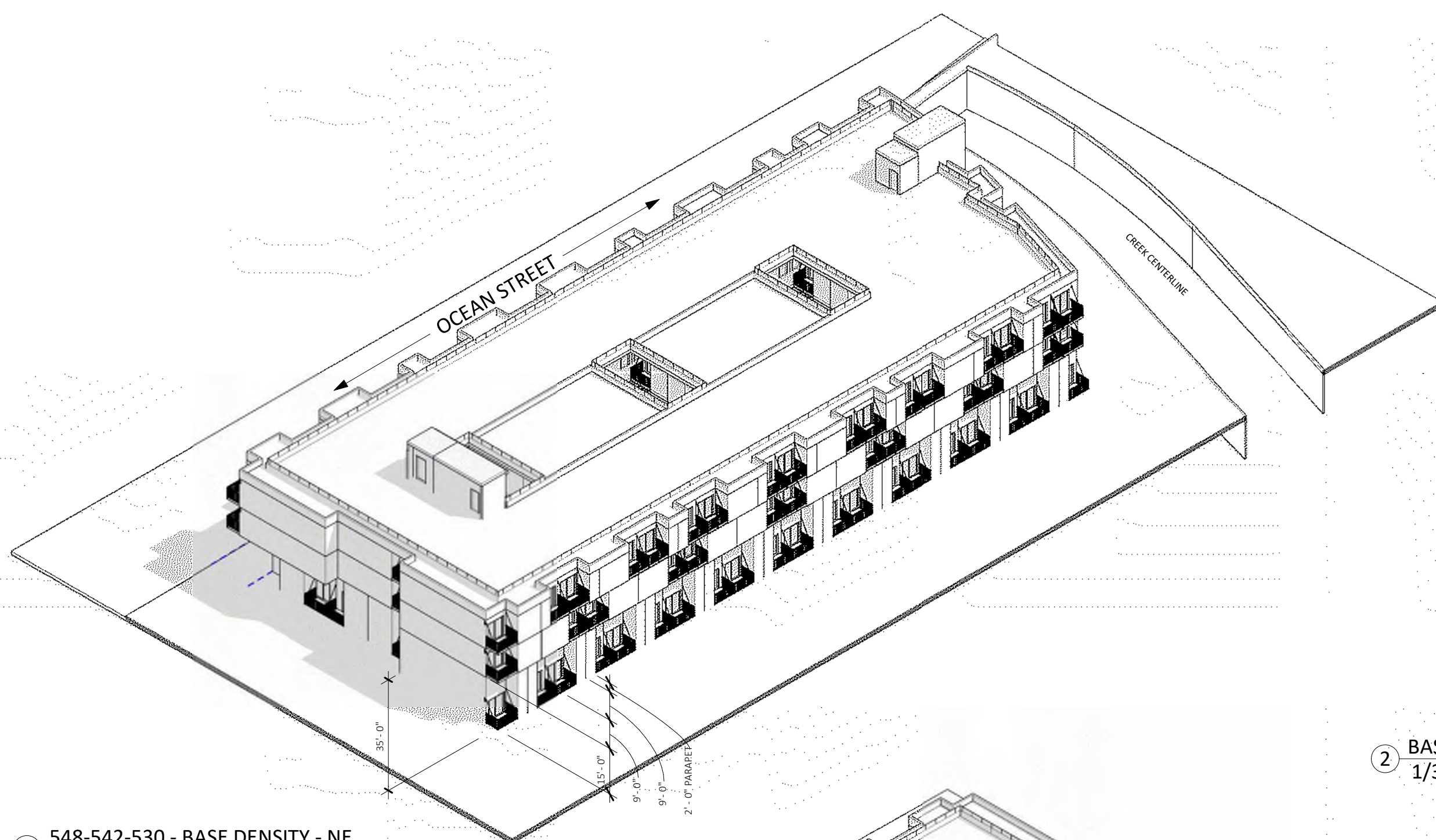
DIAGRAMS ILLUSTRATED ON THIS SHEET ARE FOR BASE DENSITY CALCULATIONS ONLY, SEE AP SHEETS FOR PROPOSED DESIGN



3 BASE DENSITY - ROOF
1/32" = 1'-0"



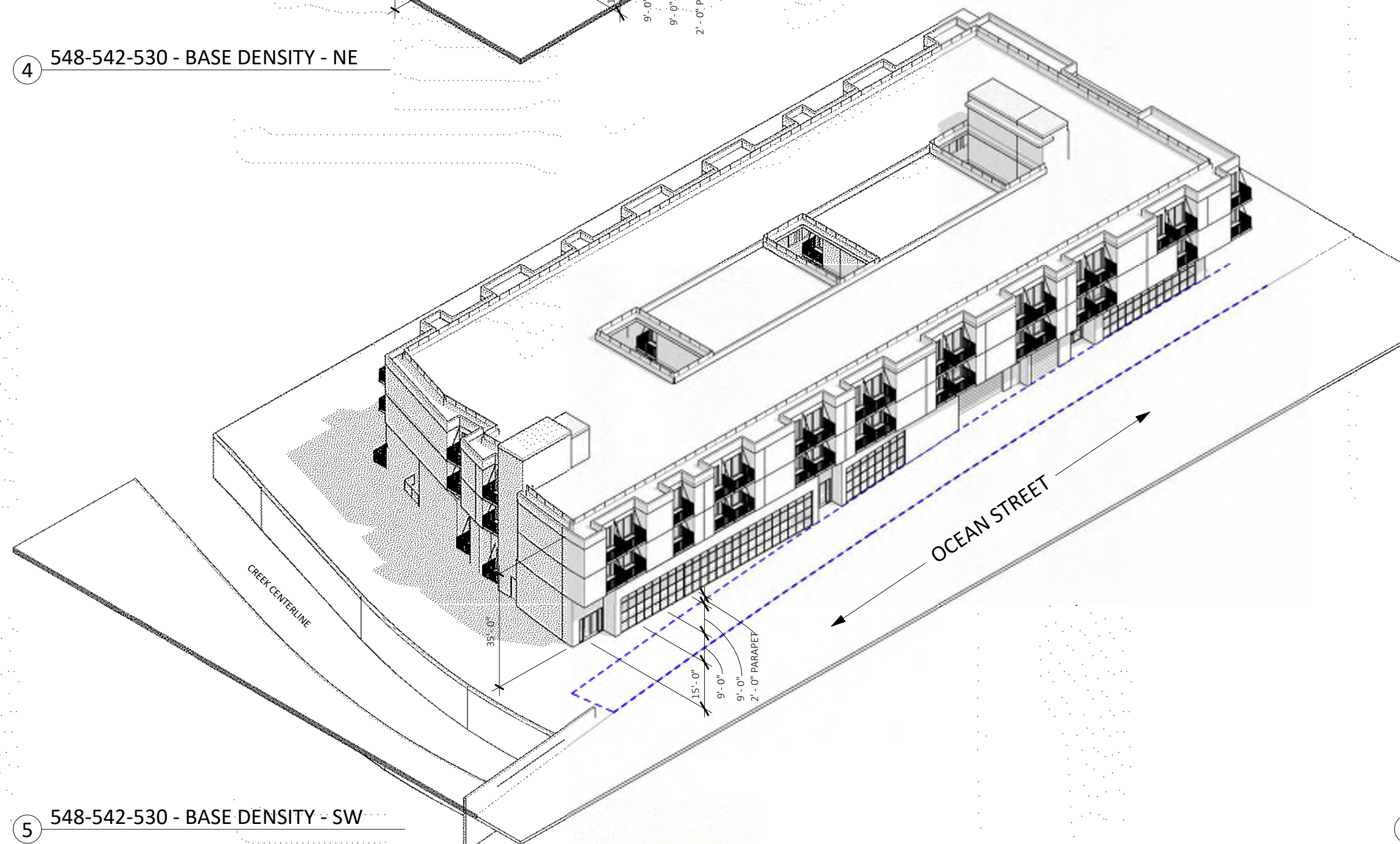
6 BASE DENSITY - LEVEL 3
1/32" = 1'-0"



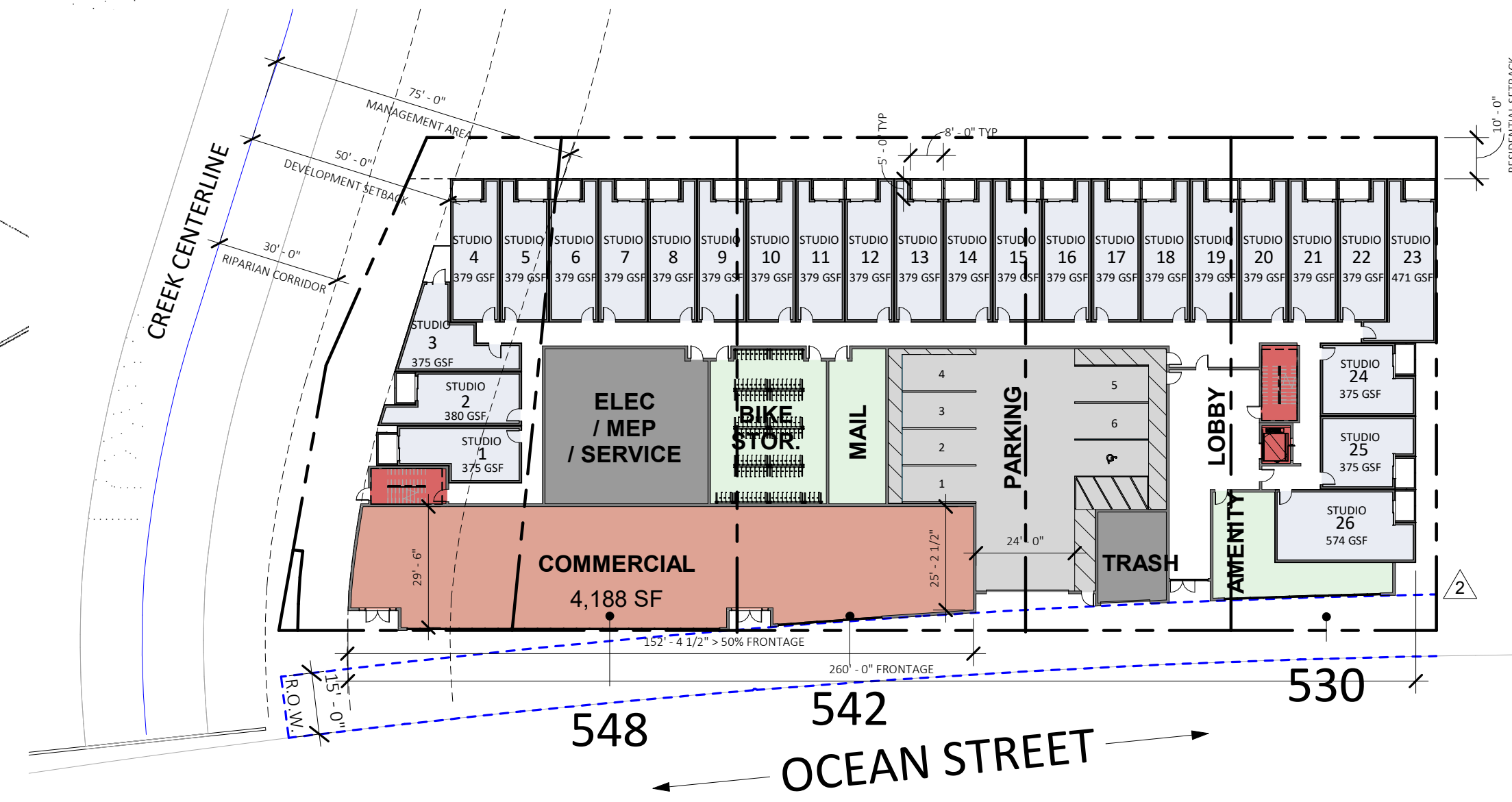
4 548-542-530 - BASE DENSITY - NE



2 BASE DENSITY - LEVEL 2
1/32" = 1'-0"



5 548-542-530 - BASE DENSITY - SW



1 BASE DENSITY - LEVEL 1
1/32" = 1'-0"

DENSITY BONUS UNIT CALCULATIONS

BASE DENSITY UNIT CALCULATIONS PER 24.16.255 (6):

FOR THE PURPOSES OF CALCULATING THE NUMBER OF DENSITY BONUS UNITS IN AREAS WHERE A MAXIMUM DENSITY RANGE IS NOT PROVIDED IN THE ZONE DISTRICT OR GENERAL PLAN, AN IMPLICIT RESIDENTIAL DENSITY SHALL BE CALCULATED BASED ON A PROJECT PUT FORWARD BY THE APPLICANT THAT MEETS ALL APPLICABLE DEVELOPMENT STANDARDS. OBJECTIVE DEVELOPMENT STANDARDS SUCH AS SETBACKS, FLOOR AREA RATIO, AND HEIGHT LIMITATIONS, WHILE NOT DEFINING THE MAXIMUM DENSITY RANGE PER SE, CAN BE UTILIZED TO DETERMINE THE IMPLICIT RESIDENTIAL DENSITY ALLOWED. IN THIS APPROACH, A PROJECT DEFINES THE APPLICABLE RESIDENTIAL DENSITY FOR ITSELF BASED ON MEETING APPLICABLE DEVELOPMENT STANDARDS. THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE BASE DENSITY PROJECT MUST BE EQUAL TO OR GREATER THAN THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE DENSITY BONUS PROJECT.

BASE DENSITY UNITS MODELED PER OBJECTIVE STANDARDS:

- LEVEL ONE UNITS: 25 FDU UNITS, 1 NON-FDU UNITS
- LEVEL TWO UNITS: 20 FDU UNITS, 21 NON-FDU UNITS
- LEVEL THREE UNITS: 32 FDU UNITS, 14 NON-FDU UNITS

TOTAL BASE DENSITY: 113 UNITS

AVERAGE UNIT SIZE: 473.9 GSF

□ = FDU UNIT, 391.6 GSF AVERAGE

■ = NON-FDU UNIT, 648.5 GSF AVERAGE

BASE DENSITY GROSS BUILDING AREAS:

LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE	COMMERCIAL	TOTALS
LEVEL 1	10,100 SF	3,358 SF	3,289 SF	2,271 SF	1,930 SF	4,386 SF	25,384 SF
LEVEL 2	21,834 SF	4,344 SF	0 SF	0 SF	0 SF	0 SF	26,178 SF
LEVEL 3	21,611 SF	4,348 SF	0 SF	0 SF	0 SF	0 SF	25,979 SF
ROOF	0 SF	346 SF	0 SF	0 SF	0 SF	0 SF	346 SF
GRAND TOTALS	53,594 SF	12,416 SF	3,289 SF	2,271 SF	1,930 SF	4,386 SF	77,886 SF

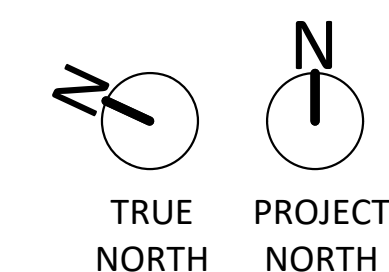
REQUIRED/ALLOWED PROPOSED

TOTAL SITE AREA:	32,062 SF (0.74 AC)	
FAR:	2.75	2.42
BUILDING AREA:	88,170.5 SF	77,886
BUILDING HEIGHT:	40' - 0" OR 45' - 0" IF MIXED USE PER SCMC 24.12.750(1)(A)	35' - 0"
STORIES:	3	3

RESIDENTIAL AMENITIES PROVIDED:

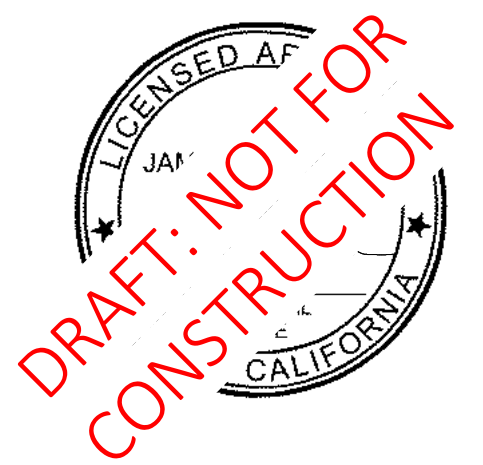
	REQUIRED/ALLOWED	PROPOSED
COMMON OPEN SPACE PER DU: SCMC 24.10.750(D)	35 x 80 SF = 2,800 SF	5,320 SF
PRIVATE OPEN SPACE PER DU: SCMC 24.10.750(D)	35 x 40 SF = 1,400 SF	1,407 SF
COMMON OPEN SPACE PER FDU: SCMC 24.12.1530(1)	78 x 150 SF = 11,700 SF	14,992 SF
COMMON INDOOR SPACE PER FDU: SCMC 24.12.1530	200 SF MIN	2,437 SF
PRIVATE OPEN SPACE ALL UNITS: SCMC 24.12.185(B)(A)(I)	113 x 40 SF = 4,520 SF	4,544 SF
COMMON OPEN SPACE ALL UNITS: SCMC 24.12.185(B)(A)(I)	113 x 20 SF = 2,260 SF	17,180 SF
BICYCLE PARKING SPACES: (SCMC 24.12.1520.6)	113 CLASS-1	118 CLASS-1
STORAGE FACILITIES: (SCMC 24.12.1520.5)	200 CUFT / UNIT	200 CUFT / UNIT

SEE AP SHEETS FOR PROPOSED BUILDING



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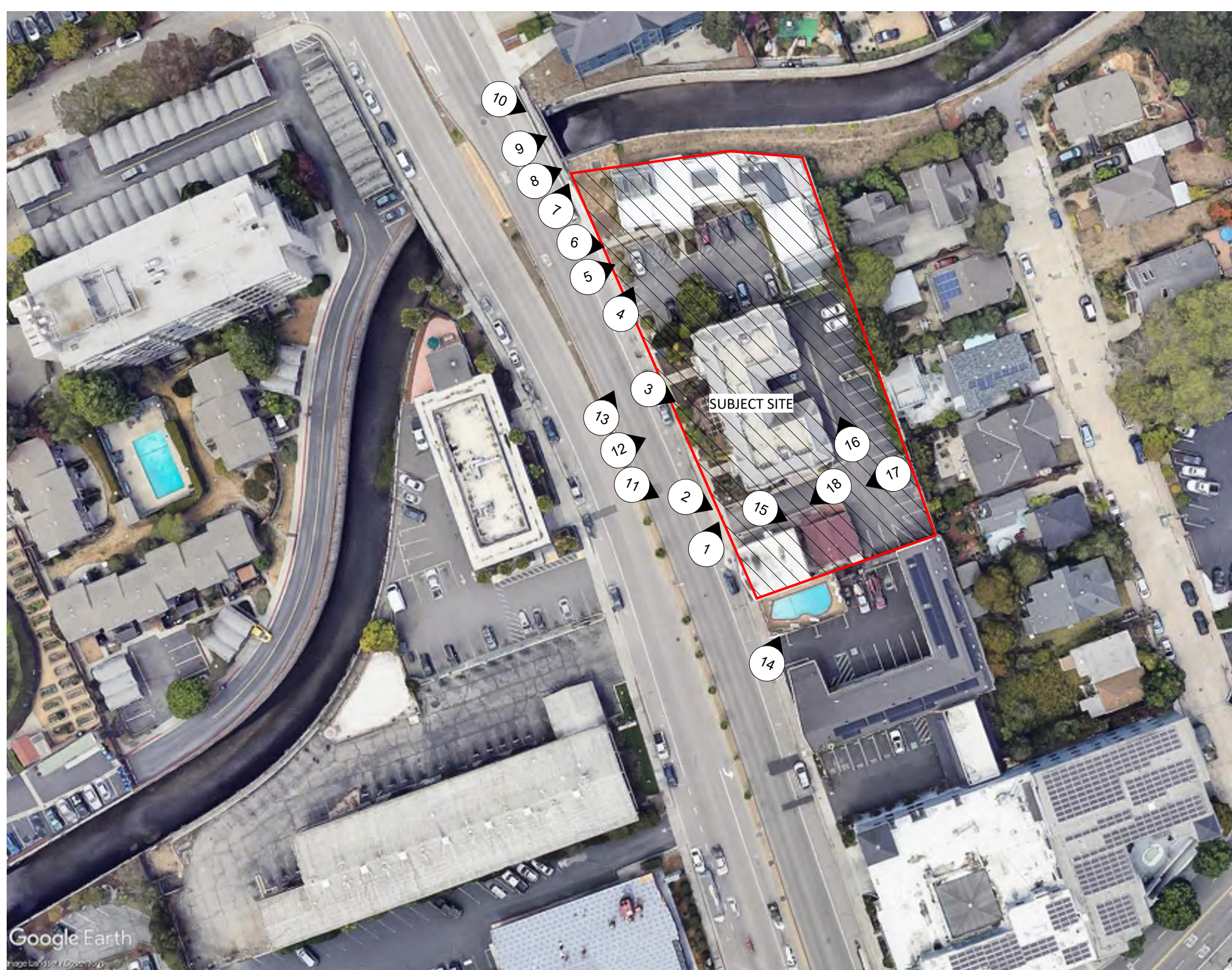
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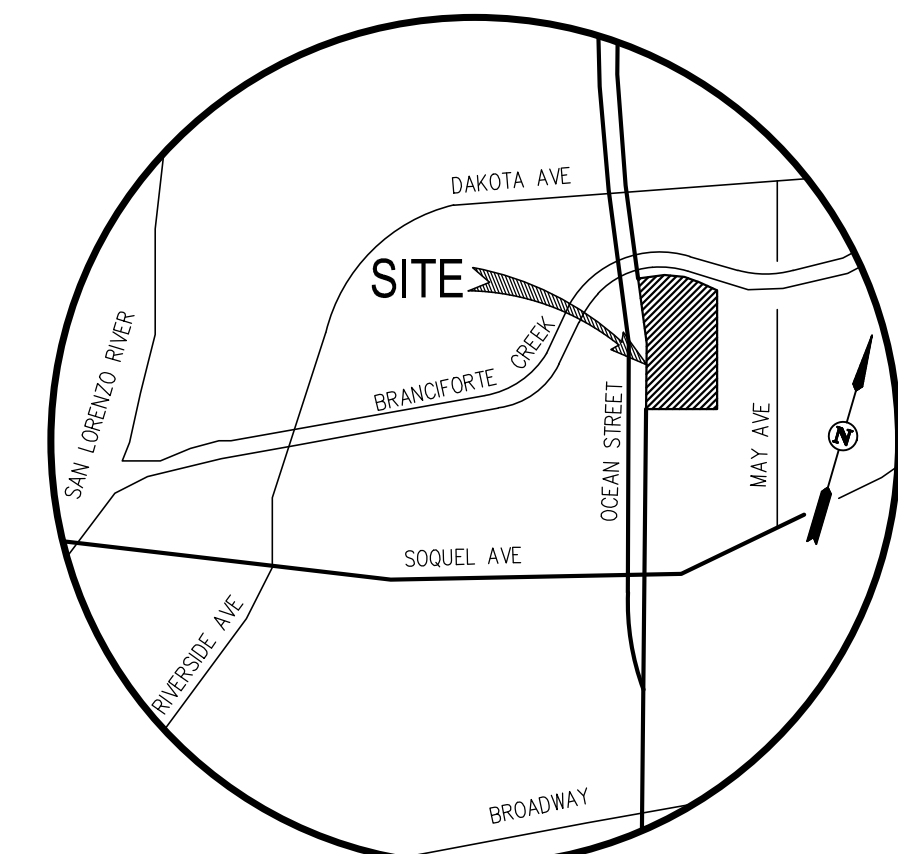
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EXISTING SITE PHOTOS
GPO.10



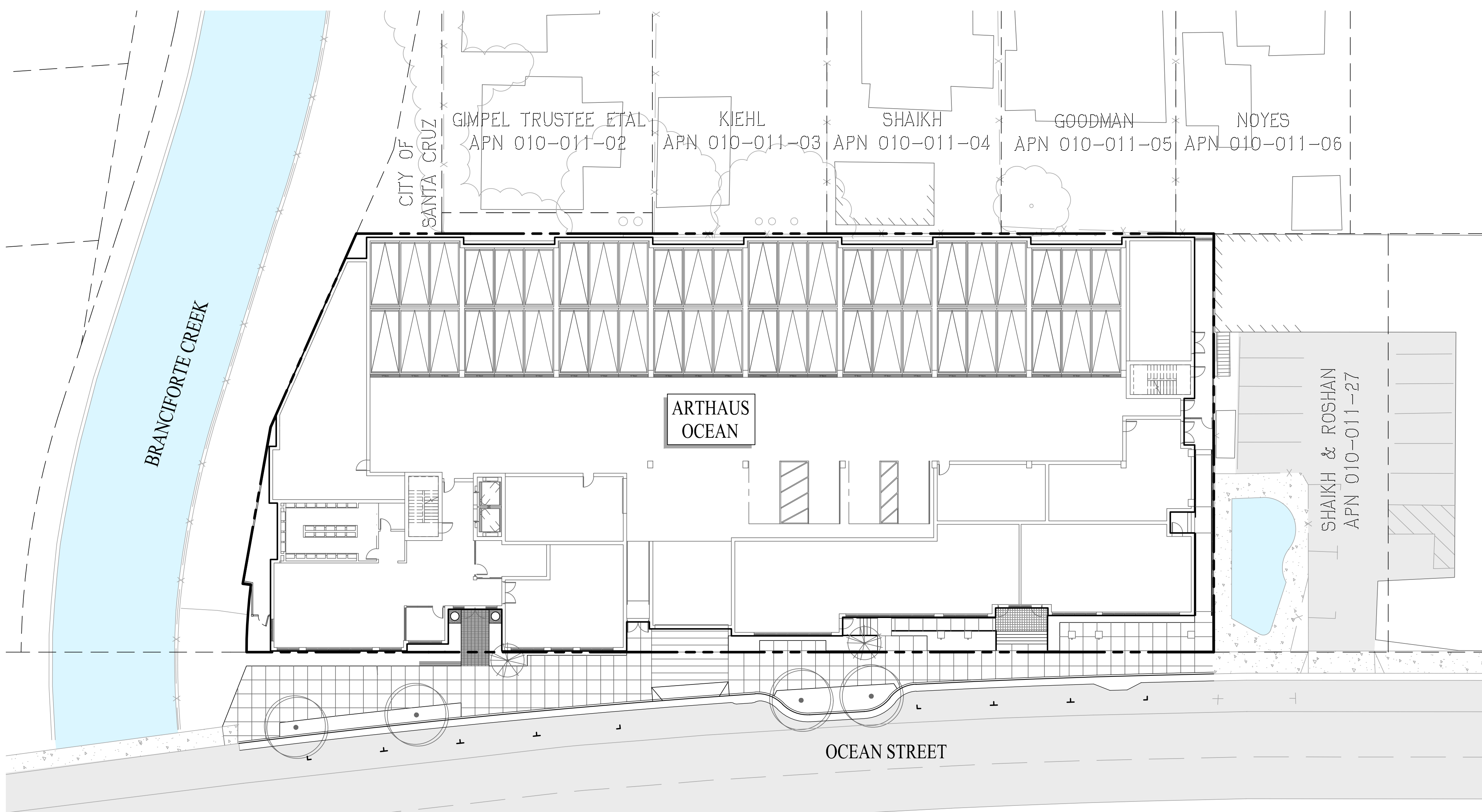
VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

1. APPLICANT: RIAZ CAPITAL
2744 E 11TH STREET
OAKLAND, CA 94601
2. ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
ANGELO OBERTELLO, R.C.E. NO. 64345
PHONE: (925) 866-0322
3. LAND AREA: 0.74 ACRES±
4. PROPOSED LOTS: 1 LOT
5. TOTAL RESIDENTIAL UNITS: 225 UNITS
6. EXISTING ZONING: C-C (COMMUNITY COMMERCIAL)
7. EXISTING GENERAL PLAN LAND USE: MXVC (MIXED USE VISTOR COMMERCIAL)
8. UTILITIES:
SEWER: CITY OF SANTA CRUZ
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (PG&E)
TELEPHONE: AT&T
CABLE TV: COMCAST
CITY OF SANTA CRUZ
GARBAGE: CITY OF SANTA CRUZ
WATER: CITY OF SANTA CRUZ
7. APN: 010-011-16, 010-011-30, 010-011-31
8. FEMA FLOOD ZONE: ZONE AE: SPECIAL FLOOD HAZARD AREA, BASE FLOOD ELEVATIONS DETERMINED (ELEV. 24')

FLOOD INSURANCE RATE MAP NO. 0608700332E
DATED MAY 16, 2012.
9. RECIPROCAL UTILITY AND ACCESS EASEMENTS WILL BE EXECUTED CONCURRENTLY WITH RECORDING OF THE FINAL MAP.
10. BENCHMARK: THE BENCHMARK IS A VERTICAL CONTROL DISK STAMPED "C 1455 1990" AT THE INTERSECTION OF RIVER AND WATER STREETS IN THE EAST END OF THE CONCRETE ABUTMENT WALKWAY OF WATER STREET BRIDGE SPANNING THE LORENZO RIVER AND LEVEL WITH WATER STREET, HAVING NGS DESIGNATION C 1455.

ELEV. 29.49 FT (NAVD 88)
11. BASIS OF BEARINGS: THE BASIS OF BEARING FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS "COMPASS" AND "DT13" PER RECORD OF SURVEY THE CITY OF SANTA CRUZ GPS SURVEY CONTROL NETWORK (92 M 30). THE BEARING BEING N24°24'32"W.



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.1	COVER SHEET
△ C0.2	A.L.T.A. SURVEY
C0.3	DETAILS
C1.1	EXISTING CONDITIONS
C1.2	DEMOLITION PLAN
C2.1	SITE PLAN
C3.1	GRADING PLAN
C3.2	GRADING SECTIONS & DETAILS
C4.1	UTILITY PLAN
△ C5.1	STORMWATER CONTROL PLAN
△ C6.1	FIRE ACCESS PLAN

COVER SHEET

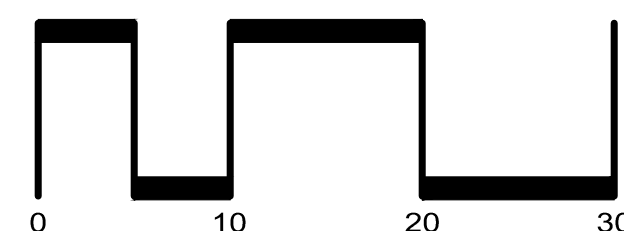
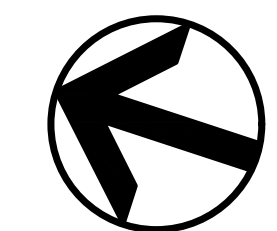
ARTHAUS OCEAN

CITY OF SANTA CRUZ SANTA CRUZ COUNTY CALIFORNIA
SCALE: 1"=10' DATE: JANUARY 22, 2025



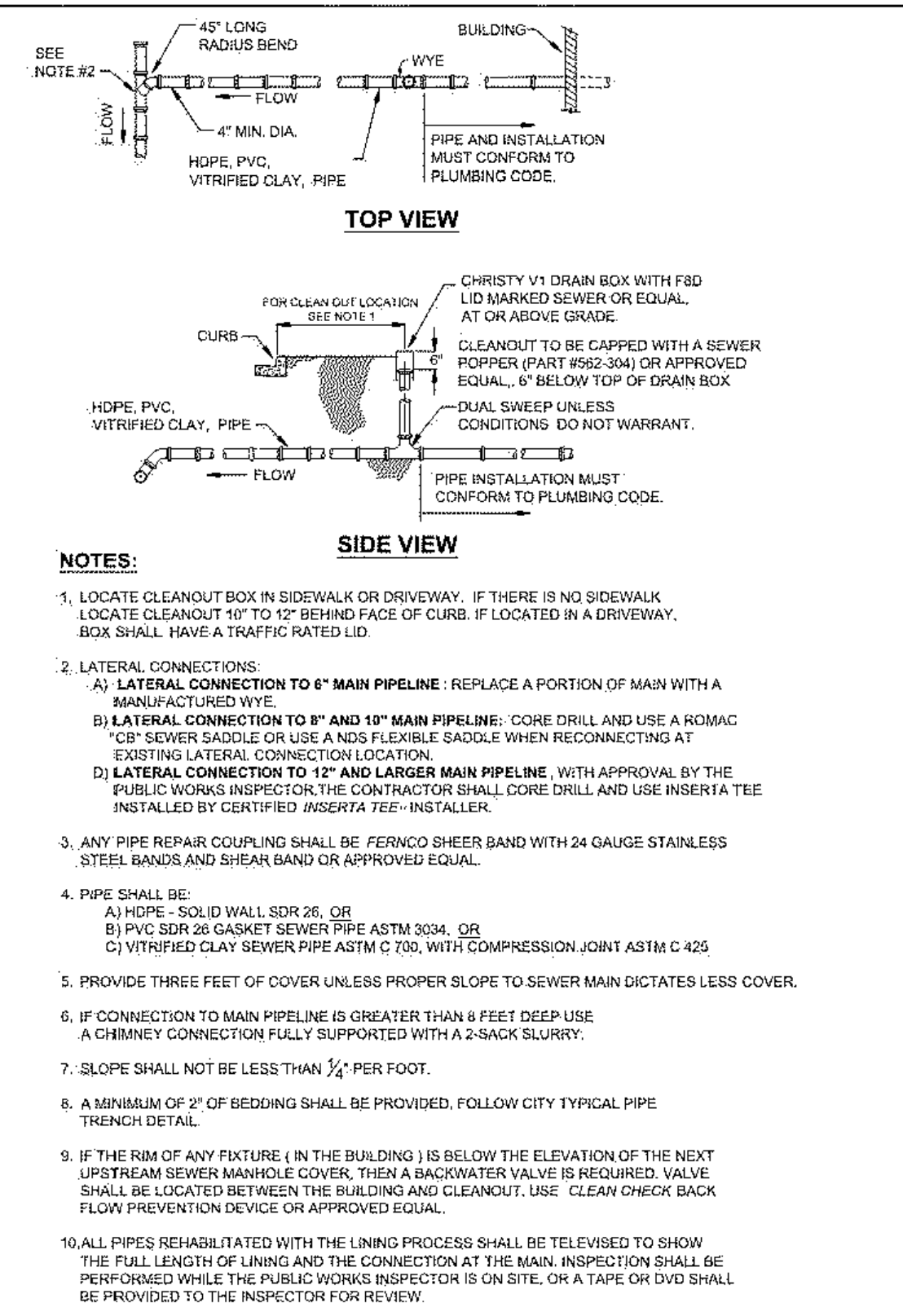
REVISIONS

△	PLANNING REV-01	11.01.2024
△	PLANNING REV-02	01.22.2025

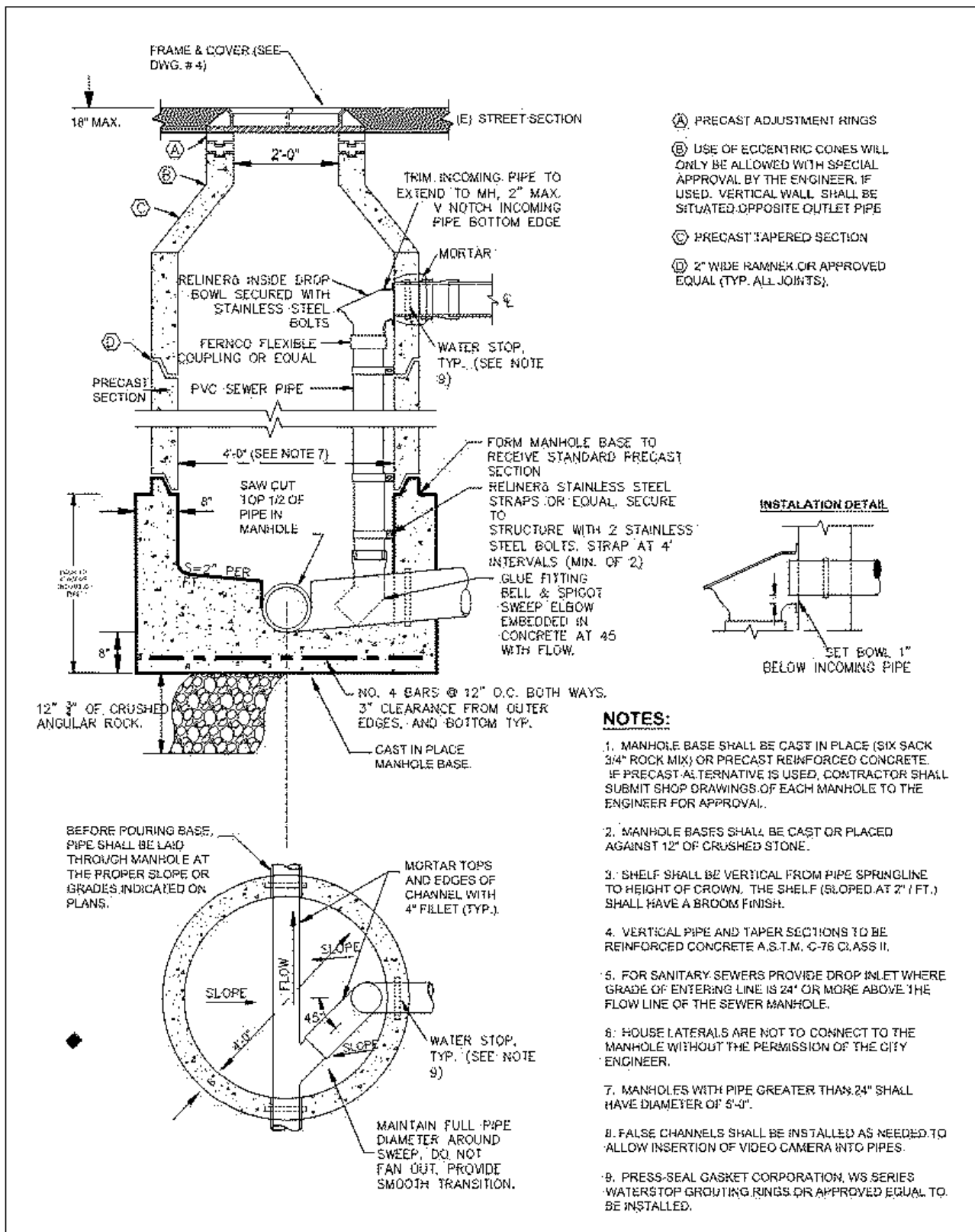


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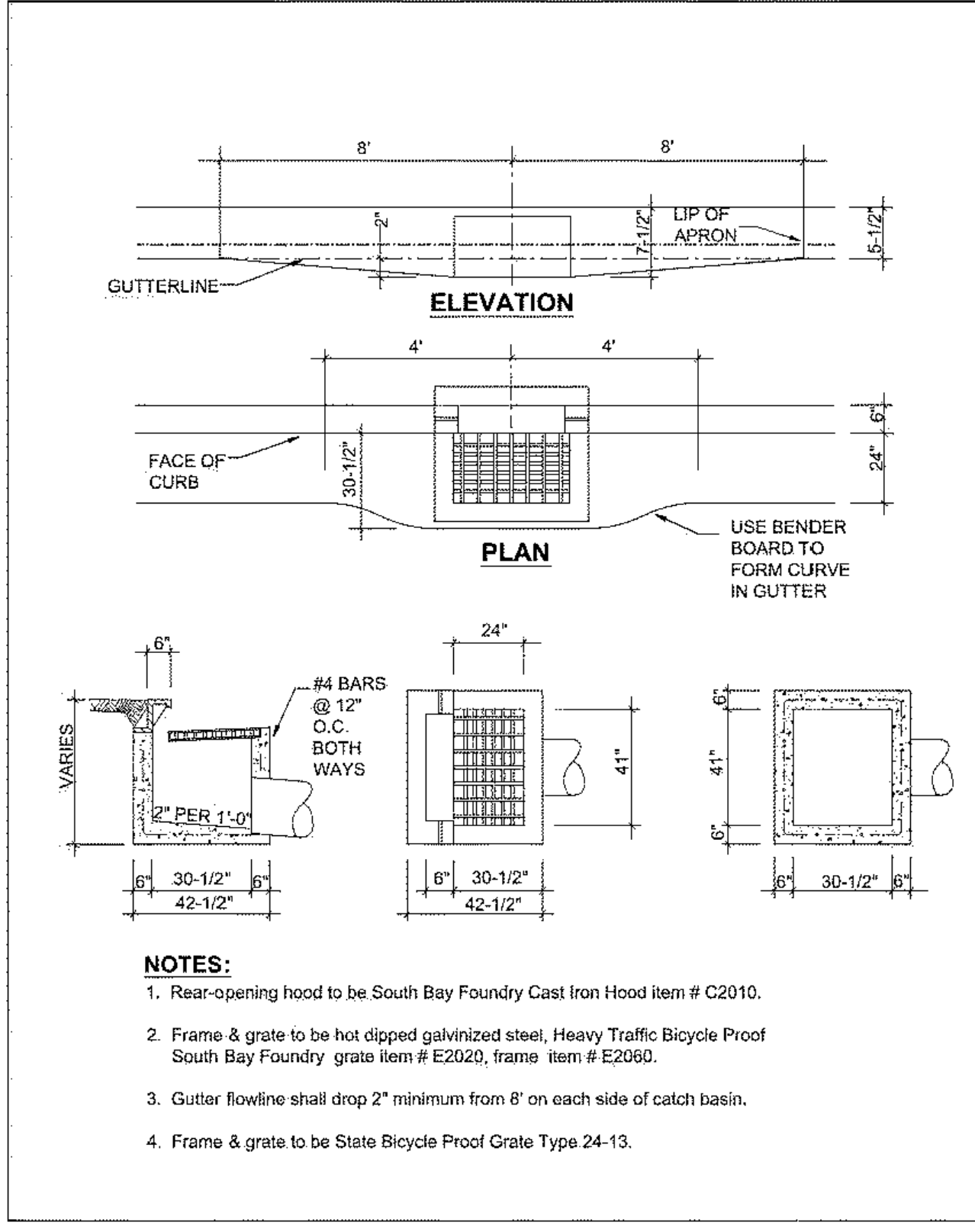
SHEET NO.
C0.1



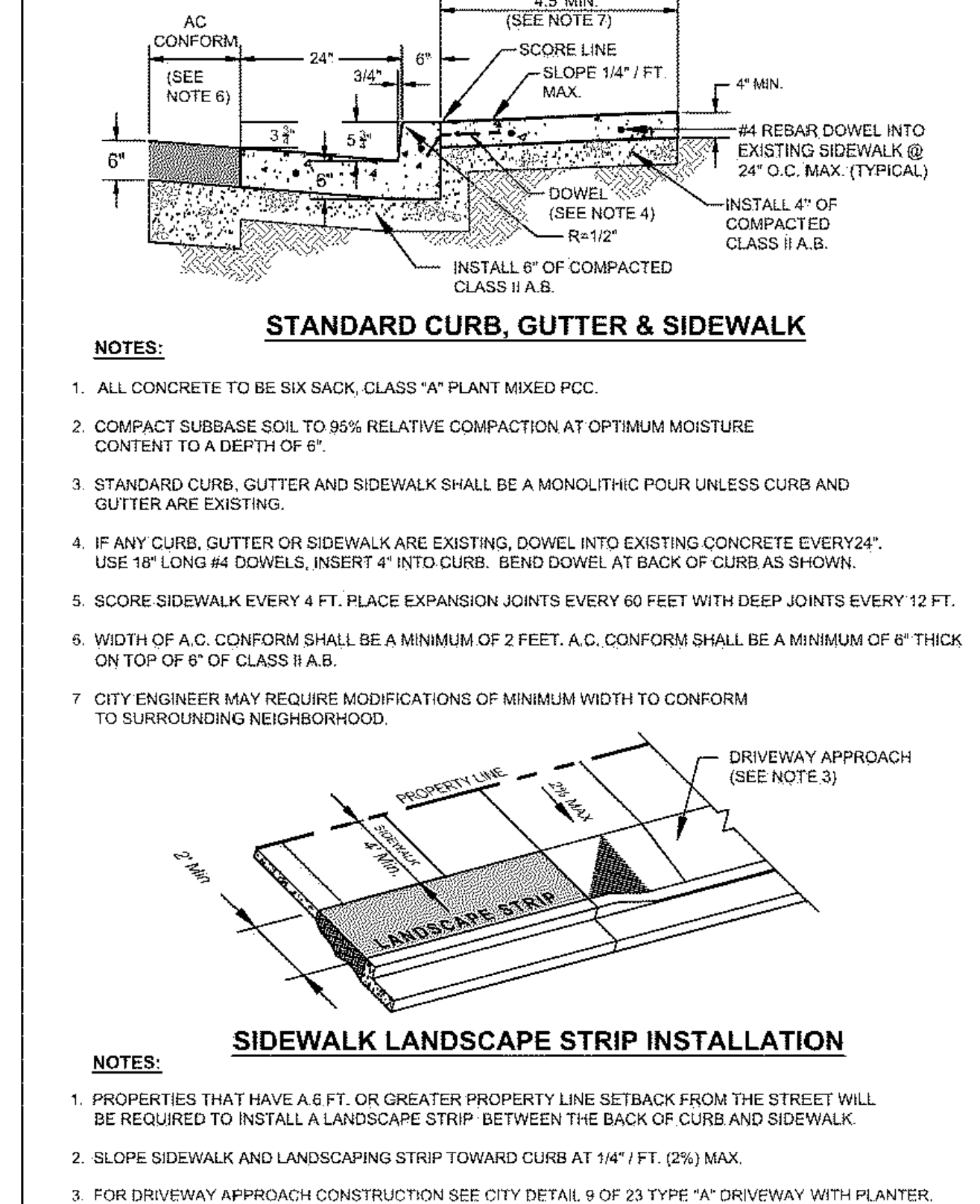
CITY OF SANTA CRUZ
SEWER LATERAL
 DATE: AUGUST 2009
 SCALE: NONE
 DWG NO. 2 OF 20



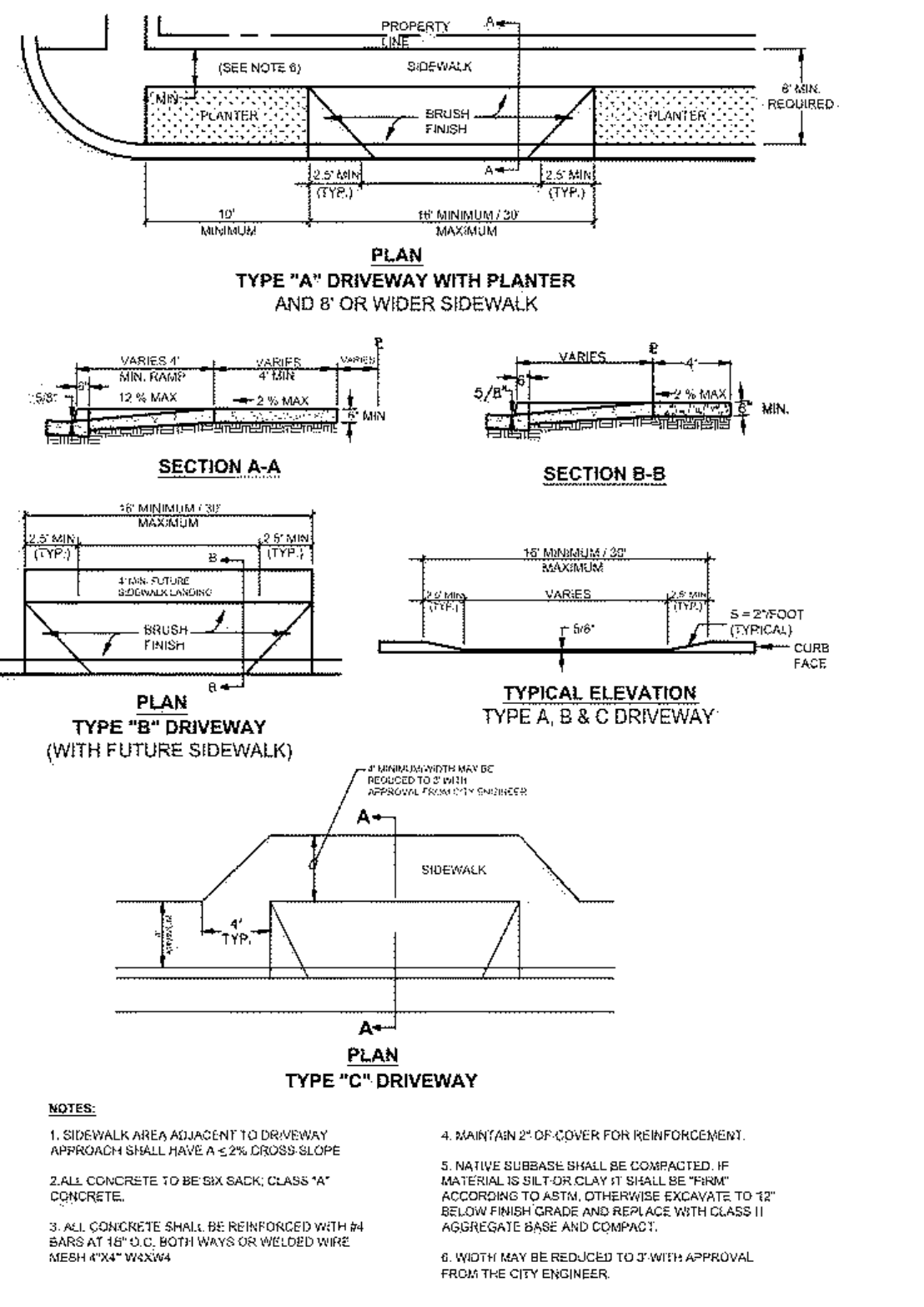
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STANDARD MANHOLE
 DATE: FEBRUARY 2011
 SCALE: NONE
 DWG NO. 3 OF 20



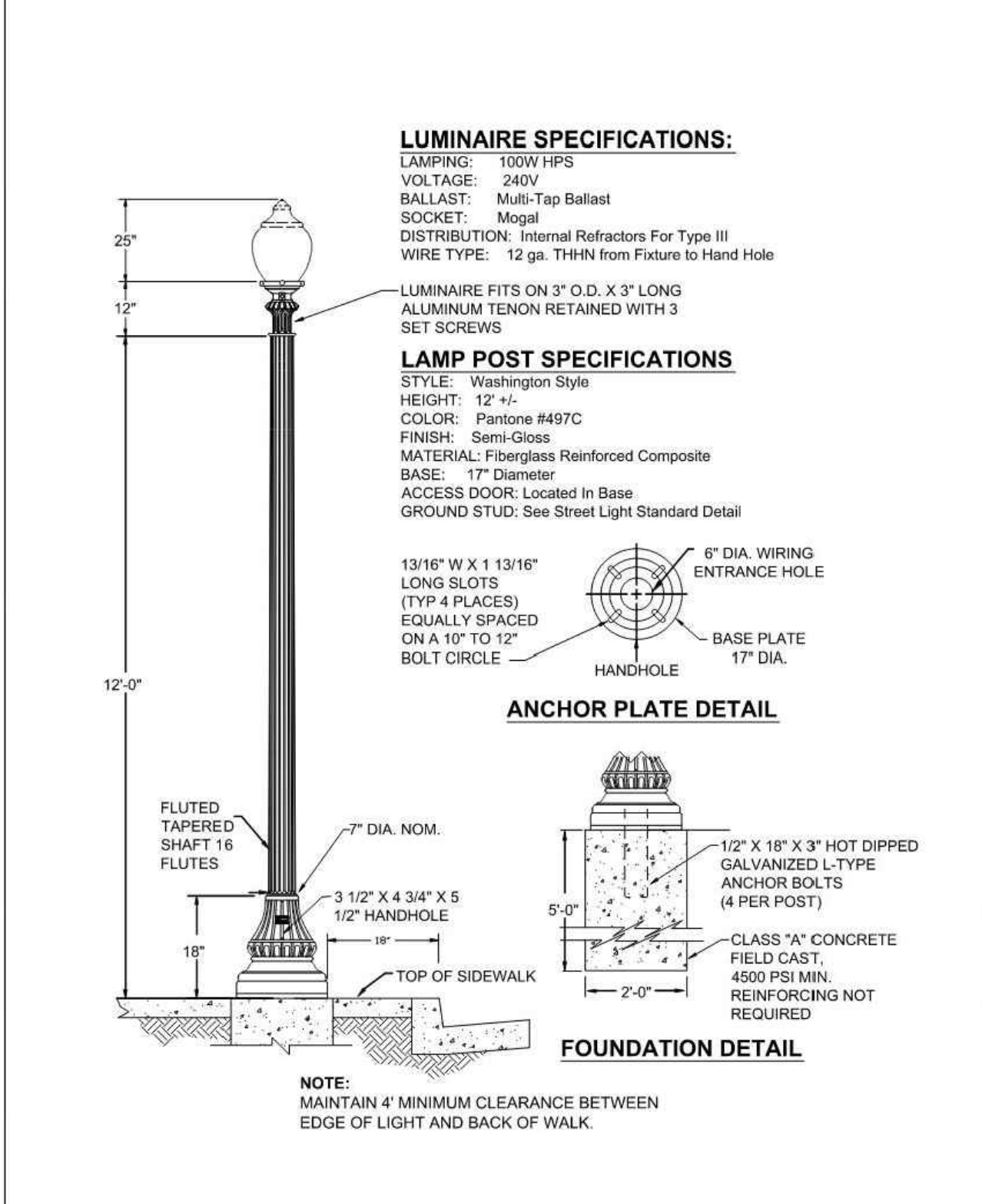
CITY OF SANTA CRUZ
CATCH BASIN (TYPE B)
 DATE: APRIL 2003
 SCALE: NONE
 DWG NO. 6 OF 20



CITY OF SANTA CRUZ
CURB, GUTTER AND SIDEWALK
 DATE: MARCH 2011
 SCALE: NONE
 DWG NO. 8 OF 20



CITY OF SANTA CRUZ
DRIVEWAY APPROACH
 DATE: APRIL 2003
 SCALE: NONE
 DWG NO. 9 OF 20



CITY OF SANTA CRUZ
DECORATIVE STREET LIGHTING
 DATE: APRIL 2003
 SCALE: NONE
 DWG NO. 17 OF 20

DETAILS

ARTHAUS OCEAN

CITY OF SANTA CRUZ SANTA CRUZ COUNTY CALIFORNIA
 NOT TO SCALE DATE: JANUARY 22, 2025

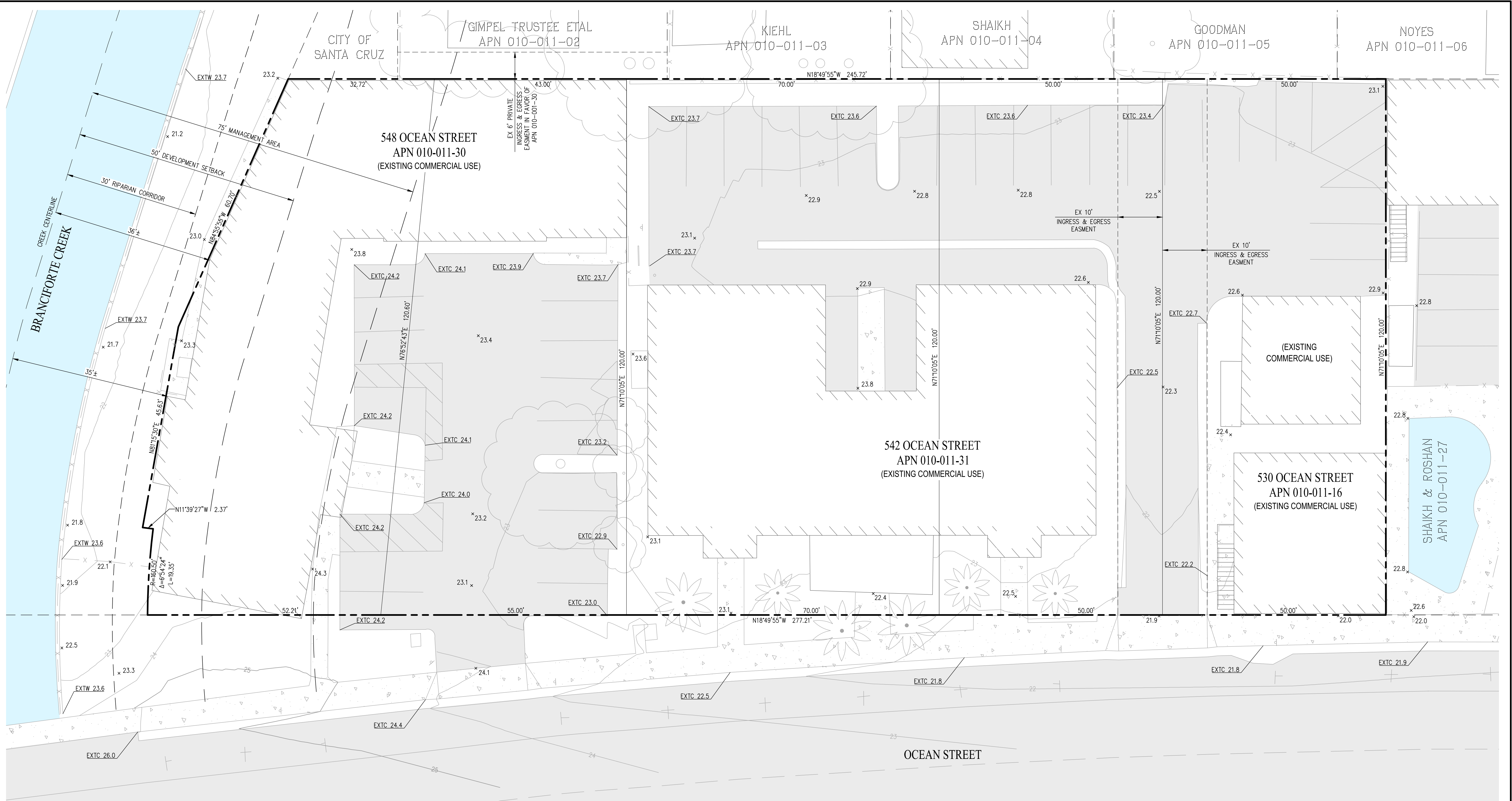
REVISIONS

△	PLANNING REV-01	11.01.2024
△	PLANNING REV-02	01.22.2025

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SHEET NO. **C0.3**



LEGEND

- PROJECT BOUNDARY
- ADJACENT PROPERTY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING FENCE
- EXISTING PAVEMENT
- EXISTING CONCRETE

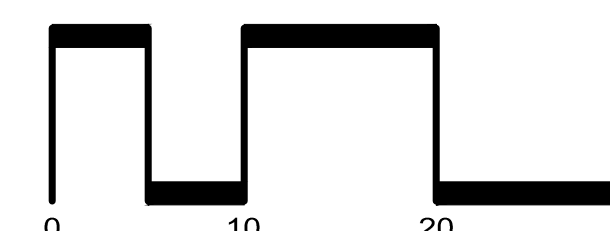
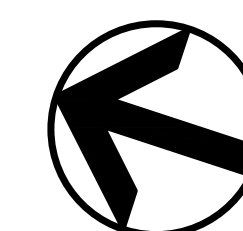
REVISIONS

- PLANNING REV-01 11.01.2024
- PLANNING REV-02 01.22.2025

EXISTING CONDITIONS

ARTHAUS OCEAN

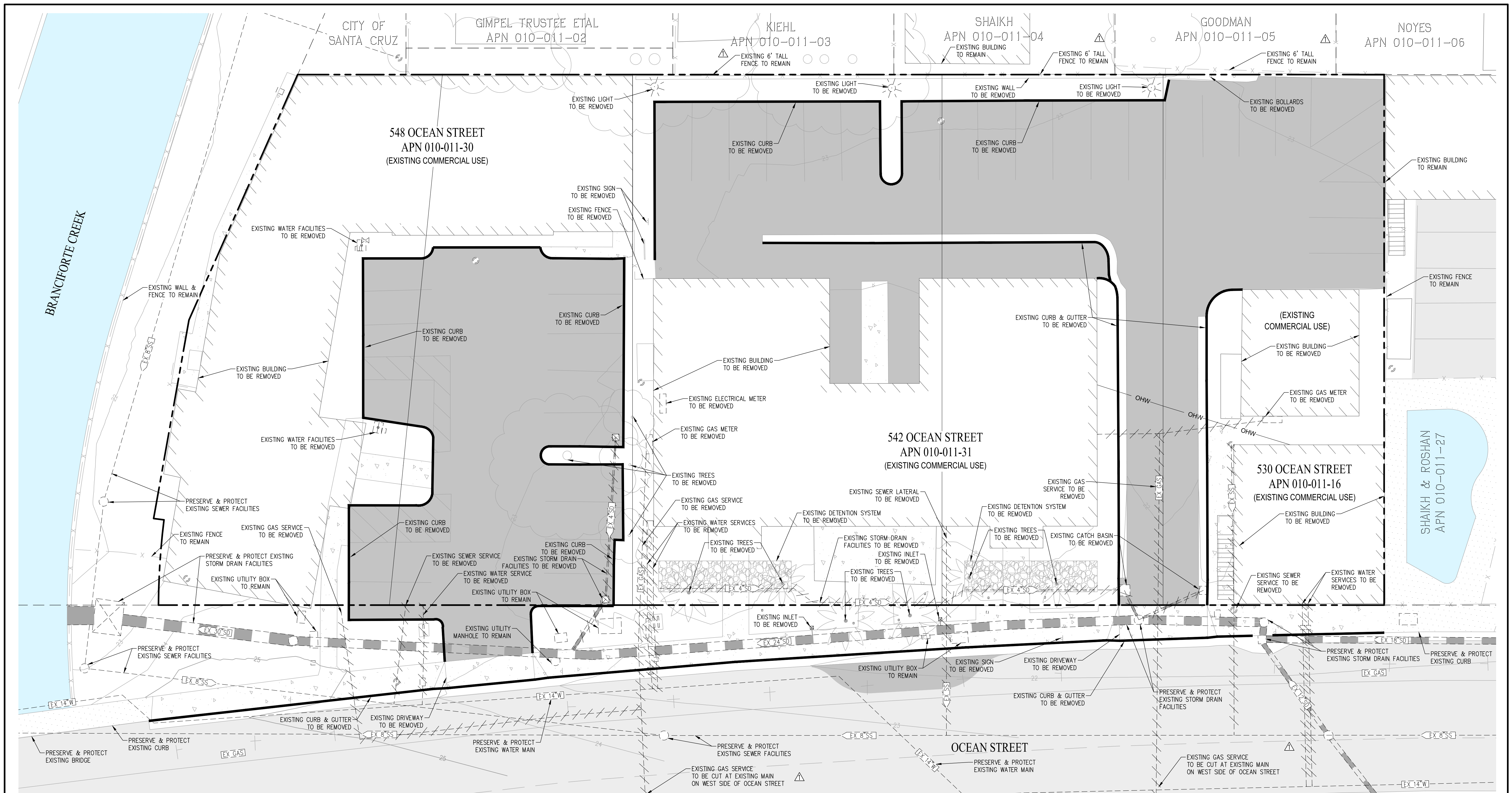
CITY OF SANTA CRUZ SANTA CRUZ COUNTY CALIFORNIA
 SCALE: 1"=10' DATE: JANUARY 22, 2025



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SHEET NO.

C1.1



NOTES

- SEE LANDSCAPE PLAN FOR ADDITIONAL TREE REMOVAL NOTES.
- EXISTING SEWER LATERALS TO BE REMOVED AND ABANDONED AT THE SEWER MAIN BY METHOD OF FACTORY CAP OR MECHANICAL PLUG

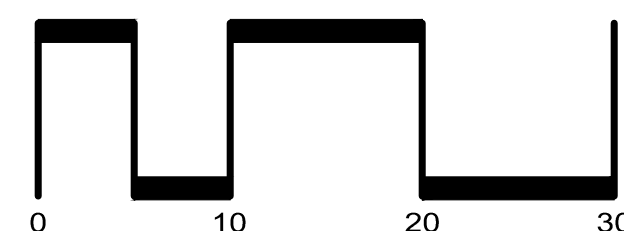
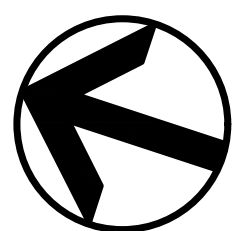
LEGEND

	PROJECT BOUNDARY
	ADJACENT PROPERTY LINE
	EXISTING LOT LINE
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING GAS
	EXISTING UTILITY TO BE REMOVED
	EXISTING CURB & GUTTER TO BE REMOVED
	EXISTING FENCE

	EXISTING PAVEMENT TO BE REMOVED
	EXISTING PAVEMENT TO REMAIN
	EXISTING CONCRETE TO BE REMOVED
	EXISTING CONCRETE TO REMAIN

REVISIONS

	PLANNING REV-01	11.01.2024
	PLANNING REV-02	01.22.2025



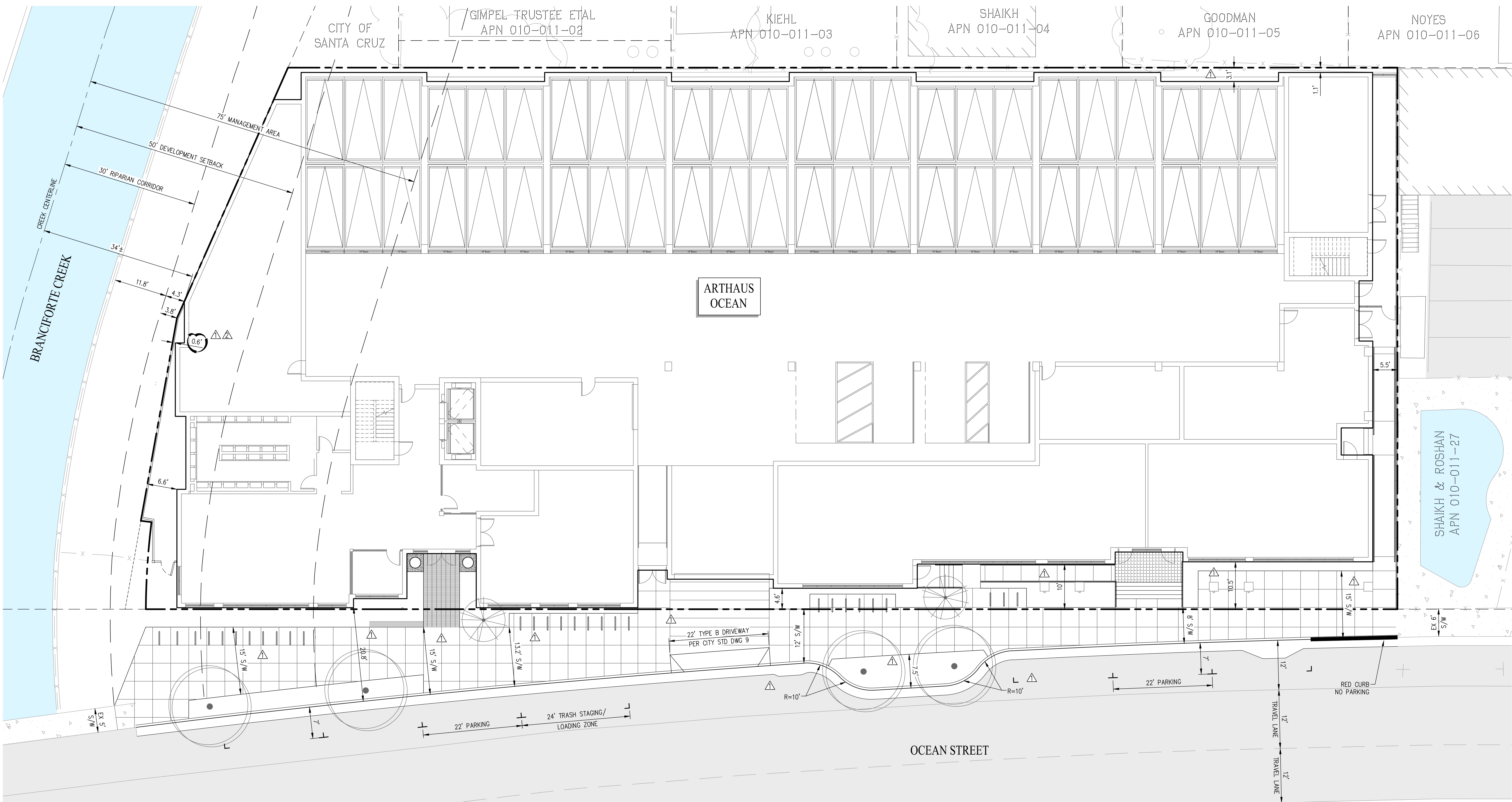
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SHEET NO.
C1.2

DEMOLITION PLAN

ARTHAUS OCEAN

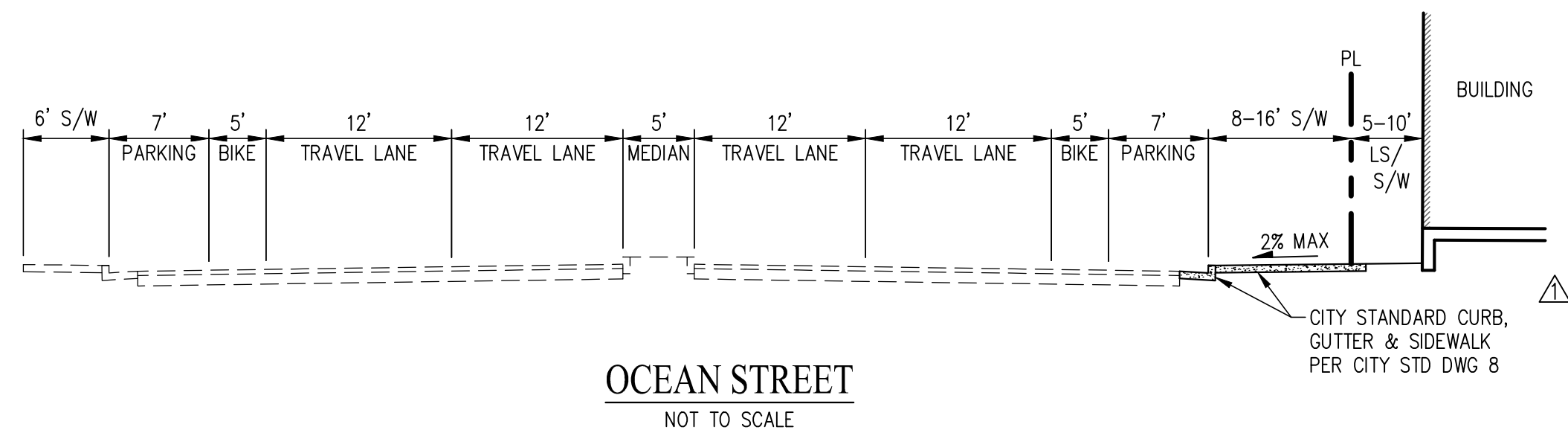
CITY OF SANTA CRUZ SANTA CRUZ COUNTY CALIFORNIA
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ARTHHAUS
OCEAN

SHAIKH & ROSHAN
APN 010-011-27

OCEAN STREET



OCEAN STREET
NOT TO SCALE

LEGEND

- PROJECT BOUNDARY
- ADJACENT PROPERTY LINE
- TOP OF CURB
- EXISTING PAVEMENT TO REMAIN

NOTE

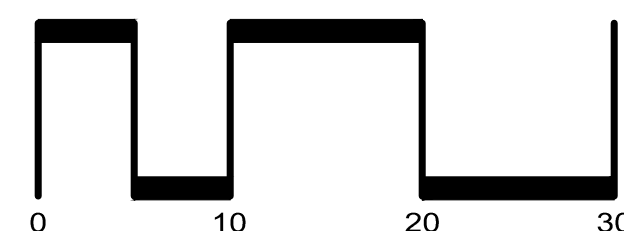
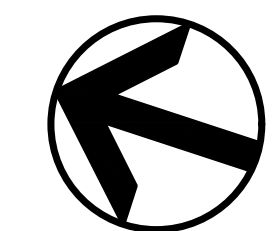
THE DRIVEWAY DEPARTURE SIGHT DISTANCE SHALL COMPLY WITH THE CURRENT AASHTO GREEN BOOK GUIDELINES.

REVISIONS

- PLANNING REV-01 11.01.2024
- PLANNING REV-02 01.22.2025

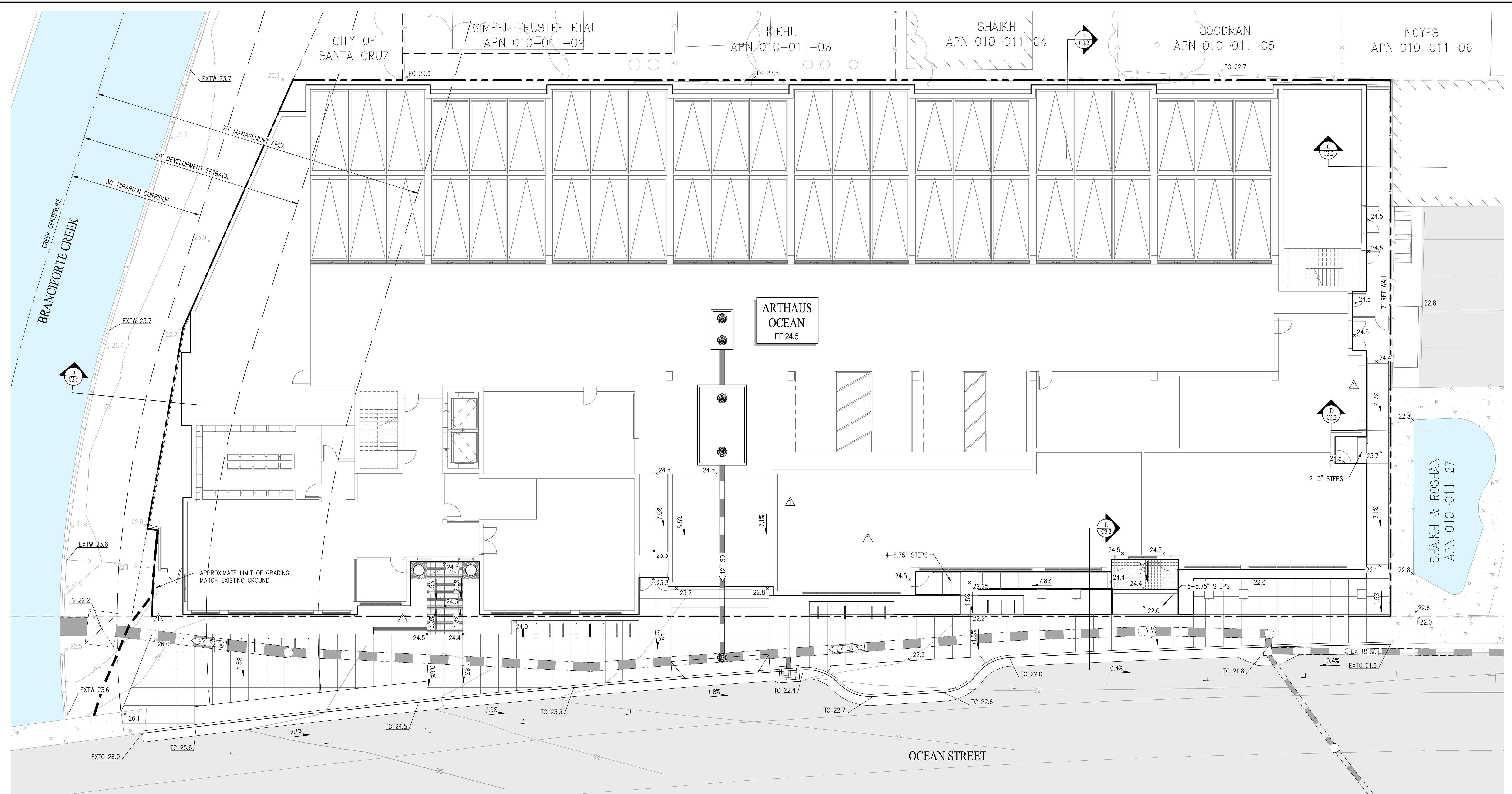
SITE PLAN
ARTHHAUS OCEAN

CITY OF SANTA CRUZ SANTA CRUZ COUNTY CALIFORNIA
SCALE: 1"=10' DATE: JANUARY 22, 2025



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SHEET NO.
C2.1



PRELIMINARY EARTHWORK SUMMARY			
	CUT	FILL	NET VOLUME
RAW EARTHWORK	90 CY±	680 CY±	590 CY± (FILL)
EXISTING PAVEMENT/FOUNDATION REMOVAL (ASSUME 8" THICK)	-	640 CY±	640 CY± (FILL)
TOTAL	90 CY±	1,320 CY±	1,230 CY± (FILL)

NOTE
 THE PROJECT SITE IS WITHIN THE FEMA FLOOD ZONE PER GENERAL NOTE 8 ON SHEET C0.1. THE BASE FLOOD ELEVATION IS 24.0 AND THE PROPOSED BUILDING ELEVATION IS 24.5 TO RAISE THE BUILDING ABOVE THE FLOOD ELEVATION.

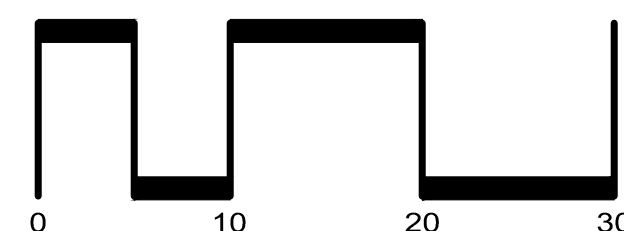
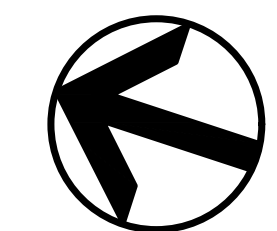
- LEGEND**
- PROJECT BOUNDARY
 - ADJACENT PROPERTY LINE
 - TOP OF CURB
 - EXISTING PAVEMENT TO REMAIN
 - MEDIA FILTER

- REVISIONS**
- △ PLANNING REV-01 11.01.2024
 - △ PLANNING REV-02 01.22.2025

GRADING PLAN

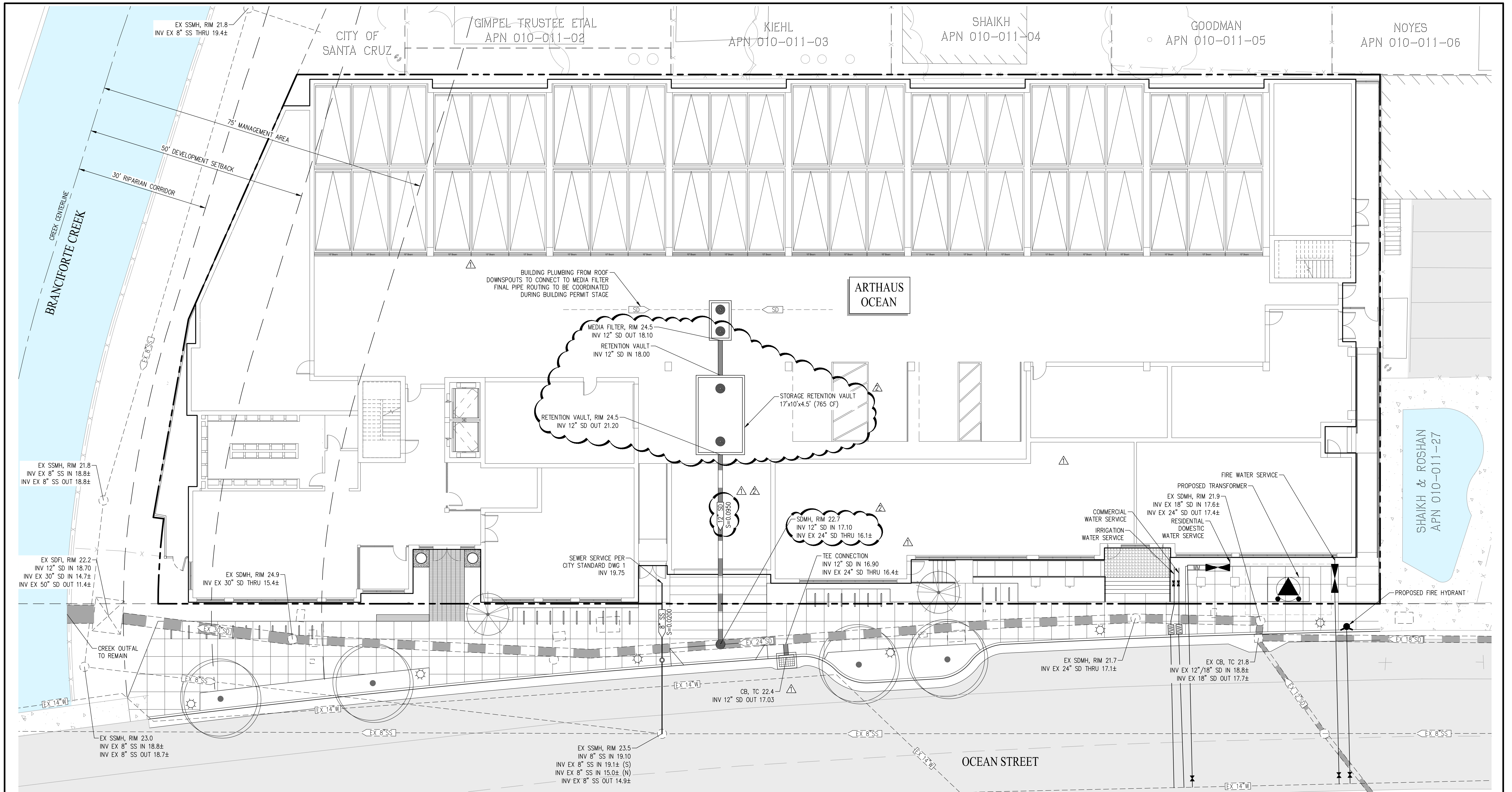
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SHEET NO.
C3.1



LEGEND

	PROJECT BOUNDARY		EXISTING MANHOLE
	ADJACENT PROPERTY LINE		EXISTING CATCH BASIN
	PROPOSED STORM DRAIN		PROPOSED CLEANOUT
	PROPOSED SANITARY SEWER		PROPOSED MANHOLE
	EXISTING STORM DRAIN		PROPOSED STREET LIGHT
	EXISTING SANITARY SEWER		EXISTING PAVEMENT TO REMAIN
	EXISTING WATER		MEDIA FILTER

NOTES

- THE WATER MAIN ALIGNMENT IS PER THE SCMD WATER FACILITIES MAP.
- THE PROPOSED STREET LIGHTS SHALL BE INSTALLED PER CITY STANDARD DWG 17. THE FINAL LIGHT LOCATIONS WILL BE DETERMINED DURING THE BUILDING PERMIT STAGE.
- THE STORAGE VAULT FOOTPRINT WILL BE DETERMINED DURING THE BUILDING PERMIT STAGE BUT THE REQUIRED VOLUME WILL BE MAINTAINED.

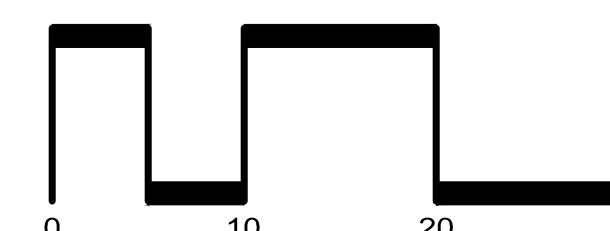
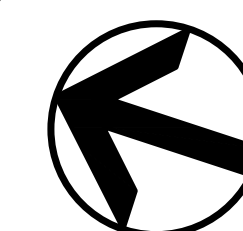
REVISIONS

	PLANNING REV-01	11.01.2024
	PLANNING REV-02	01.22.2025

UTILITY PLAN

ARTHAUS OCEAN

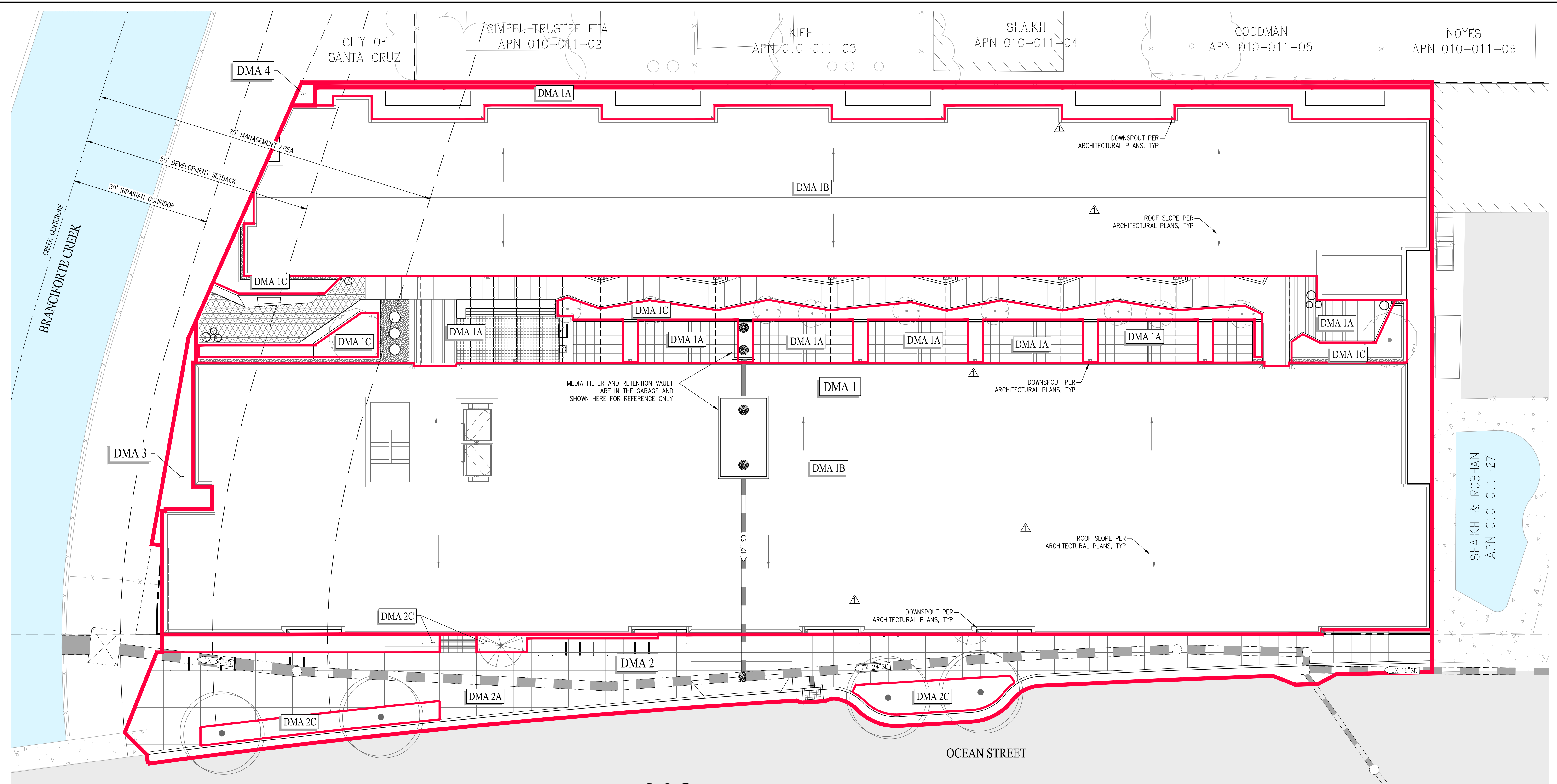
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SCALE: 1"=10' DATE: JANUARY 22, 2025



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SHEET NO.

C4.1



DMA SUMMARY TABLE

DMA #	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	REQUIRED TREATMENT FLOW (CFS)	PROVIDED TREATMENT FLOW (CFS)
1	31,557	30,012	1,545	0.11	0.16
2	4,762	4,062	700	0.02	
3	200	0	200	N/A	N/A
4	281	0	281	N/A	N/A
TOTAL	36,800	34,074	2,726	0.13	0.16

- NOTES**
- SEE SHEET C3.2 FOR MEDIA FILTER DETAILS.
 - ALL ROOF DRAINAGE WILL BE ROUTED FROM THE DOWNSPOUTS THROUGH THE BUILDING PLUMBING TO THE MEDIA FILTER.
 - DMA 2 INCLUDES THE OFF-SITE SIDEWALK THAT IS BEING REMOVED AND REPLACED. THE MEDIA FILTER IN DMA 1 HAS BEEN SIZED TO PROVIDE IN-LIEU TREATMENT FOR THE DMA 2 AREA.
 - 10 PERCENT OF THE PROJECTS EQUIVALENT IMPERVIOUS AREA HAS BEEN FACTORED INTO THE MEDIA FILTER SIZING.
 - DMA 3 & 4 ARE SELF-TREATING AREAS.

SUB-DMA TABLE

DMA #	TOTAL AREA (SF)	SUB-DMA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)
1	31,557	1A	4,977	0
		1B	25,035	0
		1C	0	1,545
2	4,762	2A	4,062	0
		2C	0	700
3	200		0	200
4	281		0	281

- LEGEND**
- PROJECT BOUNDARY
 - - - ADJACENT PROPERTY LINE
 - DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - MEDIA FILTER

TIER 3 RETENTION REQUIREMENTS

EXISTING ON-SITE RETENTION: 364 CF ±
 EXISTING IMPERVIOUS AREA: 30,986 SF
 PROPOSED IMPERVIOUS AREA: 34,074 SF
 ADDITIONAL IMPERVIOUS AREA: 3,088 SF

REQUIRED RETENTION VOLUME USING SIMPLE METHOD
 $VOLUME = C \times RAINFALL\ DEPTH \times TRIBUTARY\ AREA$
 $C = 0.77$
 $RAINFALL\ DEPTH = 2\ IN.$
 $TRIBUTARY\ AREA = 3,088\ SF$
 $VOLUME = 0.77 \times (2' / 12') \times 3,088 = 396\ CF$

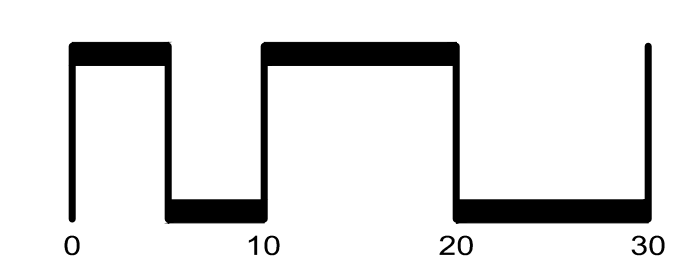
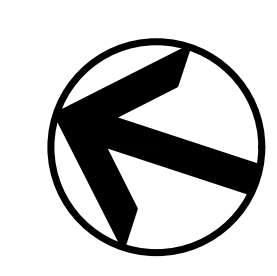
REQUIRED VOLUME = 364 CF + 396 CF = 760 CF
 PROPOSED RETENTION VOLUME = 765 CF

- REVISIONS**
- | | |
|-----------------|------------|
| PLANNING REV-01 | 11.01.2024 |
| PLANNING REV-02 | 01.22.2025 |

STORMWATER CONTROL PLAN

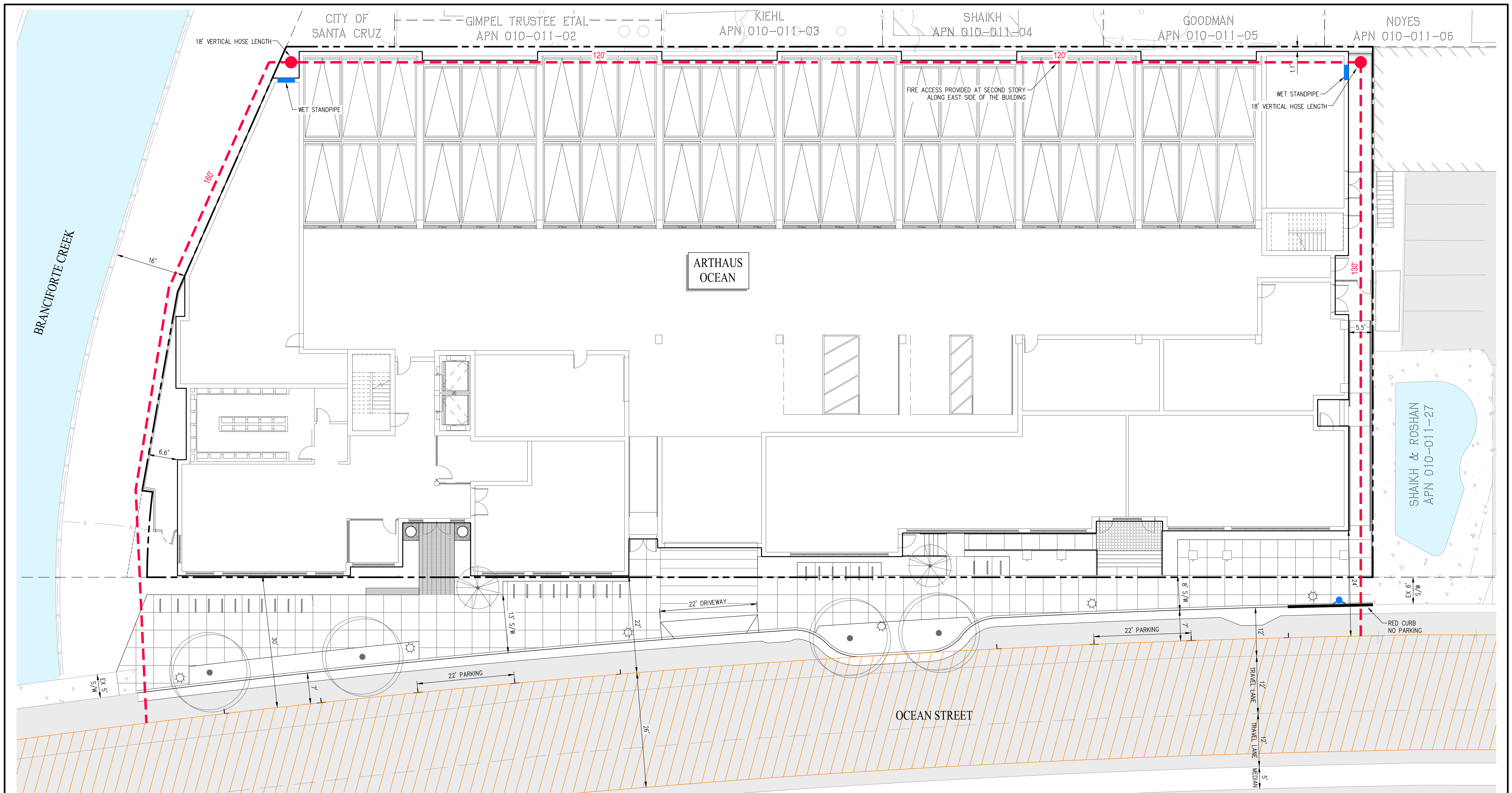
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 SCALE: 1"=10' DATE: JANUARY 22, 2025



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SHEET NO.
C5.1



- LEGEND**
- PROJECT BOUNDARY
 - ADJACENT PROPERTY LINE
 - PROPOSED FIRE HYDRANT
 - HOSE PULL LENGTH
 - FIRE ACCESS ROAD AND STAGING AREA - AERIAL LADDER TRUCK (26' MIN UNOBSTRUCTED CLEAR WIDTH WITHOUT PARKING)

- NOTES**
- THE ROOF EAVE HEIGHT OF THE BUILDING IS GREATER THAN 30 FEET, THEREFORE AN AERIAL FIRE APPARATUS ACCESS ROAD IS LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND POSITIONED PARALLEL TO ONE SIDE OF THE BUILDING PER CA FIRE CODE APPENDIX D.
 - THE PROPOSED BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLIANT WITH CFC SECTION 903.3.
 - WET STANDPIPES WILL BE INSTALLED AT THE REAR OF THE BUILDING AS SHOWN ON THE PLAN TO PROVIDE ADDITIONAL ACCESS TO THE REAR OF THE BUILDING AS AN EXCEPTION TO THE FIRE APPARATUS ACCESS ROAD REQUIREMENTS LISTED IN CFC 503 AND SCMC 19.05.190.

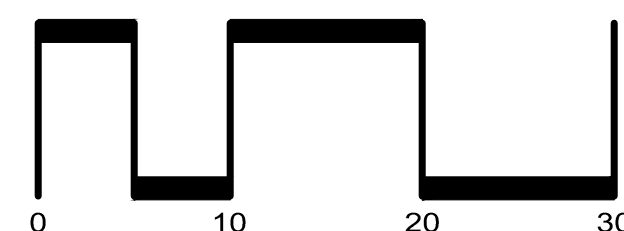
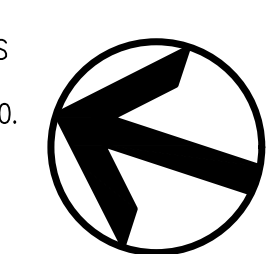
REVISIONS

	PLANNING REV-01	11.01.2024
	PLANNING REV-02	01.22.2025

FIRE ACCESS PLAN

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SHEET NO.
C6.1



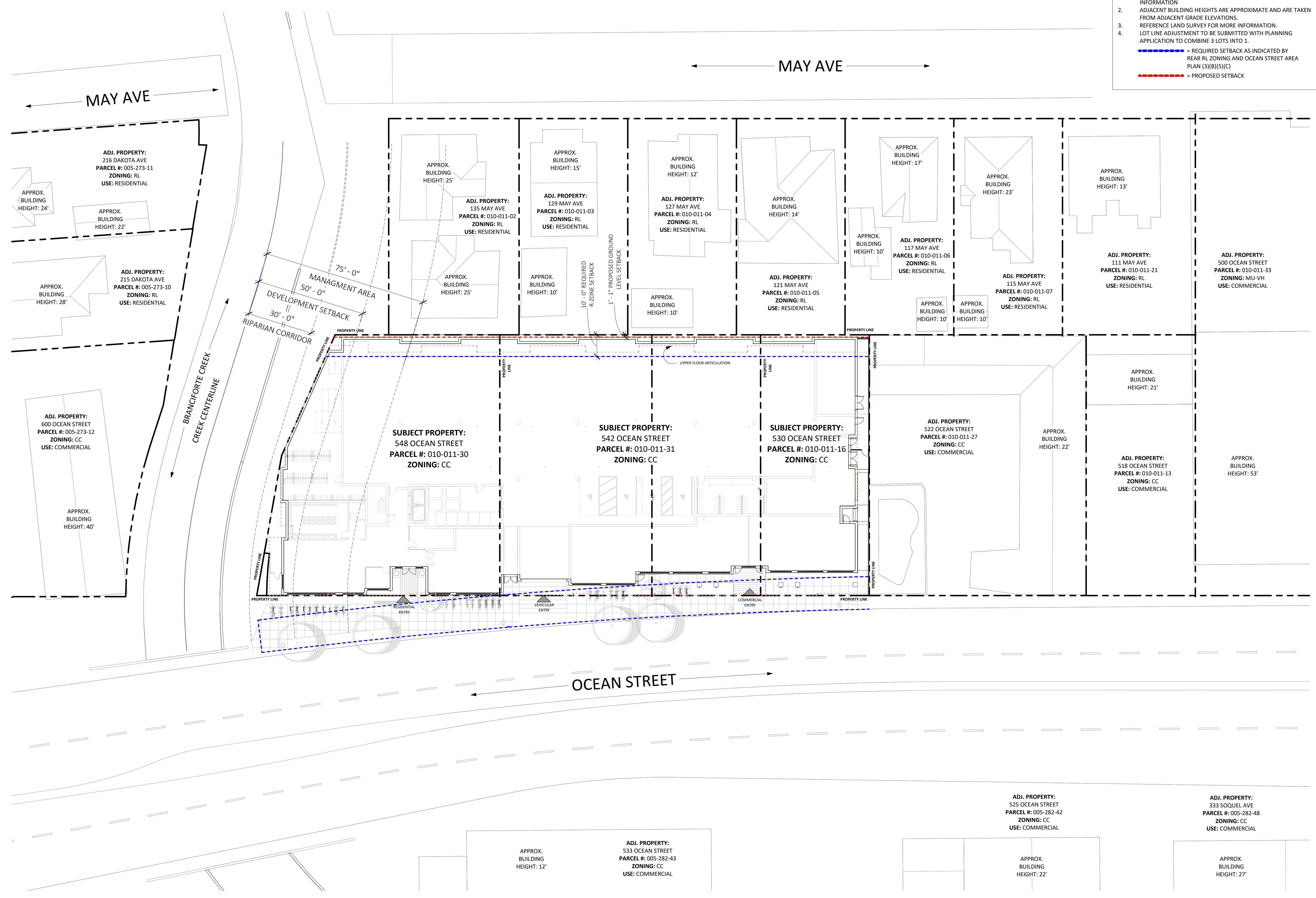
189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

ARTHAUS OCEAN
530, 542 & 548 OCEAN STREET
SANTA CRUZ, CA 95060



SITE PLAN NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
 - ADJACENT BUILDING HEIGHTS ARE APPROXIMATE AND ARE TAKEN FROM ADJACENT GRADE ELEVATIONS.
 - REFERENCE LAND SURVEY FOR MORE INFORMATION.
 - LOT LINE ADJUSTMENT TO BE SUBMITTED WITH PLANNING APPLICATION TO COMBINE 3 LOTS INTO 1.
- = REQUIRED SETBACK AS INDICATED BY REAR RL ZONING AND OCEAN STREET AREA PLAN (3)(B)(5)(C)
----- = PROPOSED SETBACK



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	02.23.2024
1	PLANNING PACKAGE	08.23.2024

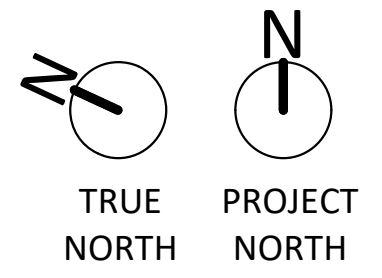
APN number	010-011-16, 31, 30
Project number	23154
Print Date	08.26.2024
Drawn by	OH
Checked by	EB
Scale	As indicated

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PROPOSED SITE PLAN
AP0.51

1/22/2025 12:26:19 PM

1 SITE PLAN PLANNING
1" = 20'-0"





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P: 831.227.2217

ARTHAUS OCEAN
530, 542 & 548 OCEAN STREET
SANTA CRUZ, CA 95060



Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	02.23.2024
1	PLANNING PACKAGE	08.23.2024
2	PLANNING REV-01	11.01.2024
3	PLANNING REV-02	01.22.2025

APN number	010-011-16, 31, 30
Project number	23154
Print Date	08.26.2024
Drawn by	DS
Checked by	EB
Scale	As indicated

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PROPOSED FIRST FLOOR PLAN
AP1.01

FLOOR PLAN NOTES

1. SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

UNIT MIX & AFFORDABLE REQUIREMENTS

UNIT TYPE	COUNT
STUDIO	151
ONE BEDROOM	4
TWO BED / ONE BATH	40
TWO BED / TWO BATH	30
TOTAL	225

- AFFORDABLE UNITS REQUIRED:**
- 15% VLI UNITS ALLOWING A 50% DENSITY BONUS PER AB2345
 - 15% MODERATE INCOME UNITS ALLOWING A 50% DENSITY BONUS PER AB1287
 - 20% LI UNITS PER SCMC 24.16.020.5.a (SCMC REQUIREMENT MAY BE MET WITH THE SAME UNITS AS THOSE PROPOSED FOR STATE DENSITY BONUS, NOT IN ADDITION TO)

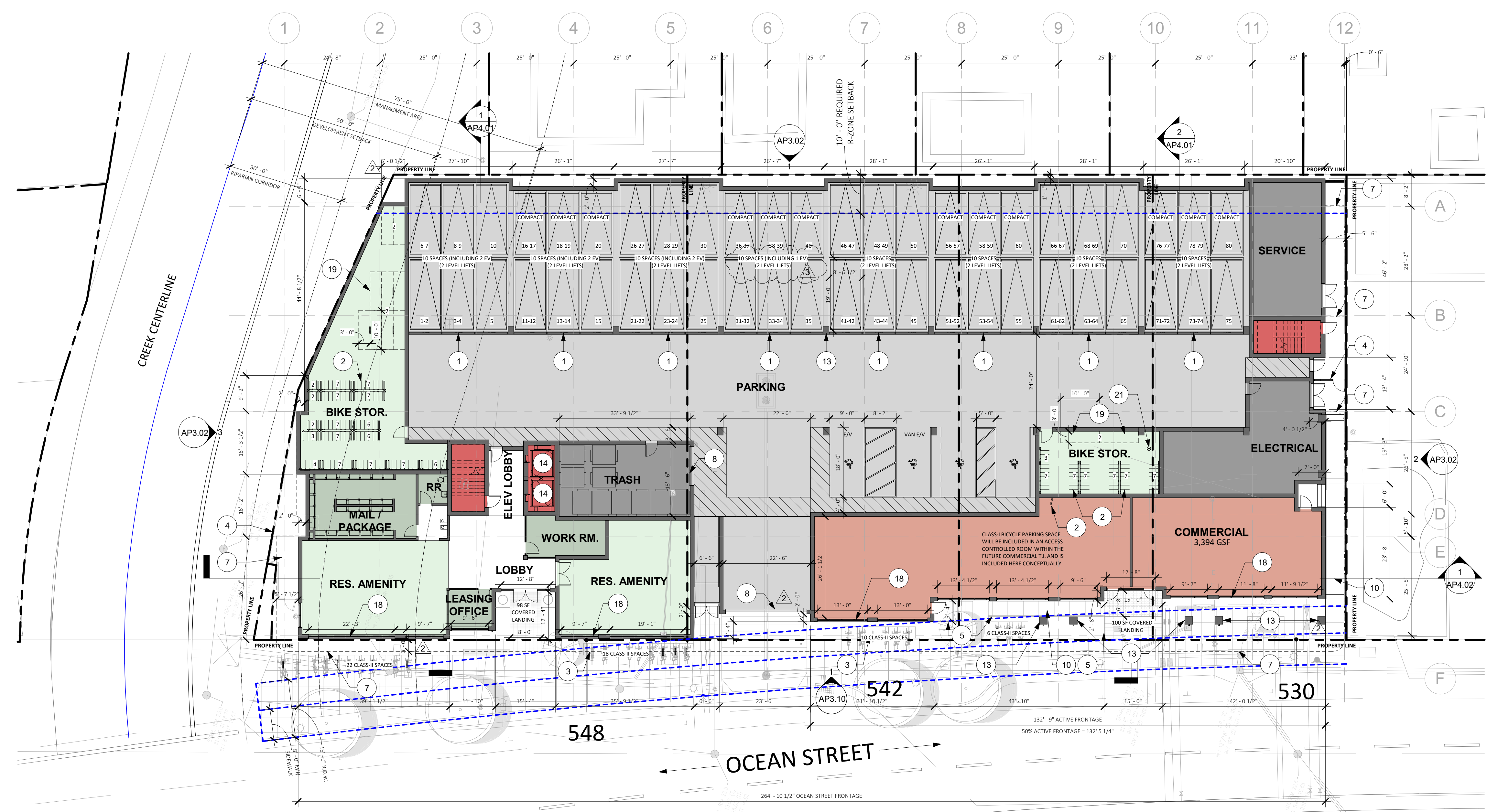
- AFFORDABLE UNITS PROVIDED:**
- 17 VERY LOW INCOME UNITS (15%)
- ALLOWS 50% DENSITY BONUS PER AB2345
- 5 LOW INCOME UNITS (5%)
- COMBINED W/ 17 VLI UNITS MEETS SCMC REQUIREMENTS FOR 20% LI UNITS

- 17 MODERATE INCOME UNITS (10%)
- ALLOWS 50% DENSITY BONUS PER AB1287

AU = INDICATES THE LOCATION OF AN AFFORDABLE UNIT
FLOOR LEVEL OF AFFORDABLE UNIT

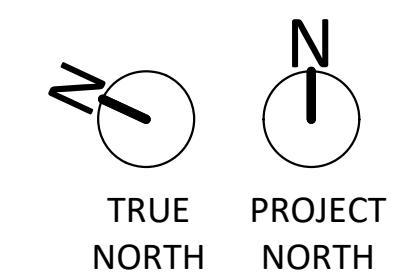
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	CAR STACKING SYSTEM, SEE SHEET AP9.02
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
4	EXTERIOR FENCE / GATE
5	SOLID/OPAQUE GUARDRAIL
6	BUILT-IN PLANTER
7	DASHED LINE INDICATES BUILDING/ CANOPY/ WALKWAY OVERHEAD
8	OVERHEAD DOOR
10	ACCESSIBLE RAMP
11	WASHER / DRYER IN EACH UNIT, TYP.
12	ALL UNITS CONTAINS 200 CF OF STORAGE PER SCMC 24.12.1520.5
13	STRUCTURAL COLUMN / ELEMENT (INDICATIVE)
14	ELEVATOR
15	EXTERIOR CORRIDOR
16	INTERIOR CORRIDOR
17	PRIVATE BALCONY
18	GLAZED WINDOW SYSTEM, 70% GROUND FLOOR TRANSPARENCY
19	LARGER FOOTPRINT CLASS-I BICYCLE PARKING SPACES
21	BICYCLE FIX-IT STATION, SEE AP9.01 FOR MORE INFO
22	IN-UNIT CLASS-I BICYCLE STORAGE



GROUND FLOOR TRANSPARENCY SCMC 24.12.185.14(a)(i):
 OCEAN STREET FRONTAGE : 264' 10 1/2"
 TRANSPARENCY REQUIRED: 70% OR 185' 5"
 TRANSPARENCY PROVIDED: 70.5% OR 186' 10"

1 PLANNING - LEVEL 1
1/16" = 1'-0"





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Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	02.23.2024
1	PLANNING PACKAGE	08.23.2024
2	PLANNING REV-01	11.01.2024
3	PLANNING REV-02	01.22.2025

APN number	010-011-16, 31, 30
Project number	23154
Print Date	08.26.2024
Drawn by	DS
Checked by	EB
Scale	As indicated

PROPOSED SECOND FLOOR PLAN
AP1.02

FLOOR PLAN NOTES

1. SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

UNIT MIX & AFFORDABLE REQUIREMENTS

UNIT TYPE	COUNT
STUDIO	151
ONE BEDROOM	4
TWO BED / ONE BATH	40
TWO BED / TWO BATH	30
	225

- AFFORDABLE UNITS REQUIRED:**
- 15% VLI UNITS ALLOWING A 50% DENSITY BONUS PER AB2345
 - 15% MODERATE INCOME UNITS ALLOWING A 50% DENSITY BONUS PER AB1287
 - 20% LI UNITS PER SCMC 24.16.020.5.a (SCMC REQUIREMENT MAY BE MET WITH THE SAME UNITS AS THOSE PROPOSED FOR STATE DENSITY BONUS, NOT IN ADDITION TO)

- AFFORDABLE UNITS PROVIDED:**
- 17 VERY LOW INCOME UNITS (15%)
- ALLOWS 50% DENSITY BONUS PER AB2345
- 5 LOW INCOME UNITS (5%)
- COMBINED W/ 17 VLI UNITS MEETS SCMC REQUIREMENTS FOR 20% LI UNITS

- 17 MODERATE INCOME UNITS (10%)
- ALLOWS 50% DENSITY BONUS PER AB1287

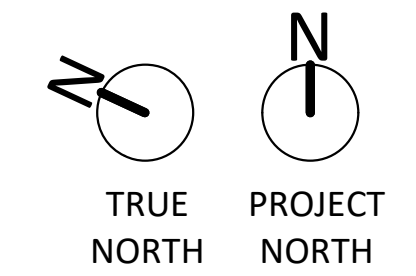
▲ = INDICATES THE LOCATION OF AN AFFORDABLE UNIT
▲ FLOOR LEVEL OF AFFORDABLE UNIT

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	CAR STACKING SYSTEM, SEE SHEET AP9.02
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
4	EXTERIOR FENCE / GATE
5	SOLID/OPAQUE GUARDRAIL
6	BUILT-IN PLANTER
7	DASHED LINE INDICATES BUILDING/ CANOPY/ WALKWAY OVERHEAD
8	OVERHEAD DOOR
10	ACCESSIBLE RAMP
11	WASHER / DRYER IN EACH UNIT, TYP.
12	ALL UNITS CONTAINS 200 CF OF STORAGE PER SCMC 24.12.1520.5
13	STRUCTURAL COLUMN / ELEMENT (INDICATIVE)
14	ELEVATOR
15	EXTERIOR CORRIDOR
16	INTERIOR CORRIDOR
17	PRIVATE BALCONY
18	GLAZED WINDOW SYSTEM, 70% GROUND FLOOR TRANSPARENCY
19	LARGER FOOTPRINT CLASS-I BICYCLE PARKING SPACES
21	BICYCLE FIX-IT STATION, SEE AP9.01 FOR MORE INFO
22	IN-UNIT CLASS-I BICYCLE STORAGE



1 PLANNING - LEVEL 2
1/16" = 1'-0"



LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	TOTALS
LEVEL 1	0 SF	1,336 SF	16,939 SF	4,274 SF	2,857 SF	3,396 SF	28,802 SF
LEVEL 2	20,780 SF	3,406 SF	0 SF	439 SF	155 SF	0 SF	24,780 SF
LEVEL 3	20,999 SF	3,406 SF	0 SF	182 SF	193 SF	0 SF	24,780 SF
LEVEL 4	20,999 SF	3,406 SF	0 SF	103 SF	272 SF	0 SF	24,780 SF
LEVEL 5	20,999 SF	3,406 SF	0 SF	182 SF	193 SF	0 SF	24,780 SF
LEVEL 6	20,999 SF	3,406 SF	0 SF	103 SF	272 SF	0 SF	24,780 SF
TOTALS	104,775 SF	18,366 SF	16,939 SF	5,284 SF	3,942 SF	3,396 SF	152,702 SF

FLOOR PLAN NOTES

1. SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

UNIT MIX & AFFORDABLE REQUIREMENTS

UNIT TYPE	COUNT
STUDIO	151
ONE BEDROOM	4
TWO BED / ONE BATH	40
TWO BED / TWO BATH	30
	225

AFFORDABLE UNITS REQUIRED:

- 15% VLI UNITS ALLOWING A 50% DENSITY BONUS PER AB2345
- 15% MODERATE INCOME UNITS ALLOWING A 50% DENSITY BONUS PER AB1287
- 20% LI UNITS PER SCMC 24.16.020.5.a (SCMC REQUIREMENT MAY BE MET WITH THE SAME UNITS AS THOSE PROPOSED FOR STATE DENSITY BONUS, NOT IN ADDITION TO)

AFFORDABLE UNITS PROVIDED:

- 17 VERY LOW INCOME UNITS (15%)
 - ALLOWS 50% DENSITY BONUS PER AB2345
- 5 LOW INCOME UNITS (5%)
 - COMBINED W/ 17 VLI UNITS MEETS SCMC REQUIREMENTS FOR 20% LI UNITS

17 MODERATE INCOME UNITS (10%)

- ALLOWS 50% DENSITY BONUS PER AB1287

▲ = INDICATES THE LOCATION OF AN AFFORDABLE UNIT
 ▲ FLOOR LEVEL OF AFFORDABLE UNIT

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	CAR STACKING SYSTEM, SEE SHEET AP9.02
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
4	EXTERIOR FENCE / GATE
5	SOLID/OPAQUE GUARDRAIL
6	BUILT-IN PLANTER
7	DASHED LINE INDICATES BUILDING/ CANOPY/ WALKWAY OVERHEAD
8	OVERHEAD DOOR
10	ACCESSIBLE RAMP
11	WASHER / DRYER IN EACH UNIT, TYP.
12	ALL UNITS CONTAINS 200 CF OF STORAGE PER SCMC 24.12.1520.5
13	STRUCTURAL COLUMN / ELEMENT (INDICATIVE)
14	ELEVATOR
15	EXTERIOR CORRIDOR
16	INTERIOR CORRIDOR
17	PRIVATE BALCONY
18	GLAZED WINDOW SYSTEM, 70% GROUND FLOOR TRANSPARENCY
19	LARGER FOOTPRINT CLASS-I BICYCLE PARKING SPACES
21	BICYCLE FIX-IT STATION, SEE AP9.01 FOR MORE INFO
22	IN-UNIT CLASS-I BICYCLE STORAGE



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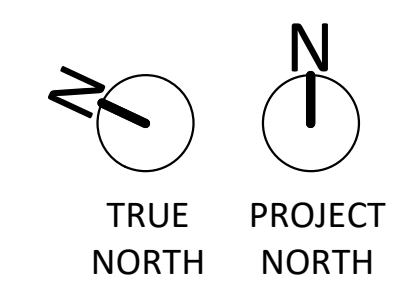
APN number	010-011-16, 31, 30
Project number	23154
Print Date	08.26.2024
Drawn by	DS
Checked by	EB
Scale	As indicated

PROPOSED THIRD & FIFTH FLOOR PLAN

AP1.03

1 PLANNING - LEVEL 3 & 5
 1/16" = 1'-0"

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LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	TOTALS
LEVEL 1	0 SF	1,336 SF	16,939 SF	4,274 SF	2,857 SF	3,396 SF	28,802 SF
LEVEL 2	20,780 SF	3,406 SF	0 SF	439 SF	155 SF	0 SF	24,780 SF
LEVEL 3	20,999 SF	3,406 SF	0 SF	182 SF	193 SF	0 SF	24,780 SF
LEVEL 4	20,999 SF	3,406 SF	0 SF	103 SF	272 SF	0 SF	24,780 SF
LEVEL 5	20,999 SF	3,406 SF	0 SF	182 SF	193 SF	0 SF	24,780 SF
LEVEL 6	20,999 SF	3,406 SF	0 SF	103 SF	272 SF	0 SF	24,780 SF
TOTALS	104,775 SF	18,366 SF	16,939 SF	5,284 SF	3,942 SF	3,396 SF	152,702 SF

FLOOR PLAN NOTES

1. SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

UNIT MIX & AFFORDABLE REQUIREMENTS

UNIT TYPE	COUNT
STUDIO	151
ONE BEDROOM	4
TWO BED / ONE BATH	40
TWO BED / TWO BATH	30
	225

AFFORDABLE UNITS REQUIRED:

- 15% VLI UNITS ALLOWING A 50% DENSITY BONUS PER AB2345
- 15% MODERATE INCOME UNITS ALLOWING A 50% DENSITY BONUS PER AB1287
- 20% LI UNITS PER SCMC 24.16.020.5.a (SCMC REQUIREMENT MAY BE MET WITH THE SAME UNITS AS THOSE PROPOSED FOR STATE DENSITY BONUS, NOT IN ADDITION TO)

AFFORDABLE UNITS PROVIDED:

- 17 VERY LOW INCOME UNITS (15%)
 - 5 LOW INCOME UNITS (5%)
 - 17 MODERATE INCOME UNITS (10%)
- COMBINED W/ 17 VLI UNITS MEETS SCMC REQUIREMENTS FOR 20% LI UNITS

17 MODERATE INCOME UNITS (10%)
 • ALLOWS 50% DENSITY BONUS PER AB1287

▲ = INDICATES THE LOCATION OF AN AFFORDABLE UNIT
 ▲ FLOOR LEVEL OF AFFORDABLE UNIT

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	CAR STACKING SYSTEM, SEE SHEET AP9.02
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
4	EXTERIOR FENCE / GATE
5	SOLID/OPAQUE GUARDRAIL
6	BUILT-IN PLANTER
7	DASHED LINE INDICATES BUILDING/ CANOPY/ WALKWAY OVERHEAD
8	OVERHEAD DOOR
10	ACCESSIBLE RAMP
11	WASHER / DRYER IN EACH UNIT, TYP.
12	ALL UNITS CONTAINS 200 CF OF STORAGE PER SCMC 24.12.1520.5
13	STRUCTURAL COLUMN / ELEMENT (INDICATIVE)
14	ELEVATOR
15	EXTERIOR CORRIDOR
16	INTERIOR CORRIDOR
17	PRIVATE BALCONY
18	GLAZED WINDOW SYSTEM, 70% GROUND FLOOR TRANSPARENCY
19	LARGER FOOTPRINT CLASS-I BICYCLE PARKING SPACES
21	BICYCLE FIX-IT STATION, SEE AP9.01 FOR MORE INFO
22	IN-UNIT CLASS-I BICYCLE STORAGE



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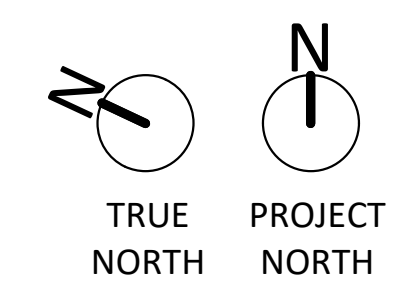
ISSUES/ REVISIONS		
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3	PLANNING REV-02	01.22.2025

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Checked by	EB
Scale	As indicated

PROPOSED FOURTH & SIXTH FLOOR PLAN
AP1.04

1 PLANNING - LEVEL 4 & 6
 1/16" = 1'-0"

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Drawn by	DS
Checked by	EB
Scale	As indicated

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PROPOSED ROOF PLAN

AP1.07

ROOF PLAN NOTES

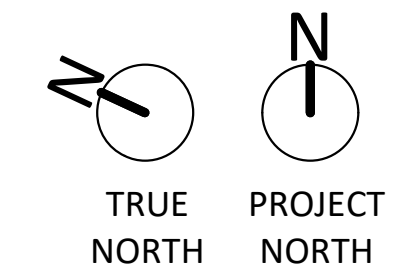
- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

ROOF PLAN KEYED NOTES

KEYNOTE SCHEDULE - ROOF PLAN	
KEYNOTE	MATERIAL
1	ELEVATOR / STAIR OVERRUN
2	SOLAR PHOTOVOLTAIC PANELS, BY SEPERATE PERMIT $\frac{2}{2}$
3	MECHANICAL EQUIPMENT AND ROOF SCREEN, LOCATION INDICATED CONCEPTUALLY
4	DOWNSPOUT CONNECTED TO DRAINAGE SYSTEM, REFER TO CIVIL DRAWINGS, FINAL ROOF AND DRAINAGE DESIGN TBD



1 PLANNING - ROOF
1/16" = 1'-0"





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APN number 010-011-16, 31, 30
Project number 23154
Print Date 08.26.2024
Drawn by MB
Checked by EB
Scale 1/4" = 1'-0"

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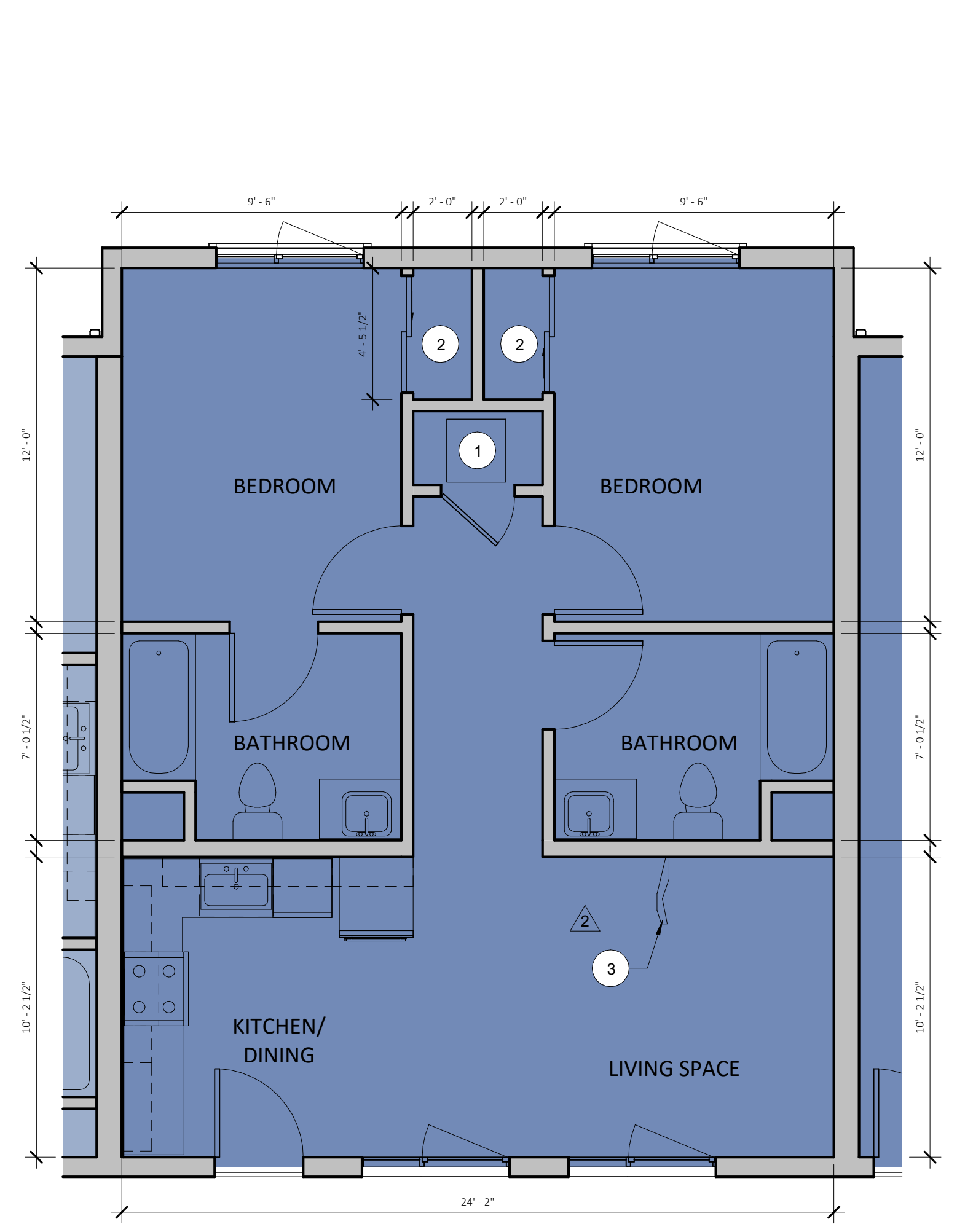
UNIT PLANS - 2BED / 2 BATH
AP2.04

UNIT PLANS GENERAL NOTES

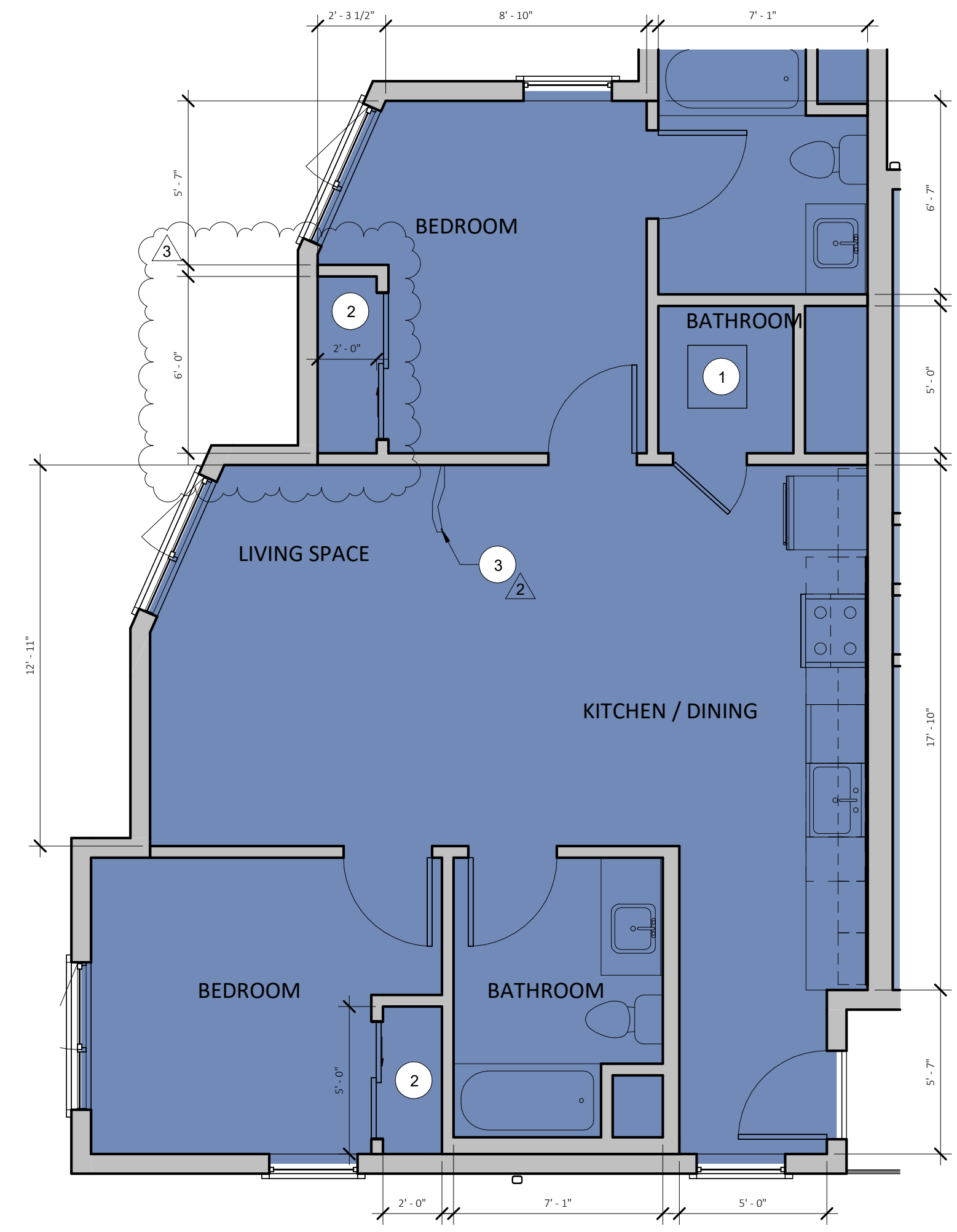
- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

UNIT PLANS KEYED NOTES

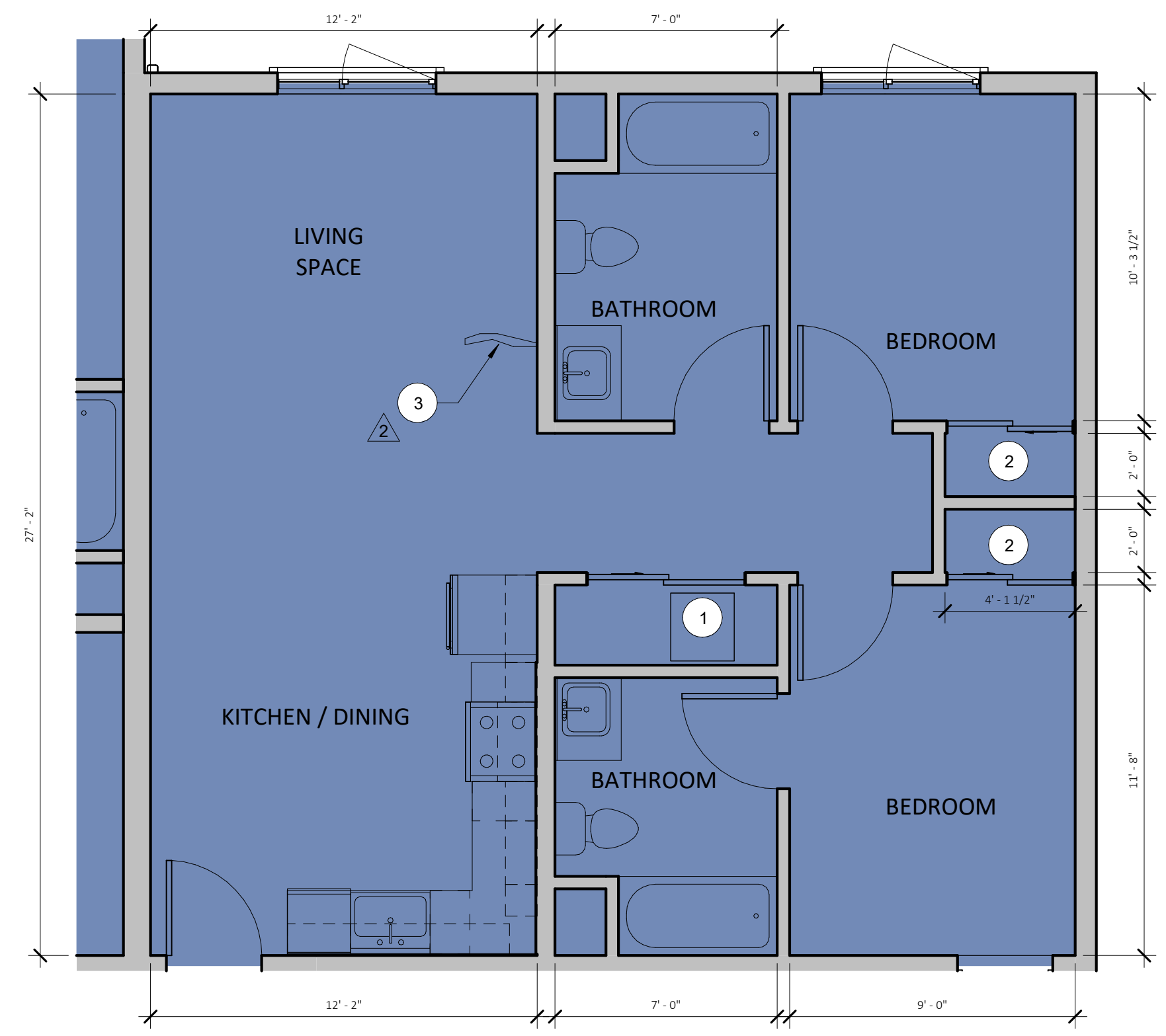
KEYNOTE	MATERIAL
1	WASHER / DRYER IN EACH UNIT, TYP.
2	ALL UNITS CONTAINS 200 CF OF STORAGE PER SCMC 24.12.1520.5
3	IN UNIT CLASS-1 BICYCLE PARKING



① UNIT PLAN - C1
1/4" = 1'-0"



② UNIT PLAN - C3
1/4" = 1'-0"



③ UNIT PLAN - C2
1/4" = 1'-0"



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PROPOSED ELEVATIONS
AP3.01

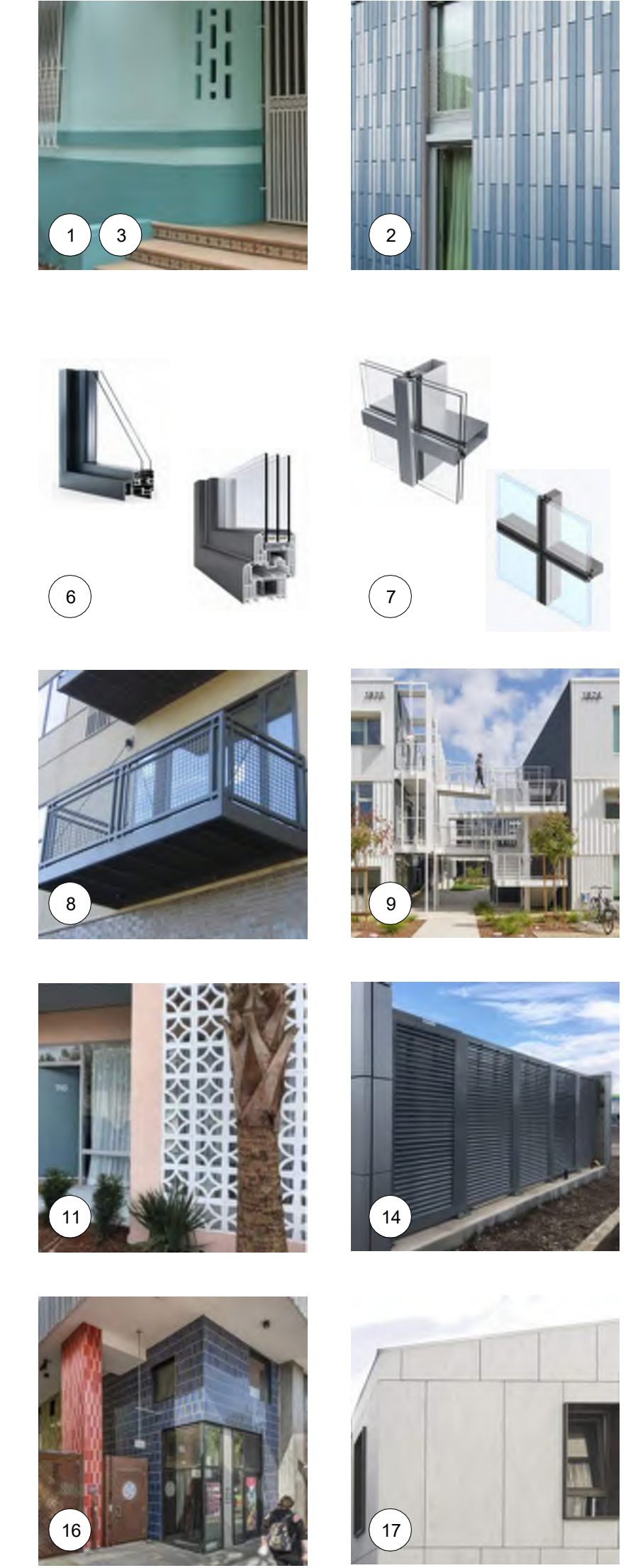
ELEVATIONS GENERAL NOTES

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
 - CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.
 - SEE AP9.02 FOR ADDITIONAL DETAILS AND INFORMATION REGARDING MATERIALS AND DETAILING.
- = REQUIRED SETBACK AS INDICATED BY REAR RL ZONING AND OCEAN STREET AREA PLAN (3)(B)(5)(C)

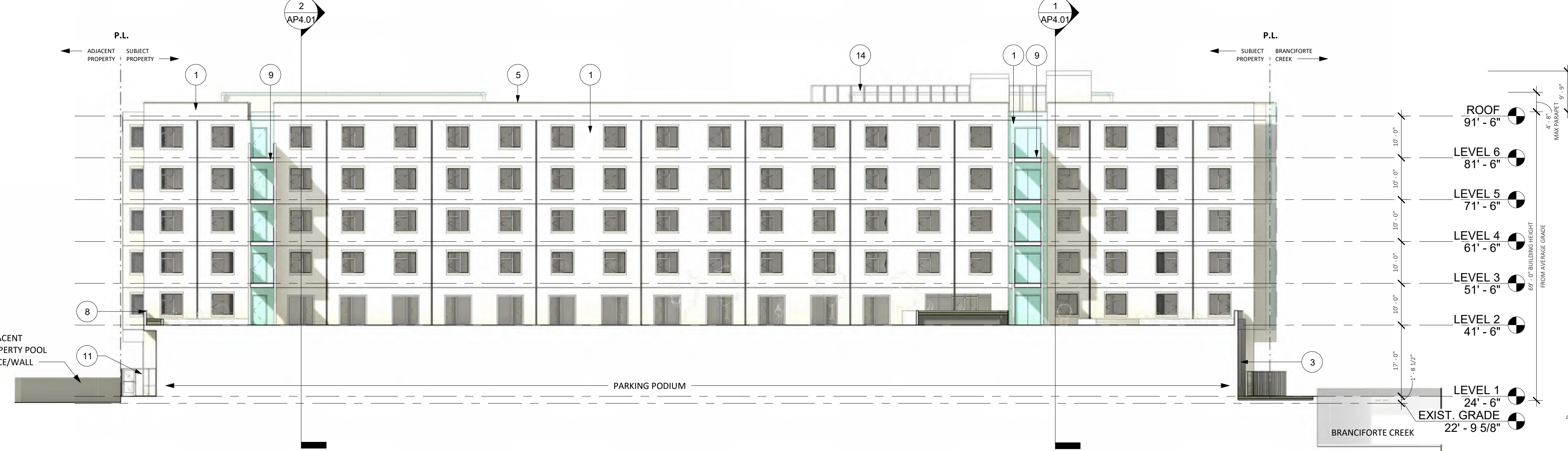
ELEVATION KEYED NOTES

KEYNOTE	MATERIAL
1	PAINTED STUCCO OR SIM
2	MULTI-COLORED VERTICAL ORIENTED FIBER CEMENT PANEL OR GRC OR SIM.
3	PAINTED CONCRETE WALL OR SIM
4	PRELIMINARY DOWNSPOUT LOCATION, FINAL DESIGN TBD, REF ROOF PLAN
5	PARAPET COPING / CORNICE (SCMC 24.12.185.15(D) CATEGORY 4), SEE AP9.02/4
6	VINYL WINDOWS OR SIM, DETAILED WITH LINTEL AND SILL (SCMC 24.12.185.15(D) CATEGORY 2)
7	GLAZED WINDOW SYSTEM OR SIM
8	PAINTED METAL GUARDRAIL / BALCONY OR SIM (SCMC 24.12.185.15(D) CATEGORY 1)
9	EXTERIOR WALKWAY, PAINTED METAL GUARDRAILS AND SUPPORT STRUCTURE OR SIM
10	EXTERIOR SIGNAGE, FINAL DESIGN TBD
11	PAINTED METAL FENCE / GATE / SCREEN
12	OVERHEAD DOOR
13	BUILDING COLUMNS / STRUCTURAL ELEMENTS OR SIM
14	METAL MECHANICAL EQUIPMENT SCREEN OR SIM
15	EXTERIOR LED DOWNLIGHT / DECORATIVE SCONCE (SCMC 24.12.185.15 (d) CATEGORY 4), SEE LIGHTING PLAN
16	EXTERIOR GLAZED TILE OR SIM.
17	FIBER CEMENT PANEL SIDING OR SIM.

MATERIALS LEGEND



1 SOUTH ELEVATION - PLANNING
1/16" = 1'-0"

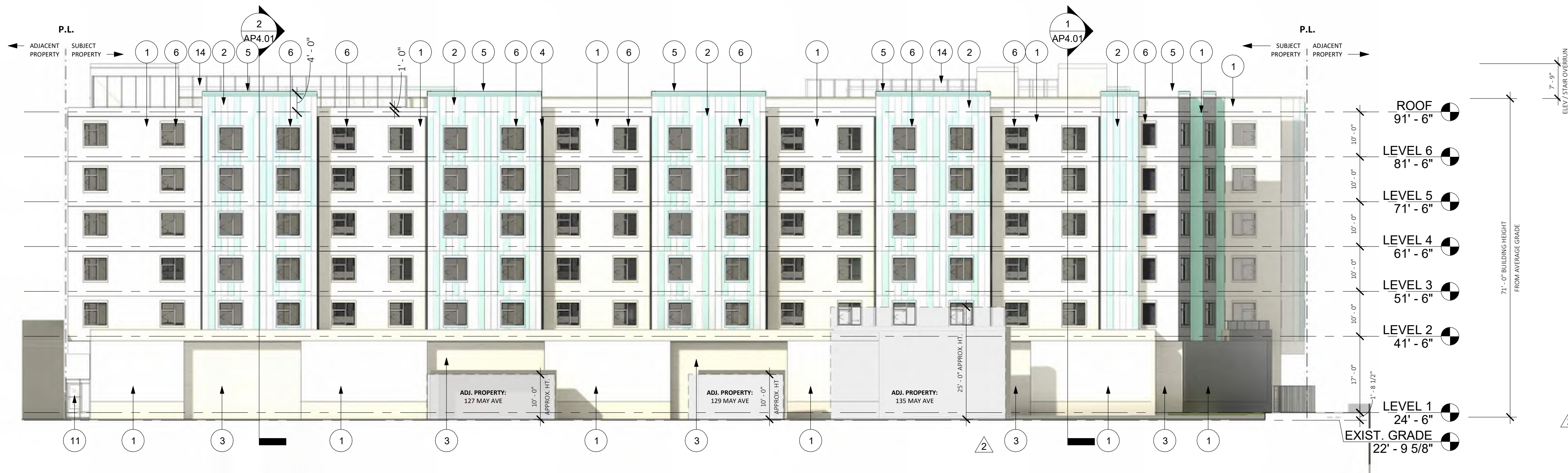


2 COURTYARD ELEVATION NORTH - PLANNING
1/16" = 1'-0"

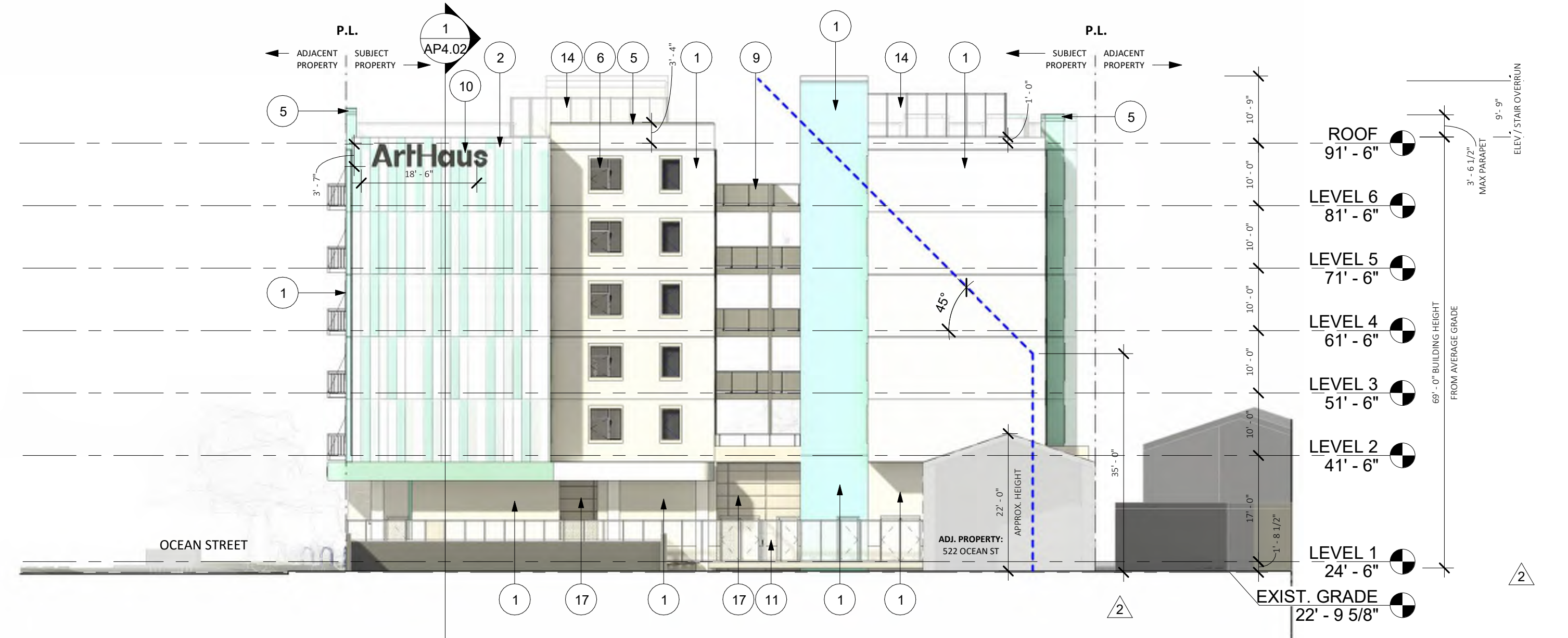


3 COURTYARD ELEVATION SOUTH - PLANNING
1/16" = 1'-0"

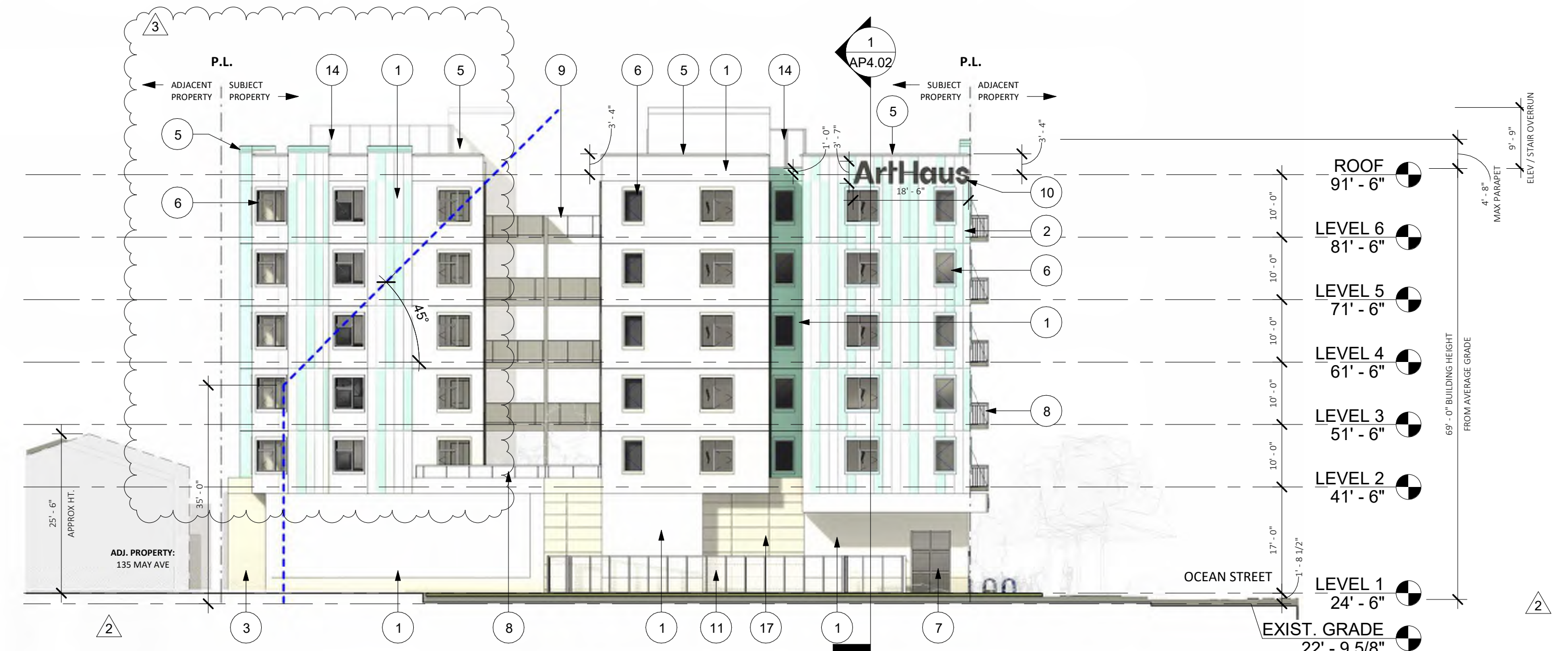
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1 NORTH ELEVATION - PLANNING
1/16" = 1'-0"



2 EAST ELEVATION - PLANNING
1/16" = 1'-0"



3 WEST ELEVATION - PLANNING
1/16" = 1'-0"

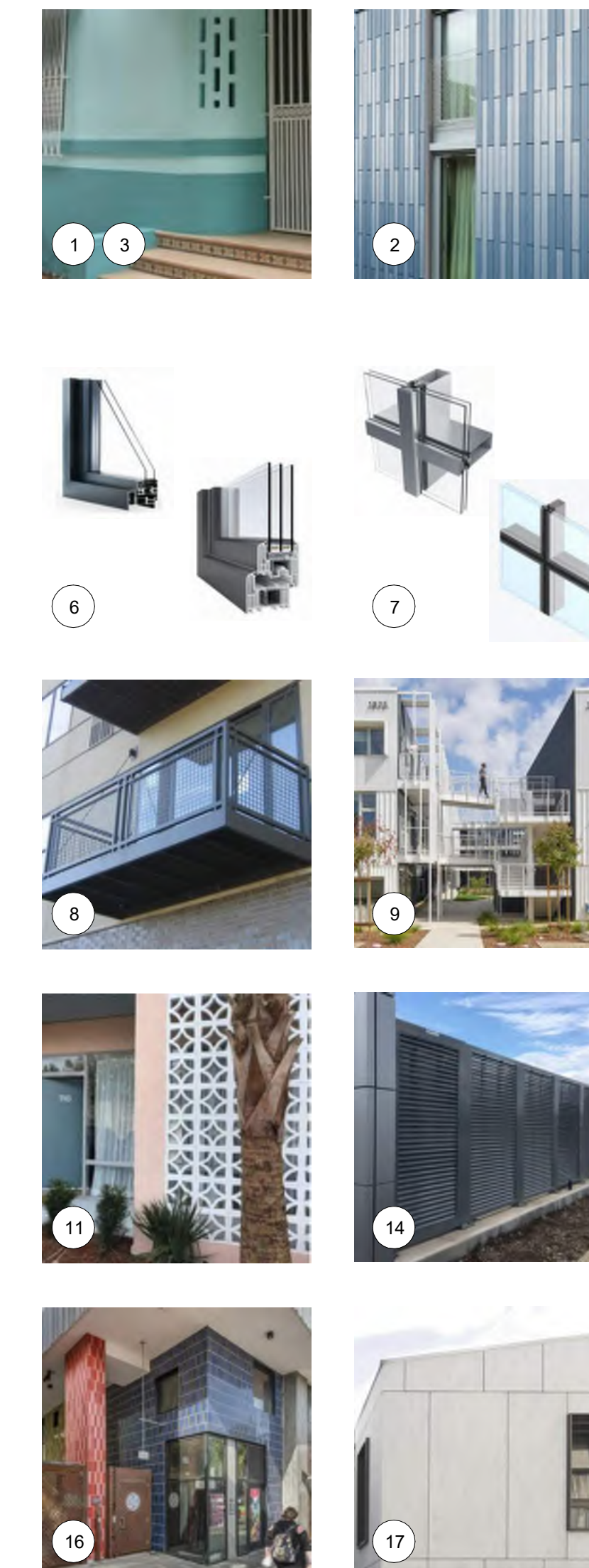
ELEVATIONS GENERAL NOTES

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
 - CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.
 - SEE AP9.02 FOR ADDITIONAL DETAILS AND INFORMATION REGARDING MATERIALS AND DETAILING.
- = REQUIRED SETBACK AS INDICATED BY REAR RL ZONING AND OCEAN STREET AREA PLAN (3)(B)(5)(C)

ELEVATION KEYED NOTES

KEYNOTE	MATERIAL
1	PAINTED STUCCO OR SIM
2	MULTI-COLORED VERTICAL ORIENTED FIBER CEMENT PANEL OR GRC OR SIM.
3	PAINTED CONCRETE WALL OR SIM
4	PRELIMINARY DOWNSPOUT LOCATION, FINAL DESIGN TBD, REF ROOF PLAN
5	PARAPET COPING / CORNICE (SCMC 24.12.185.15(D) CATEGORY 4), SEE AP9.02/4
6	VINYL WINDOWS OR SIM, DETAILED WITH LINTEL AND SILL (SCMC 24.12.185.15(D) CATEGORY 2)
7	GLAZED WINDOW SYSTEM OR SIM
8	PAINTED METAL GUARDRAIL / BALCONY OR SIM (SCMC 24.12.185.15(D) CATEGORY 1)
9	EXTERIOR WALKWAY, PAINTED METAL GUARDRAILS AND SUPPORT STRUCTURE OR SIM
10	EXTERIOR SIGNAGE, FINAL DESIGN TBD
11	PAINTED METAL FENCE / GATE / SCREEN
12	OVERHEAD DOOR
13	BUILDING COLUMNS / STRUCTURAL ELEMENTS OR SIM
14	METAL MECHANICAL EQUIPMENT SCREEN OR SIM
15	EXTERIOR LED DOWNLIGHT / DECORATIVE SCONCE (SCMC 24.12.185.15 (d) CATEGORY 4), SEE LIGHTING PLAN
16	EXTERIOR GLAZED TILE OR SIM.
17	FIBER CEMENT PANEL SIDING OR SIM.

MATERIALS LEGEND



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2	PLANNING REV-01	11.01.2024
3	PLANNING REV-02	01.22.2025

APN number 010-011-16, 31, 30
Project number 23154
Print Date 08.26.2024
Drawn by AS
Checked by EB
Scale As indicated

PROPOSED ELEVATIONS
AP3.02



workbench

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ISSUES/ REVISIONS

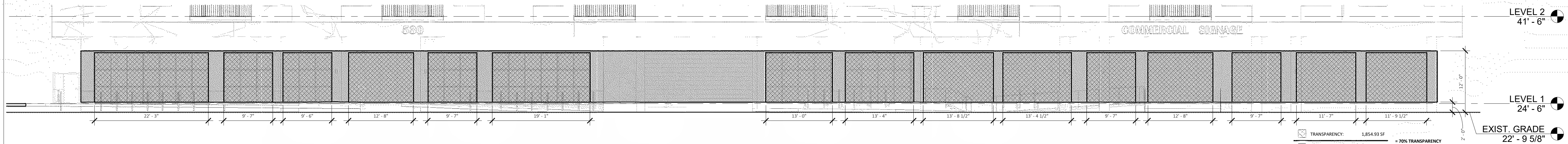
Issue	DESCRIPTION	DATE
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1	PLANNING PACKAGE	08.23.2024
2	PLANNING REV-01	11.01.2024

APN number	010-011-16, 31, 30
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STREETSCAPE ELEVATION

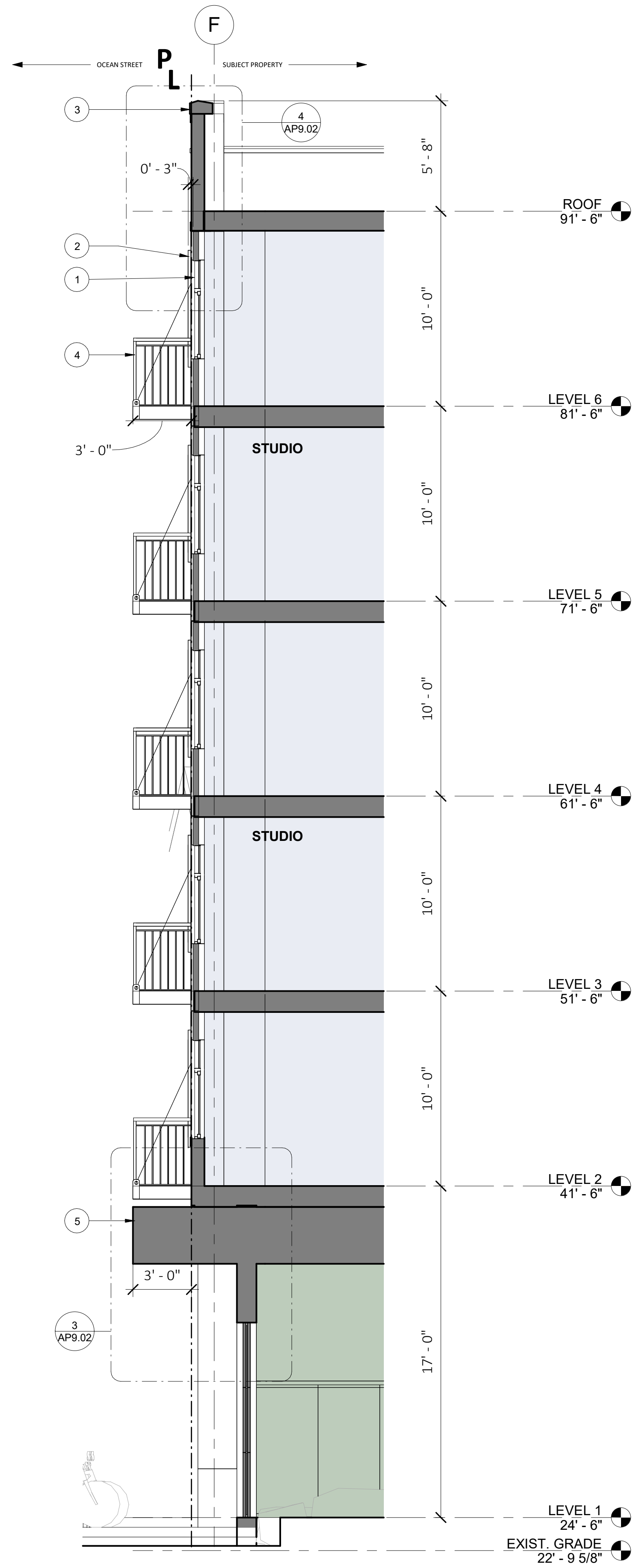
AP3.10



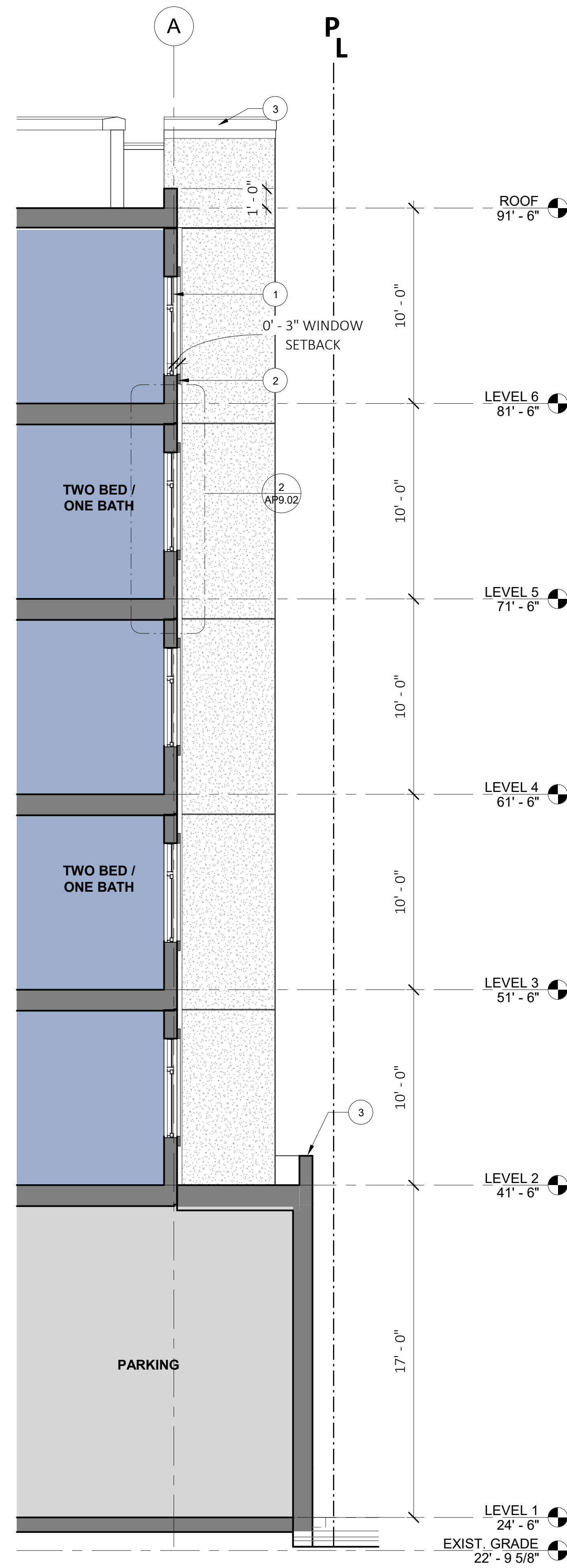
2 SOUTH ELEVATION - GROUND FLOOR TRANSPARENCY DIAGRAM
1" = 10'-0"



1 STREETSCAPE ELEVATION
1" = 20'-0"



3 SOUTH FACADE WALL SECTION - A
1/4" = 1'-0"



1 NORTH FACADE WALL SECTION - A
1/4" = 1'-0"

WALL SECTION GENERAL NOTES

1. PROPERTY LINES ARE SHOWN RELATIVE TO THE WALL SECTION. REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
2. CURBS AND STREETS ARE SHOWN RELATIVE TO THE WALL SECTION VIEW, REFER TO LAND SURVEY, CIVIL AND LANDSCAPE DRAWINGS FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

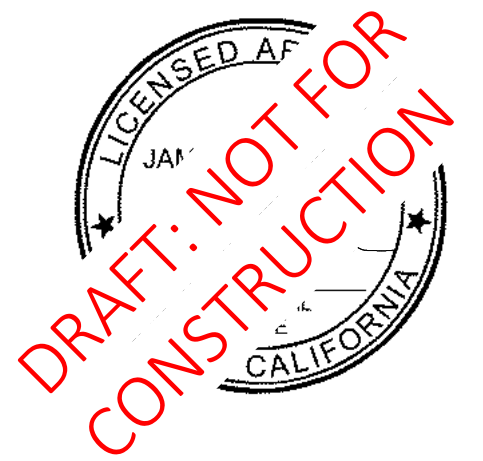
WALL SECTION KEYED NOTES

1	VINYL WINDOW OR SIM.
2	WINDOW TRIM / LINTEL / SILL
3	ROOF PARAPET AND PARAPET CAP / COPING / CORNICE
4	PAINTED METAL GUARDRAIL / BALCONY OR SIM.
5	ENTRY CANOPY



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Checked by EB
Scale 1/4" = 1'-0"

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WALL SECTIONS

AP5.01



Bicycle Maintenance Accessories

Deluxe Public Work Stand

- Includes 10 frequently used tools
- Designed for both indoor and outdoor use
- Tools securely attach by retractable braided stainless steel cables
- Impact and UV resistant front plate for durability
- ADA compliant design
- 1 year warranty

Materials:

- Main Body: .25" and 11 gauge steel
- Top bicycle hanger: 2" DOM Tubing
- 24" steel plate
- Polyethylene sleeve
- Tool Tethers: 3/16" stainless steel cable
- Optional Integrated air hose
- High pressure rubber exterior hose with triple braided steel wire core
- Optional Integrated Wheel Check
- Available in mild or stainless steel

Finishes:

- Powder Coat Finish
- Black RAL9017
- Red T009-RD03
- Integrated Outdoor Public Bike Pump
- Integrated Wheel Check
- Mild Steel Powder Coat
- Black RAL9017
- Red T009-RD03
- Stainless Steel

Public Work Stand

- Includes 10 frequently used tools
- Designed for both indoor and outdoor use
- Tool assemblies are spaced to prevent tangling
- Secure tool fastening system
- ADA compliant design
- 1 year warranty

Materials:

- Main body and bike hanger: 2" DOM tubing
- 24" steel plate
- Polyethylene sleeve
- Tool Tethers: 3/16" stainless steel cable

Finishes:

- Powder Coat Finish
- Black RAL9017
- Red T009-RD03
- Floor Mount
- Deluxe Public Work Stand Mount

Outdoor Public Bike Pump With Gauge

- Designed for both indoor and outdoor use
- Outdoor-rated stainless steel construction, completely sealed
- Proprietary long-life piston seal and solid pump rod
- Steel braided air hose core prevents cutting
- Includes pressure gauge
- 1 year warranty

Materials:

- Main Body: .25" and 125" 304 stainless steel
- Pump shaft: 3/4" 304 stainless steel
- Pressure gauge cover: 1/4" polycarbonate
- Integrated air hose
- High pressure rubber exterior hose with triple braided steel wire core

Finishes:

- Stainless Steel
- Floor Mount
- Deluxe Public Work Stand Mount

PROPOSED BICYCLE REPAIR STAND



Vertical+ Direct Wall Mount Bicycle Rack

Capacity: 1 Warranty: 1 Year

Single Sided Dimensions

Optional No Scratch™ bumper and cushioned hook prevent bicycle damage

- Secure design that is u-lock compatible
- Gear hanger
- Vertical bicycle parking

Product Specifications

Materials:

- Mild Steel
- Bicycle Support Loops: 1.0" x 1.0" x .060" Square Tubing
- Mounting Bracket: .1875" Plate (mild steel)
- Optional Polyurethane No Scratch™ Bumper

Standard Finish:

- Bicycle Support Loops: Powder Coated
- Wall Mount

Hardware

- Concrete Lag Screws
- Concrete Wedge Anchors (standard)
- + Tamper Resistant Nuts (recommended)
- E-Z Lock inserts for mounting to 3/4" thick plywood

Bicycle Spacing Recommendations:

- 13"
- 16"
- 17"
- 18"

No Scratch™ Option:

- Include No Scratch™ Bumper
- Exclude No Scratch™ Bumper

For complete dimensions please see the technical drawing located on our website: <https://www.sportworks.com/product/vertical-direct-mount>

Revised: 12/15/2020

PROPOSED CLASS-I BICYCLE PARKING WITHIN RESIDENTIAL UNITS WHERE INDICATED ON PLANS

Ultra Space Saver Squared Submittal Sheet

CAPACITY: Modular construction. 1 bike per unit.

MATERIALS: Hanger: 1" square tube with steel saddle head with tamper-resistant locking bolts. Bracket: 2" square tube. Feet: A36 C3 x 42 galvanized-steel channel. Crossbeams: 2" x 4" x 42 galvanized-steel.

FINISHES:

- Black Powder Coat (Interior Use): Our interior powder coat finish ensures a high level of adhesion and durability for indoor use by following these steps: 1. Sandblast. 2. Firethru 150C polyester powder coat.
- Black Powder Coat (Exterior Use) Additional/Cold: Our exterior powder coat finish ensures a high level of adhesion and durability for outdoor or exposed air use by following these steps: 1. Sandblast. 2. Epoxyprieme electrocoat (epoxy primer). 3. Firethru 150C polyester powder coat.

MOUNT OPTIONS:

- Floor mount: Ultra Space Saver Squared has steel-reinforced feet (30" for single sided and 50" for double sided units) which must be anchored to the floor.
- Wall mount: A wall mount unit which contains special brackets is also available for CMU or solid concrete walls. Concrete wall anchor brackets without additional support.

WHEEL STOPS:

- Include wheel stops.

Optional wheel stops are available for an additional cost.

PROPOSED CLASS-I BICYCLE PARKING IN ACCESS CONTROLLED COMMON ROOMS

Hoop Rack Submittal Sheet

CAPACITY: 2 Bikes.

MATERIALS: 1 1/2" schedule 40 pipe (1 1/2" OD).

FINISHES:

- Galvanized: An zinc-iron alloy hot dipped galvanized finish is our standard option.
- Powder Coat: Our powder coat finish ensures a high level of adhesion and durability by following these steps: 1. Sandblast. 2. Epoxyprieme electrocoat (epoxy primer). 3. Firethru 150C polyester powder coat.
- Stainless: Stainless Steel 304 grade stainless steel material finished in either a high-polished-draw or a satin finish.

MOUNT OPTIONS:

- Surface: Foot Mount has two 2 1/2" x 4 1/2" x 20" feet with two anchors per foot. Specify fast mount for this option. Tamper-resistant fasteners, available upon request.
- In-ground: In-ground mounts are embedded into concrete base. Specify in-ground mount for this option.
- Rail: Rail Mount (Optional) Hoop Rack are fitted to two parallel rails which can be set in precast or anchored to the ground. Rails are heavy duty 2" x 1 1/2" x 3/16" thick galvanized mounting rails. Specify rail mount for this option.

OPTIONAL LEAN BAR:

- Add Lean Bar.

PROPOSED CLASS-II BICYCLE PARKING



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Checked by: EB
Scale: 12" = 1'-0"

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CAR, EV, BICYCLE PARKING, & STORAGE INFO
AP9.01

KLAUS MULTIPARKING

Width dimension and door height

We recommend platform widths of minimum 350 cm and giving lane width of 400 cm in order that vehicles can comfortably access the Multiparking system and enter and leave without difficulty.

Narrower platforms may impede parking according to the following criteria:

- Driving lane width
- Entrance conditions
- Vehicle dimensions

Observe minimum driving lane width in accordance with local regulations.

Overview of system types and ceiling heights

Vehicle height UP

Type	H1	Vehicle height GF	150	155	160	165	170	175	180	185	190	195	200	205	210	215	220
6200+160	160	150	220	225	230	235	240	245	250	255	260	265	270	275	280	285	290
6200+165	165	155	225	230	235	240	245	250	255	260	265	270	275	280	285	290	295
6200+170	170	160	230	235	240	245	250	255	260	265	270	275	280	285	290	295	300
6200+175	175	165	235	240	245	250	255	260	265	270	275	280	285	290	295	300	305
6200+180	180	170	240	245	250	255	260	265	270	275	280	285	290	295	300	305	310
6200+185	185	175	245	250	255	260	265	270	275	280	285	290	295	300	305	310	315
6200+190	190	180	250	255	260	265	270	275	280	285	290	295	300	305	310	315	320
6200+195	195	185	255	260	265	270	275	280	285	290	295	300	305	310	315	320	325
6200+200	200	190	260	265	270	275	280	285	290	295	300	305	310	315	320	325	330
6200+205	205	195	265	270	275	280	285	290	295	300	305	310	315	320	325	330	335
6200+210	210	200	270	275	280	285	290	295	300	305	310	315	320	325	330	335	340
6200+215	215	205	275	280	285	290	295	300	305	310	315	320	325	330	335	340	345
6200+220	220	210	280	285	290	295	300	305	310	315	320	325	330	335	340	345	350

Maximum vehicle height for the passage = H1 - 5 cm.

Overview of building configuration

Building configuration with vertical door

Clearance

Clear platform width

LF	GF	H1	H2	H3	H4
230	220	220	230	230	240
240	230	230	240	240	250
250	240	240	250	250	260
260	250	250	260	260	270
270	260	260	270	270	280

max. vehicle height GF / GF

H1	150	155	160	165	170	175	180	185	190	195	200	205	210	215	220
H1	210	215	220	225	230	235	240	245	250	255	260	265	270	275	280
H2	371	376	381	386	391	396	401	406	411	416	421	426	431	436	441

Observe minimum clear height H2 in accordance with local regulations.

GF = building length (see 'Overview of building configuration', page 3)

H1 = grid width. These dimensions must be adhered to.

STACKER PARKING NOTES:

- STACKER PARKING STALLS: 8' 6" W x 19' 0" L (STANDARD PARKING STALL DIMENSIONS)
- FINAL STACKER PARKING DESIGN AND MANUFACTURER TO BE DETERMINED PRIOR TO BUILDING PERMIT SUBMISSION
- LOCATION OF EVCS TO BE DETERMINED PRIOR TO BUILDING PERMIT SUBMISSION
- EVCS PROVIDED BY A THIRD PARTY VENDOR, FINAL DESIGN TBD.
- 60 STANDARD SPACES + 20 COMPACT SPACES = 80 TOTAL STACKER SPACES (SEE PLANS)

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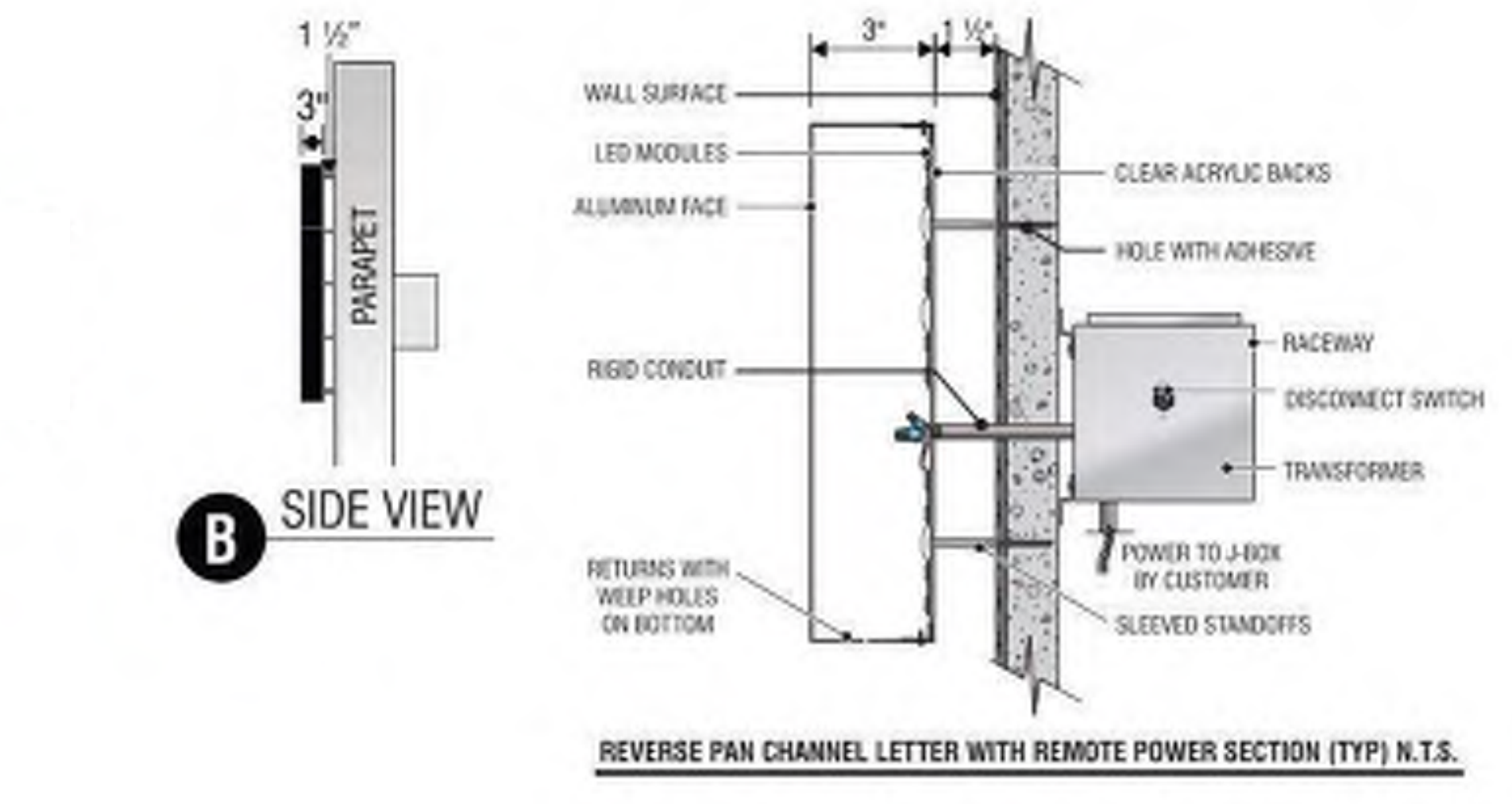
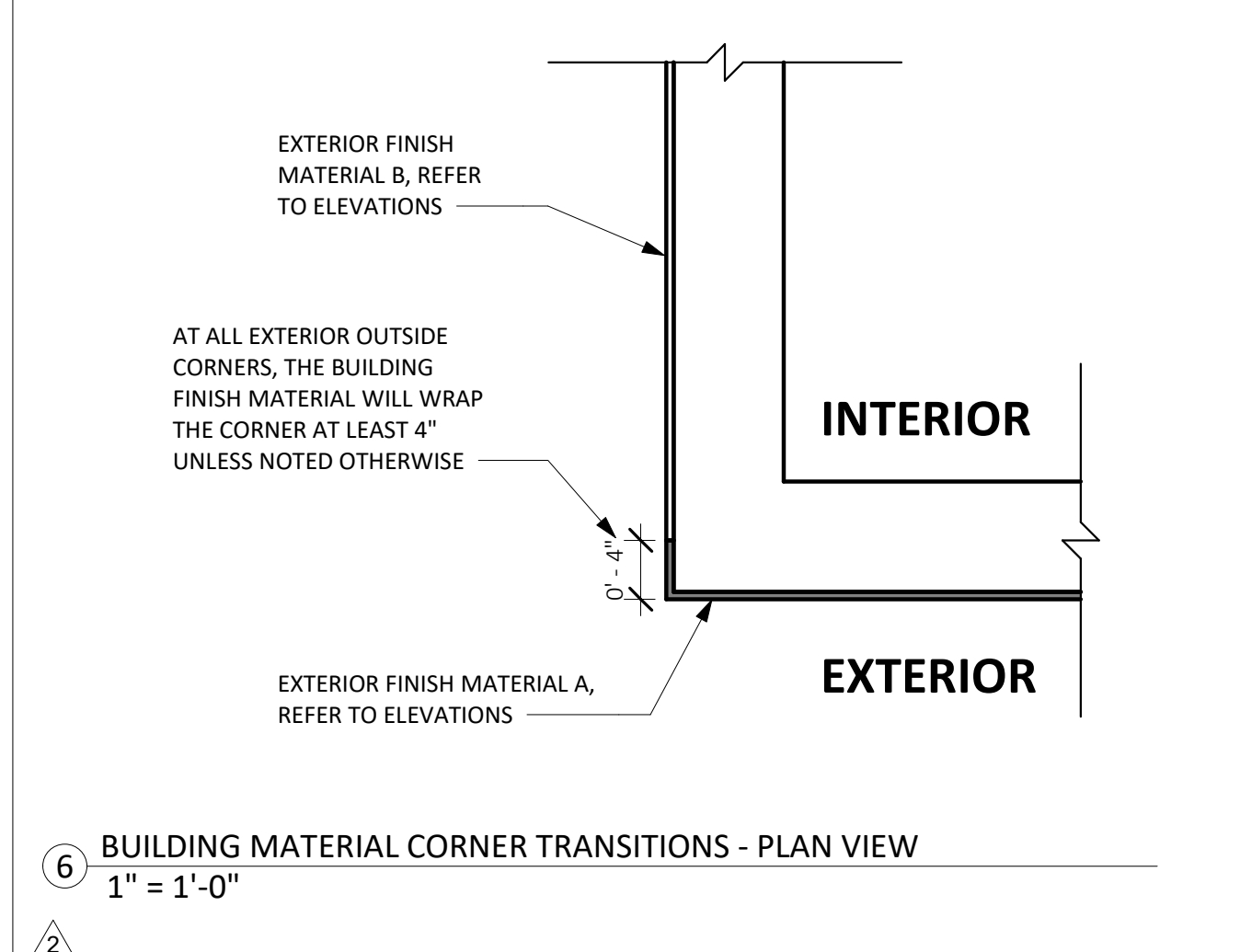
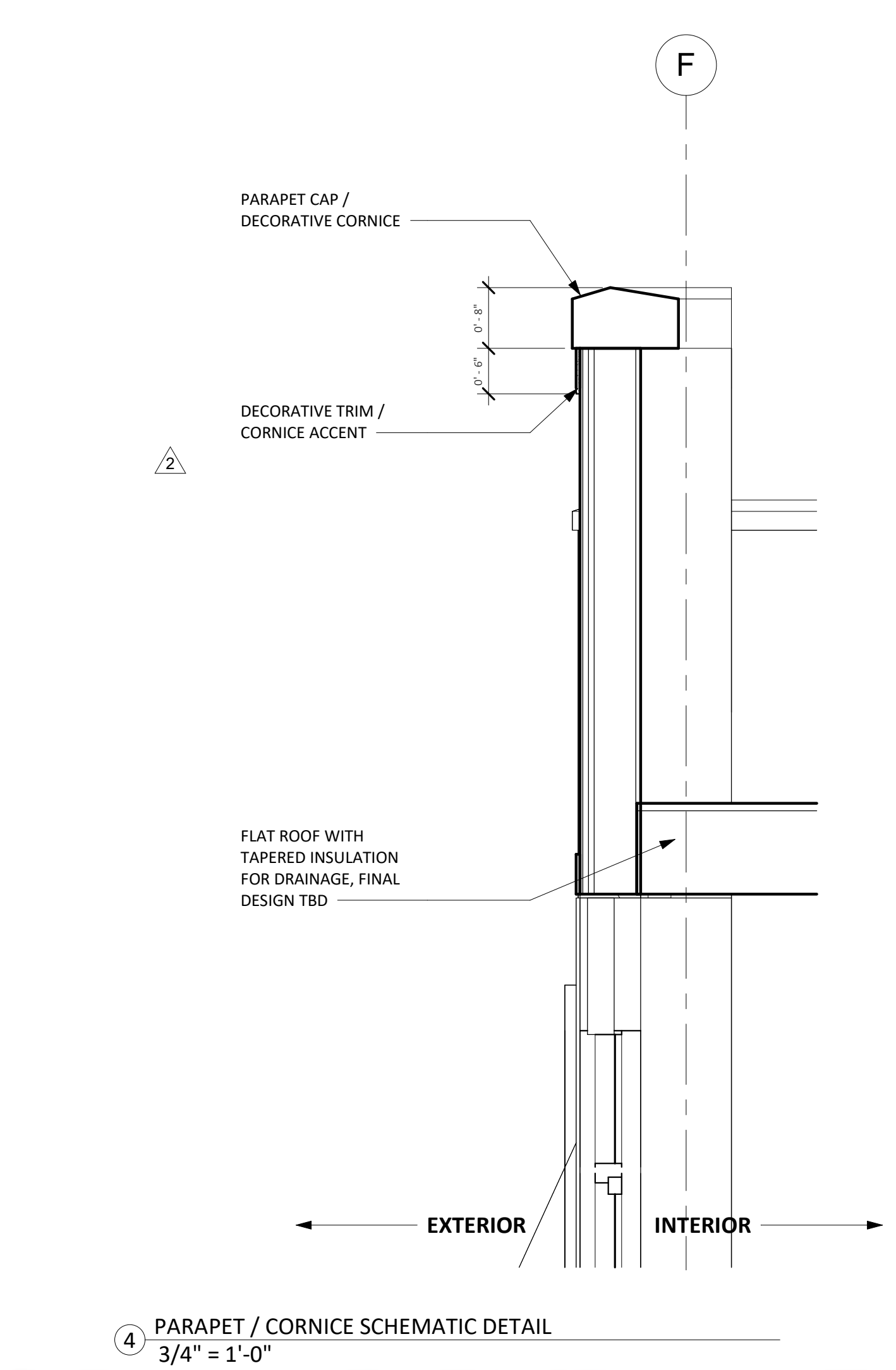
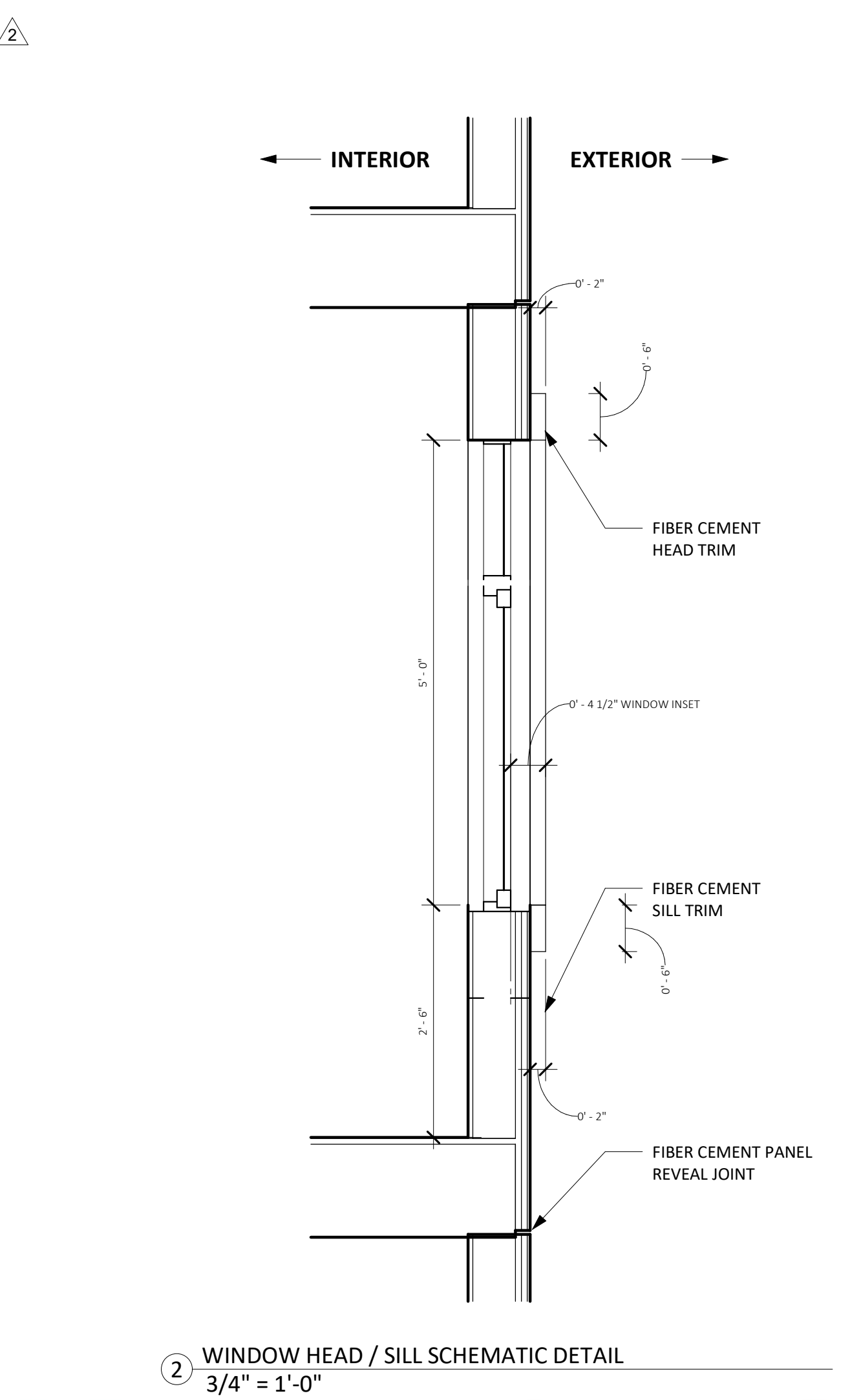
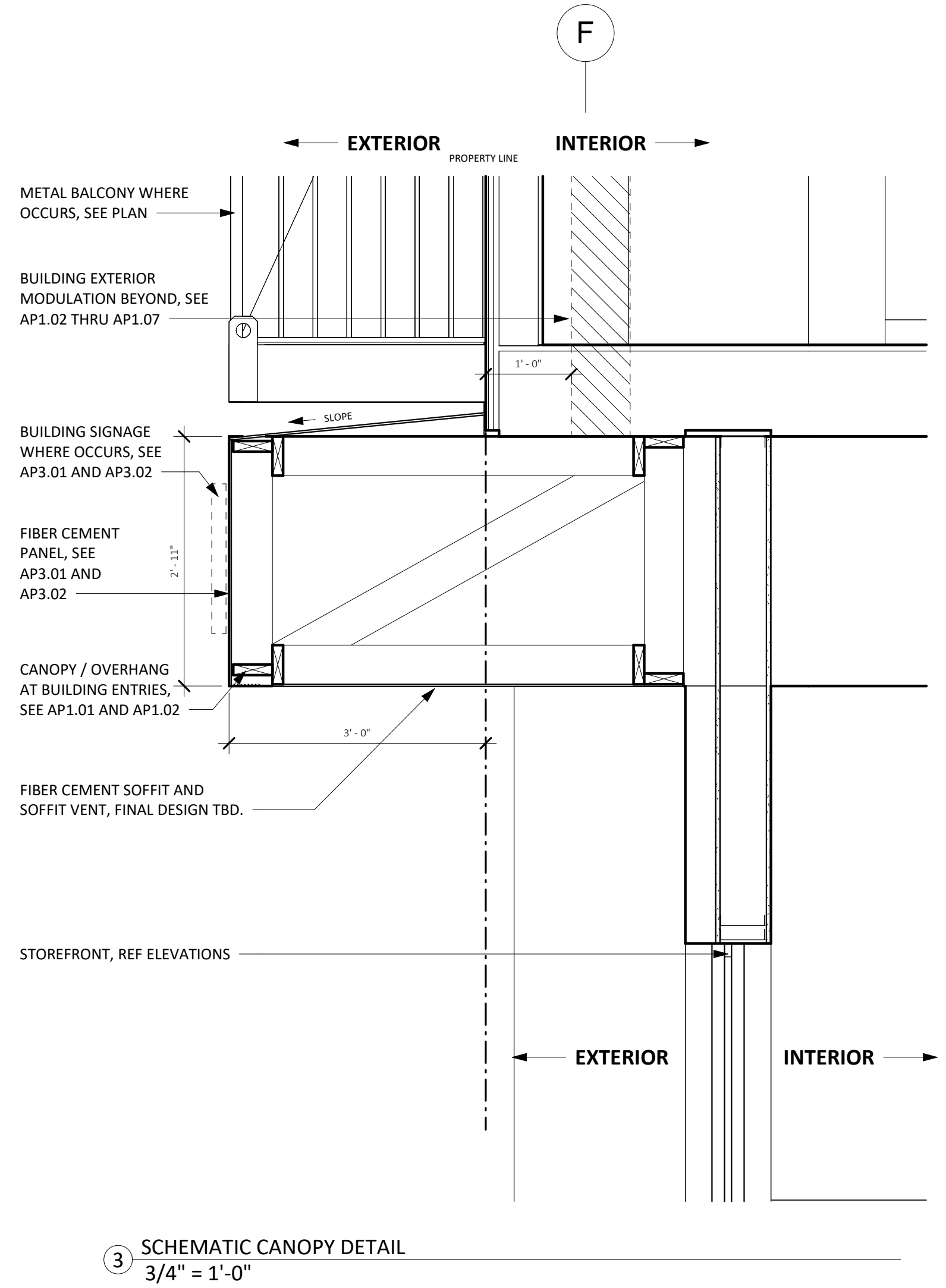
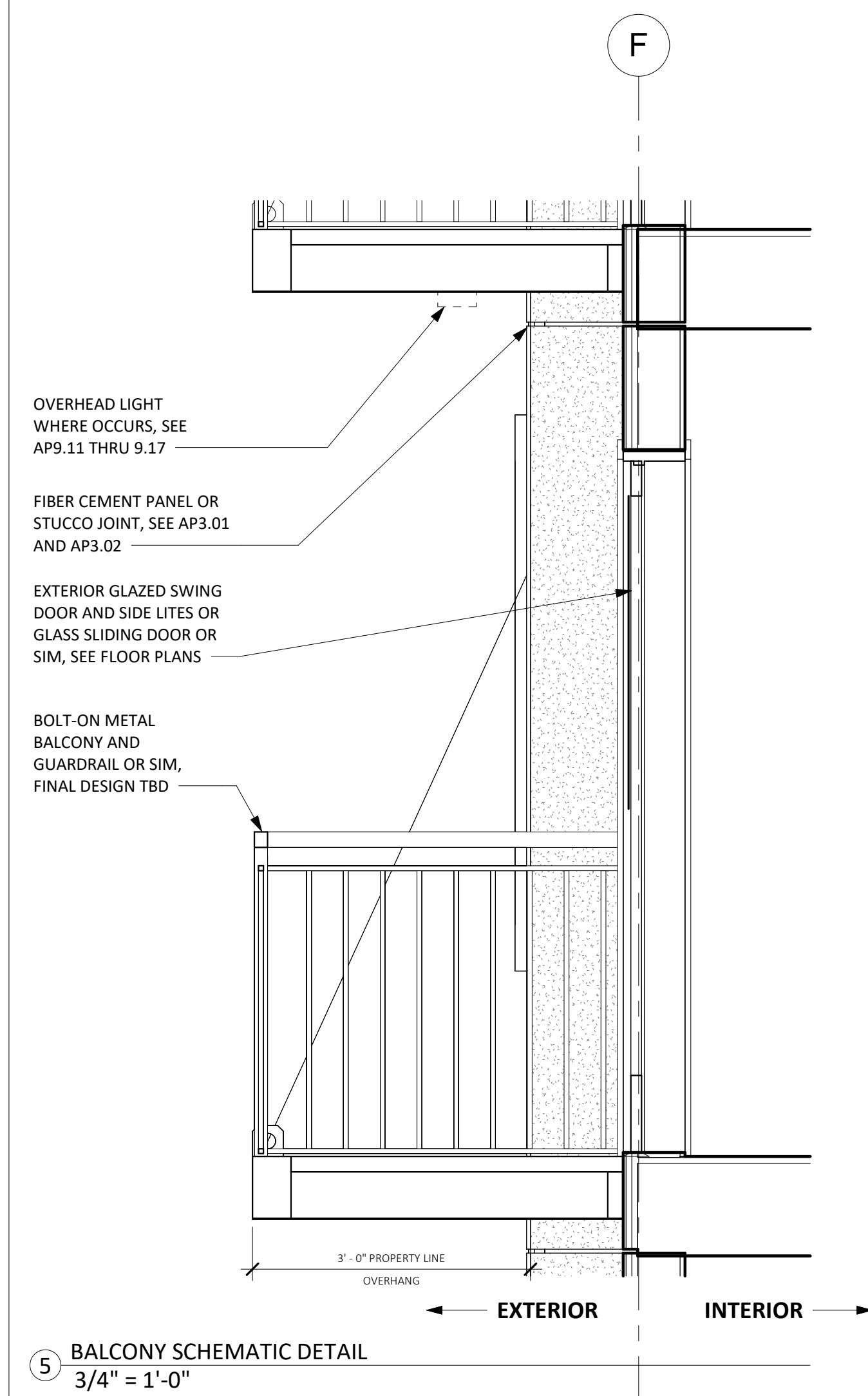
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Checked by	Checker
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SIGNAGE AND ARCHITECTURAL DETAILS
AP9.02



1 SIGNAGE DETAILS
1" = 1'-0"

NOTE
SITE SURVEY REQUIRED PRIOR TO FABRICATION.

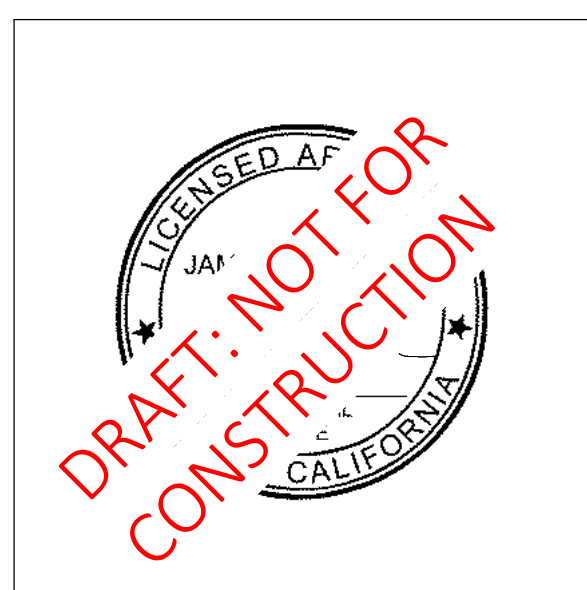
NOTE:
SIGNAGE DESIGN IS SCHEMATIC, FINAL DESIGN TBD.

COLOR KEY
■ MP BLACK SATIN



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EXTERIOR LIGHTING PLAN - LEVEL 1

AP9.11

LIGHTING PLAN NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- LIGHTING SHOWN IS ONLY AT EXTERIOR LOCATIONS AND IS ONLY SCHEMATIC.
- SEE PLANS FOR ROOM NAMES.
- SEE SURVEY FOR PROPOSED PARCEL DIMENSIONS.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR ELEVATIONS, MATERIALS, DETAILS, DIMENSIONS AND PLANTING AREAS AT SIDEWALKS.
- SEE LIGHTING FIXTURE SCHEDULE FOR PRELIMINARY PROPOSED LIGHT FIXTURE STYLES AND FINISHES, FINAL SELECTIONS TO BE PROVIDED IN THE BUILDING PERMIT STAGE.
- FINAL LIGHTING PLAN WILL BE COORDINATED WITH SITE PHOTOMETRIC STUDIES PROVIDED BY A LIGHTING / ELECTRICAL ENGINEER IN THE BUILDING PERMIT STAGE.
- ALL LIGHT FIXTURES TO BE LOCATED 12' OR MORE FROM ROOF EDGE ALONG THE REAR FACE OF THE BUILDING THAT OVERLOOKS THE RL DISTRICT PER SCMC 24.12.185.16(e)
- LIGHT FIXTURES WILL NOT EXCEED 1260 LUMENS IN BRIGHTNESS OR 3000K IN COLOR PER SCMC 24.12.185.16(a)
- BUILDING FACES SHALL BE ILLUMINATED SUCH THAT SURFACES LOCATED AT LEAST TEN HORIZONTAL FEET AWAY FROM BUILDING ENTRIES SHALL HAVE AT LEAST SIXTY-SIX PERCENT LESS LUMINANCE THAN SURFACES WITHIN TEN HORIZONTAL FEET OF BUILDING ENTRIES PER SCMC 24.12.185.16(g)

DRAFT LIGHTING FIXTURE SCHEDULE



F1 - WALL MOUNT LED DOWNLIGHT
B.O.D.: PORTICO LARGE UP & DOWNLIGHT LED OUTDOOR WALL SCNCE
FINISH: WHITE



F2 - LINEAR LED RECESSED LIGHTING
B.O.D.: SLOT 4 RECESSED LINEAR LIGHTING
FINISH: WHITE



F3 - SURFACE MOUNT LED DOWNLIGHT
B.O.D.: DESIGN CLASSICS LIGHTING FLAT LED LIGHT SURFACE MOUNT 10-INCH ROUND
FINISH: WHITE



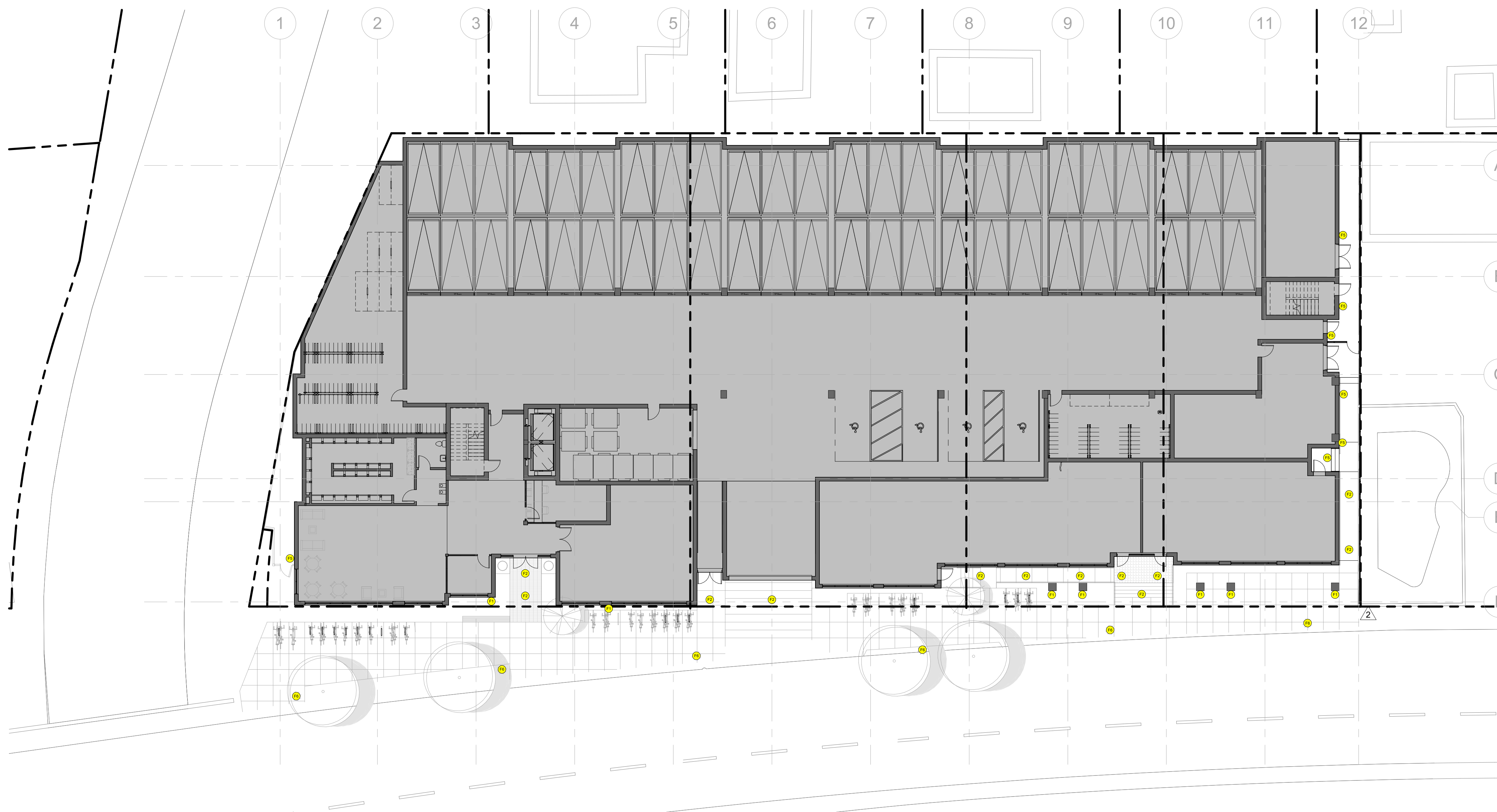
F4 - WALL MOUNT LED DOWNLIGHT
B.O.D.: TAPER 12V 2.5W 8" WIDE LED STEP LIGHT
FINISH: WHITE



F5 - WALL MOUNT LED DOWNLIGHT
B.O.D.: WATSON OUTDOOR - LED 12W - 1100 LM - 120-277V
FINISH: WHITE

F6 - STREET LIGHT

B.O.D.: PER SCMC STANDARD DETAILS
FINISH: PER SCMC STANDARD DETAILS

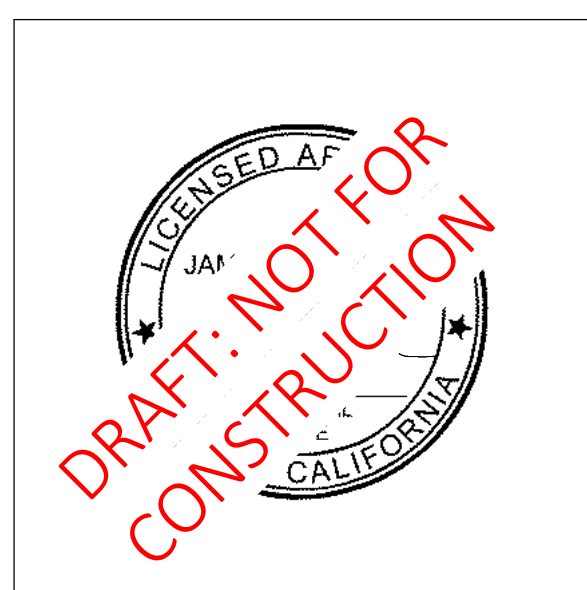


1 LIGHTING - LEVEL 1
1/16" = 1'-0"



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EXTERIOR LIGHTING
 PLAN - LEVEL 2

AP9.12

LIGHTING PLAN NOTES

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**DRAFT LIGHTING
 FIXTURE SCHEDULE**



F1 - WALL MOUNT LED DOWNLIGHT
 B.O.D.: PORTICO LARGE UP & DOWNLIGHT LED
 OUTDOOR WALL SCENCE
 FINISH: WHITE



F2 - LINEAR LED RECESSED LIGHTING
 B.O.D.: SLOT 4 RECESSED LINEAR LIGHTING
 FINISH: WHITE



F3 - SURFACE MOUNT LED DOWLIGHT
 B.O.D.: DESIGN CLASSICS LIGHTING FLAT LED
 LIGHT SURFACE MOUNT 10-INCH ROUND
 FINISH: WHITE



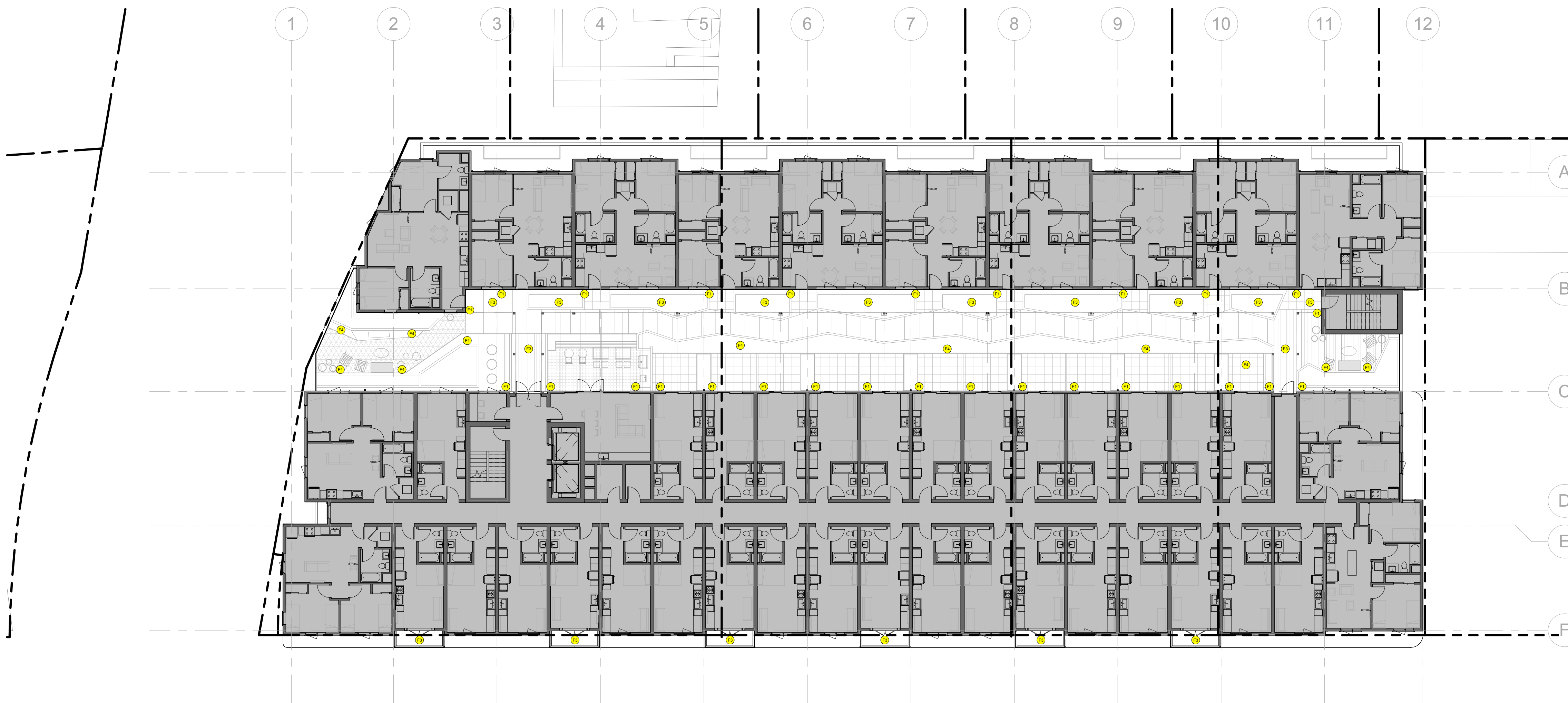
F4 - WALL MOUNT LED DOWNLIGHT
 B.O.D.: TAPER 12V 2.5W 8" WIDE LED STEP LIGHT
 FINISH: WHITE



F5 - WALL MOUNT LED DOWLIGHT
 B.O.D.: WATSON OUTDOOR - LED 12W -
 1100 LM - 120-277V
 FINISH: WHITE

F6 - STREET LIGHT

B.O.D.: PER SCMC STANDARD DETAILS
 FINISH: PER SCMC STANDARD DETAILS



① LIGHTING - LEVEL 2
 1/16" = 1'-0"



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EXTERIOR LIGHTING
 PLAN - ROOF

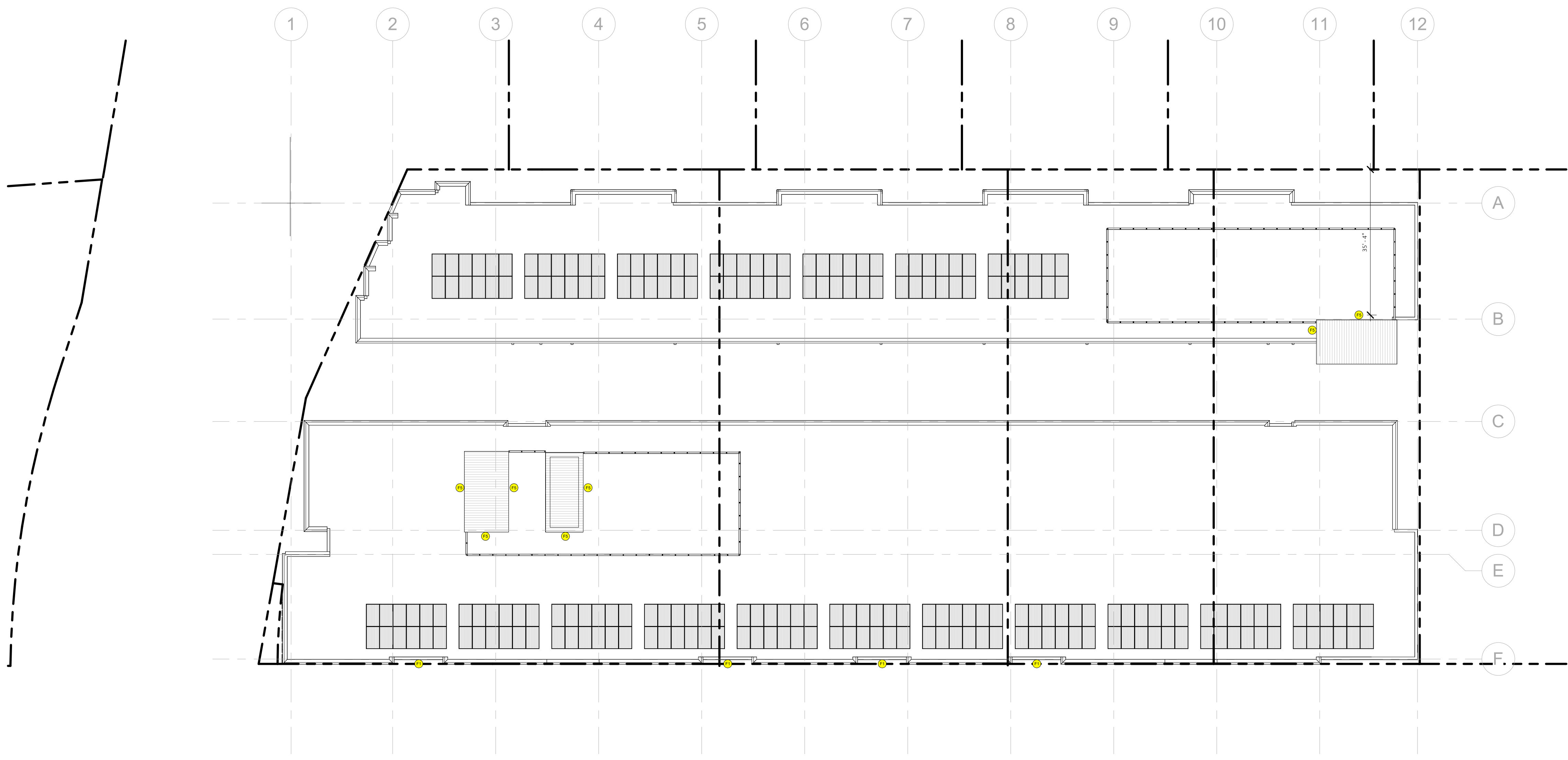
AP9.17

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DRAFT LIGHTING
 FIXTURE SCHEDULE

-  **F1 - WALL MOUNT LED DOWNLIGHT**
 B.O.D.: PORTICO LARGE UP & DOWNLIGHT LED OUTDOOR WALL SCNCE
 FINISH: WHITE
-  **F2 - LINEAR LED RECESSED LIGHTING**
 B.O.D.: SLOT 4 RECESSED LINEAR LIGHTING
 FINISH: WHITE
-  **F3 - SURFACE MOUNT LED DOWLIGHT**
 B.O.D.: DESIGN CLASSICS LIGHTING FLAT LED LIGHT SURFACE MOUNT 10-INCH ROUND
 FINISH: WHITE
-  **F4 - WALL MOUNT LED DOWNLIGHT**
 B.O.D.: TAPER 12V 2.5W 8" WIDE LED STEP LIGHT
 FINISH: WHITE
-  **F5 - WALL MOUNT LED DOWNLIGHT**
 B.O.D.: WATSON OUTDOOR - LED 12W - 1100 LM - 120-277V
 FINISH: WHITE
-  **F6 - STREET LIGHT**
 B.O.D.: PER SCMC STANDARD DETAILS
 FINISH: PER SCMC STANDARD DETAILS



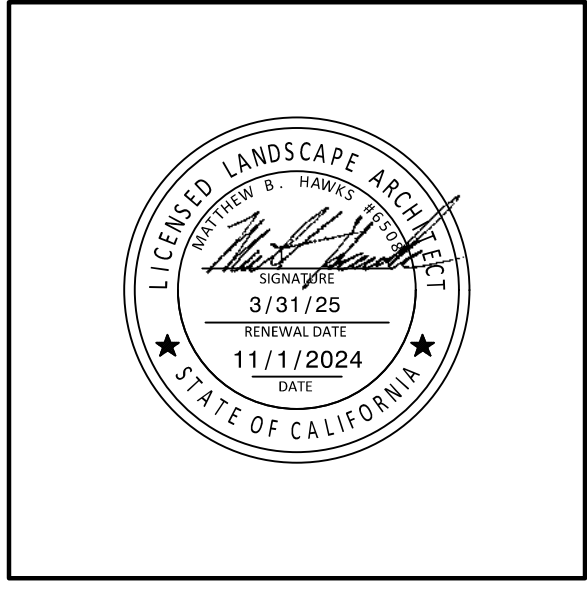
1 LIGHTING - ROOF
 1/16" = 1'-0"



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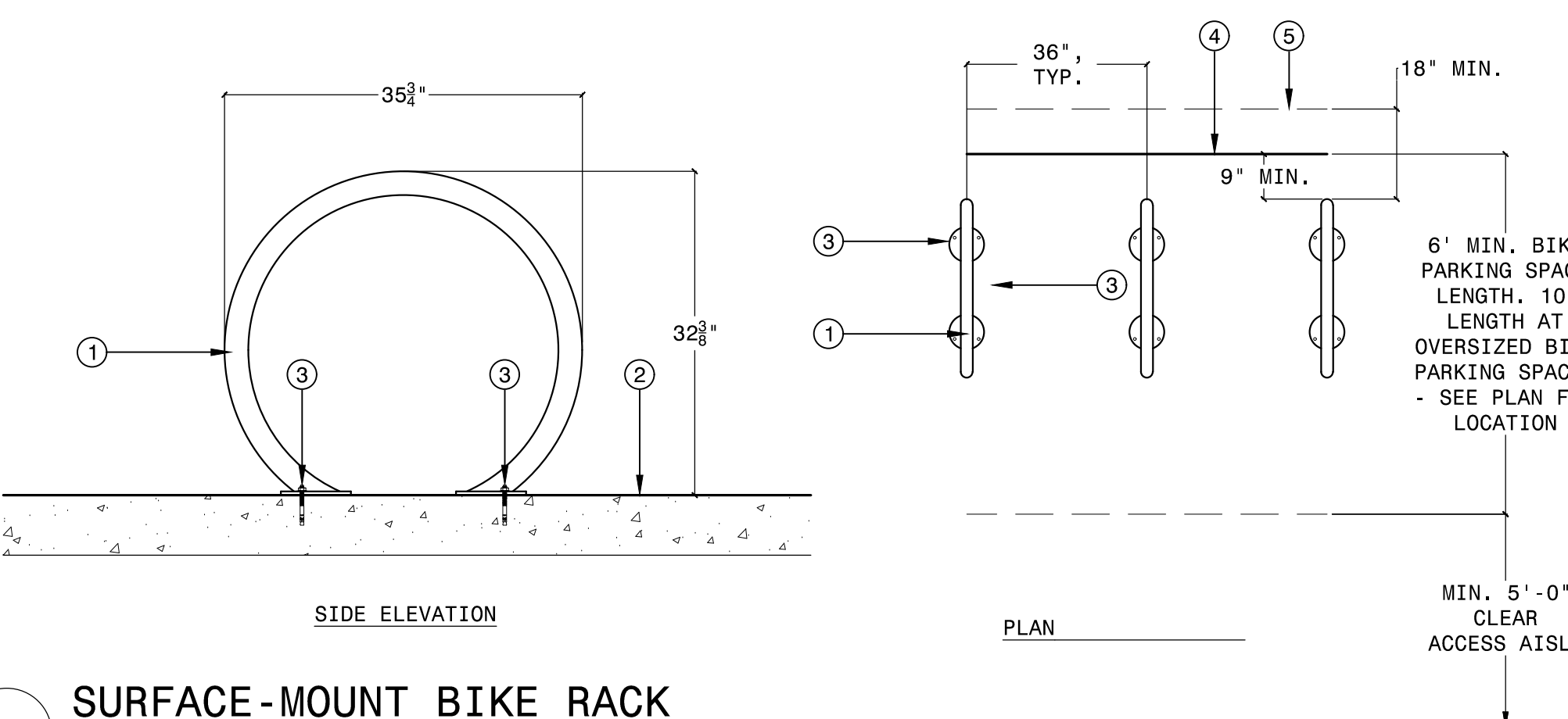
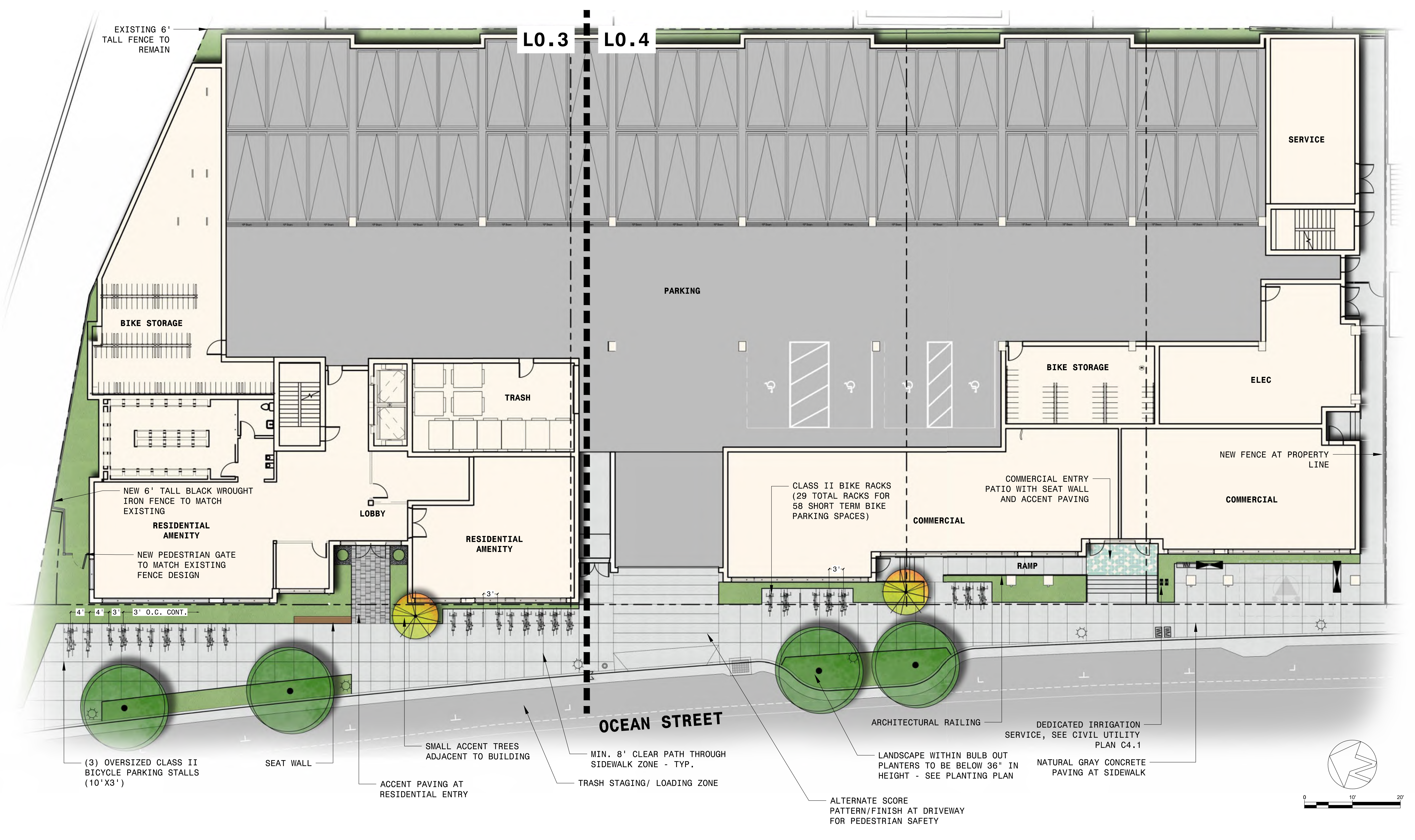


ARTHAUS OCEAN
530, 542 & 548 OCEAN STREET
SANTA CRUZ, CA 95060



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
	PLANNING SUBMITTAL SET	8.16.2024
	PLANNING REV-01	11.1.2024
APN number	010-011-16, 31, 30	
Project number	23154	
Print Date	11.01.2024	
Drawn by	AR	
Checked by	MBH	
Scale	SEE PLAN	

SITE LANDSCAPE CONCEPT
L0.1

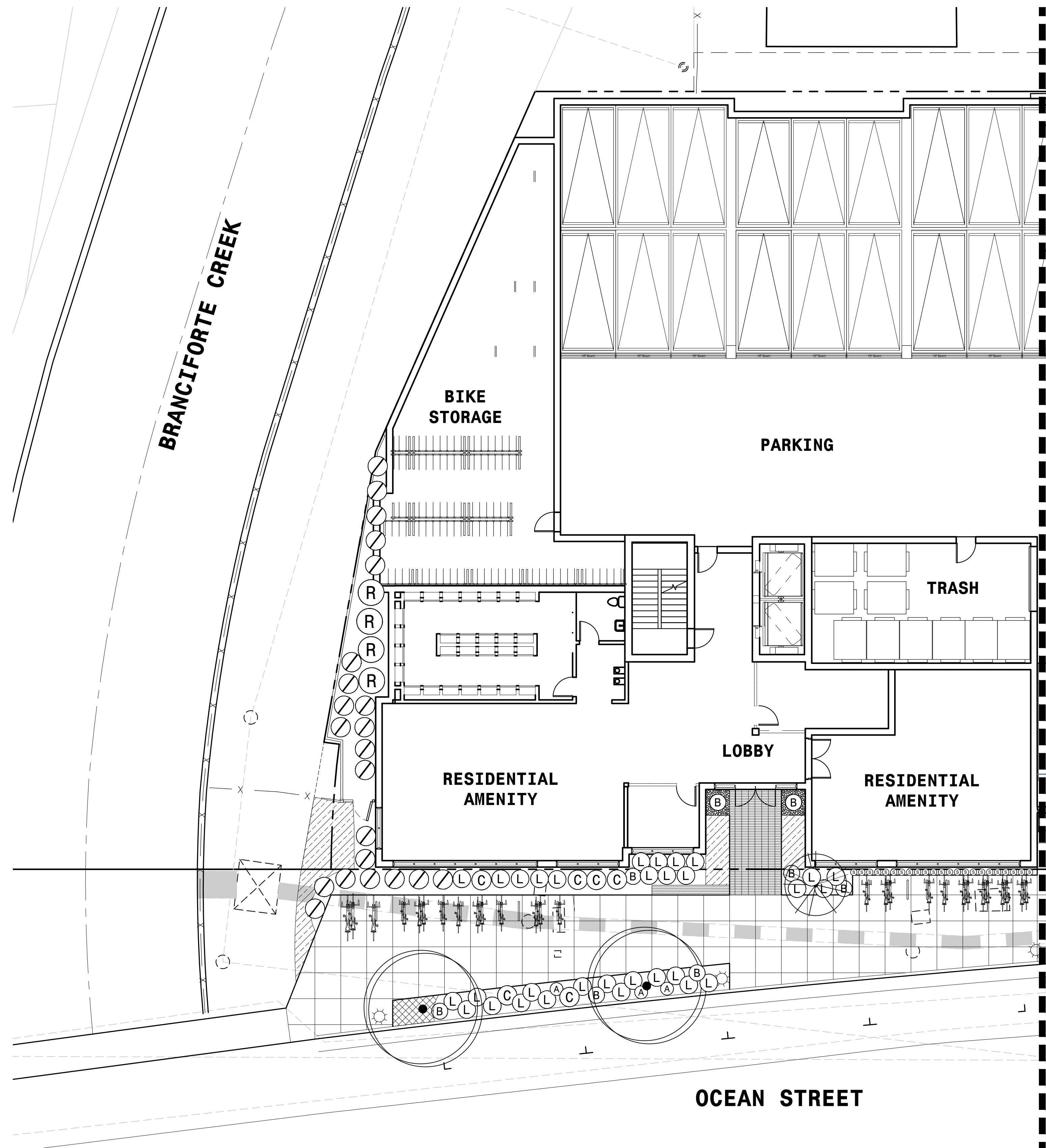


- ① CIRCULAR BIKE RACK - PRODUCT TO BE SELECTED
- ② PAVING PER PLAN
- ③ 3/8" X 4" L MIN. GALVANIZED STEEL WEDGE ANCHOR (TYP. OF 4 PER RACK)
- ④ EDGE OF PAVING - WHERE OCCURS
- ⑤ WALL OR PHYSICAL OBSTRUCTION - WHERE OCCURS

PUBLIC FRONTAGE LANDSCAPING

REQUIREMENT: 12 SF OF LANDSCAPE FOR EACH 30 LINEAR FEET OF BUILDING FRONTAGE.

LINEAR FEET OF BUILDING: 265 SF
REQUIRED LANDSCAPE ALONG OCEAN ST FRONTAGE: 108 SF
LANDSCAPE PROVIDED ALONG OCEAN ST FRONTAGE: 1,224 SF

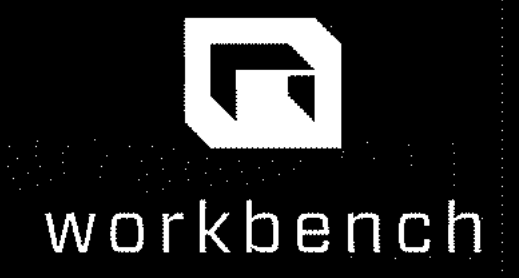


MATCHLINE, SEE LO.4

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY	WATER USE	
TREES					
	ARBUTUS UNEDO 'COMPACTA' COMPACT STRAWBERRY TREE	15 GAL	9	LOW	
	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE MULTI-TRUNK	15 GAL	2	LOW	
	CORNUS FLORIDA FLOWERING DOGWOOD	15 GAL	2	MEDIUM	
	GEIJERA PARVIFLORA AUSTRALIAN WILLOW	15 GAL	4	MEDIUM	
SHRUBS					
	AGAVE CELSII 'NOVA' NOVA CENTURY PLANT	1 GAL	7	LOW	
	AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	20	LOW	
	CHONDROPETALUM TECTORUM SMALL CAPE RUSH	5 GAL	49	LOW	
	CLEMATIS ARMANDII 'APPLE BLOSSOM' EVERGREEN CLEMATIS	5 GAL	5	MEDIUM	
	DIANELLA CAERULEA 'DBB03' CASSA BLUE™ FLAX LILY	5 GAL	76	MEDIUM	
	LOMANDRA LONGIFOLIA 'BREEZE' BREEZE™ MAT RUSH	1 GAL	54	LOW	
	LOMANDRA X 'LOMLON' LIME TUFF™ DWARF MAT RUSH	1 GAL	68	LOW	
	LYSIMACHIA NUMMULARIA CREEPING JENNY	4" POT	76	MEDIUM	
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	5 GAL	22	LOW	
	MAHONIA X 'SOFT CARESS' SOFT CARESS MAHONIA	5 GAL	5	LOW	
	PODOCARPUS MACROPHYLLUS 'MAKI' MAKI YEW PODOCARPUS	5 GAL	18	MEDIUM	
	POLYSTICHUM MUNITUM WESTERN SWORD FERN	1 GAL	16	MEDIUM	
	RHAMNUS CALIFORNICA 'LITTLE SUR' LITTLE SUR COFFEEBERRY	1 GAL	4	LOW	
	SANSEVIERIA TRIFASCIATA SNAKE PLANT	1 GAL	46	LOW	
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY	WATER USE
GROUND COVERS					
	CAREX GLAUCA 'BLUE ZINGER' BLUE ZINGER SEDGE	1 GAL	18" o.c.	185	MEDIUM
	CAREX TUMULICOLA FOOTHILL SEDGE	1 GAL	30" o.c.	115	LOW
	LIRIOPE MUSCARI LILYTURF	1 GAL	24" o.c.	22	MEDIUM
	OPHIPOGON JAPONICUS MONDO GRASS	1 GAL	18" o.c.	17	MEDIUM
	SISYRINCHIUM BELLUM BLUE-EYED GRASS	1 GAL	18" o.c.	15	LOW

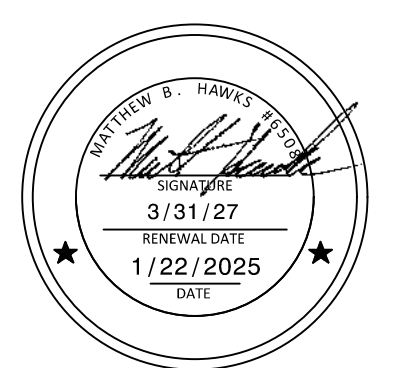
- NOTES:**
- SEE SHEET LO.6 FOR PLANT IMAGERY
 - ALL PLANTING AREAS TO RECEIVE 3" LAYER BARK MULCH.
 - STREET TREES TO BE PLANTED PER CITY TREE PLANTING DETAIL - DWG NO. 15 OF 20 ON SHEET LO.6



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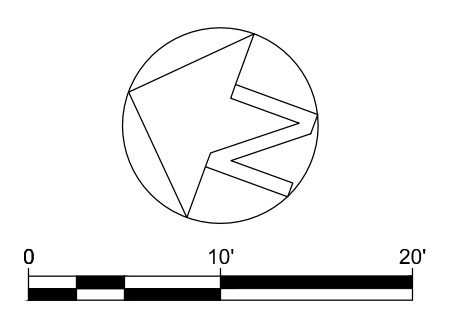
ISSUES/ REVISIONS

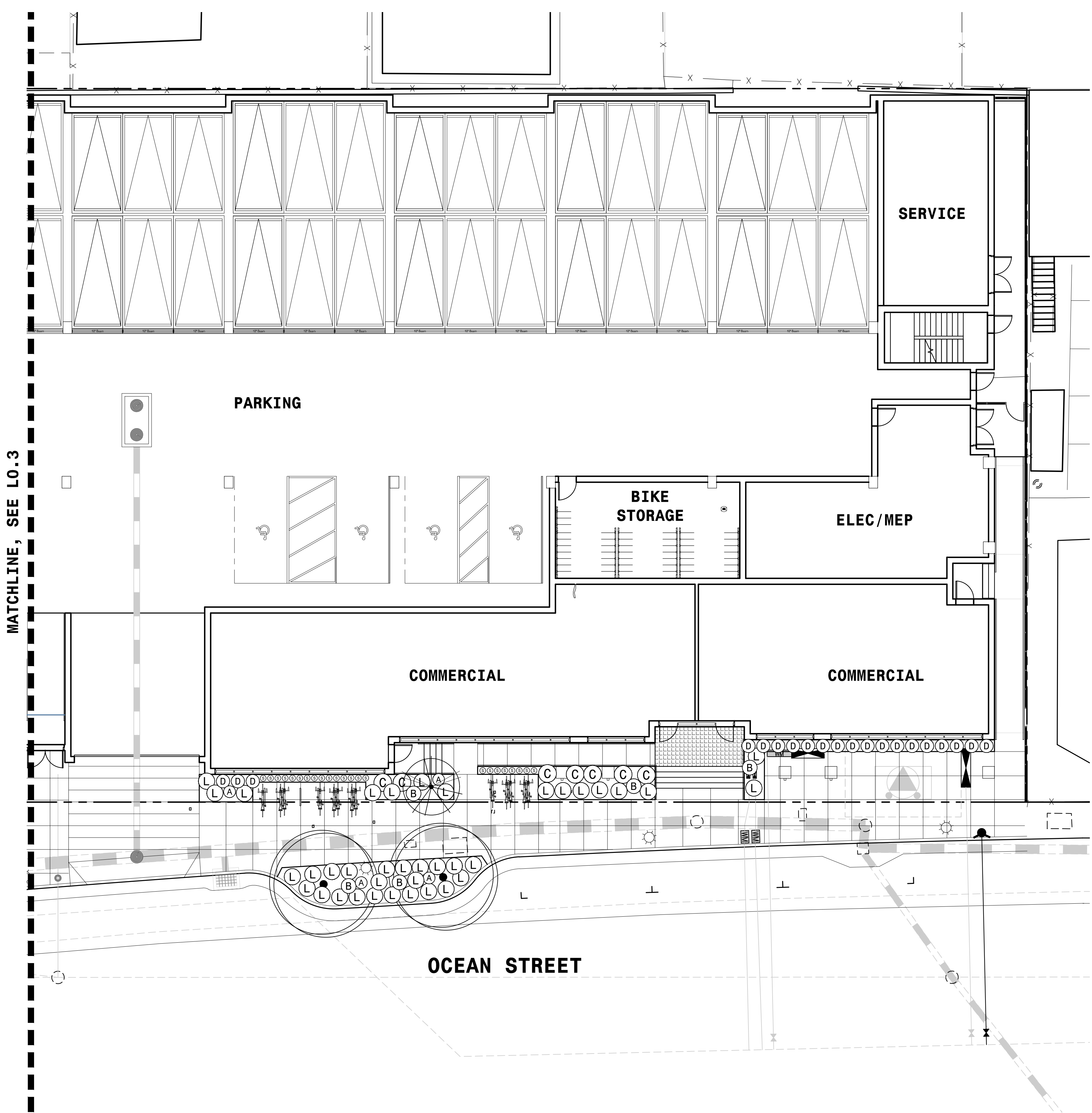
Issue	DESCRIPTION	DATE
1	PLANNING SUBMITTAL SET	8.16.2024
2	PLANNING REV-01	11.1.2024
3	PLANNING REV-02	01.22.2025

APN number	010-011-16, 31, 30
Project number	23154
Print Date	01.22.2025
Drawn by	AR
Checked by	MBH
Scale	SEE PLAN

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PRELIMINARY PLANTING PLAN
L0.3





MATCHLINE, SEE LO.3

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY	WATER USE	
TREES					
	ARBUTUS UNEDO 'COMPACTA' COMPACT STRAWBERRY TREE	15 GAL	9	LOW	
	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE MULTI-TRUNK	15 GAL	2	LOW	
	CORNUS FLORIDA FLOWERING DOGWOOD	15 GAL	2	MEDIUM	
	GEIJERA PARVIFLORA AUSTRALIAN WILLOW	15 GAL	4	MEDIUM	
SHRUBS					
	AGAVE CELSII 'NOVA' NOVA CENTURY PLANT	1 GAL	7	LOW	
	AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	20	LOW	
	CHONDRPETALUM TECTORUM SMALL CAPE RUSH	5 GAL	49	LOW	
	CLEMATIS ARMANDII 'APPLE BLOSSOM' EVERGREEN CLEMATIS	5 GAL	5	MEDIUM	
	DIANELLA CAERULEA 'DBB03' CASSA BLUE™ FLAX LILY	5 GAL	76	MEDIUM	
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	RHAMNUS CALIFORNICA 'LITTLE SUR' LITTLE SUR COFFEEBERRY	1 GAL	4	LOW	
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SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY	WATER USE
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	LIRIOPE MUSCARI LILYTURF	1 GAL	24" o.c.	22	MEDIUM
	OPHIPOGON JAPONICUS MONDO GRASS	1 GAL	18" o.c.	17	MEDIUM
	SISYRINCHIUM BELLUM BLUE-EYED GRASS	1 GAL	18" o.c.	15	LOW

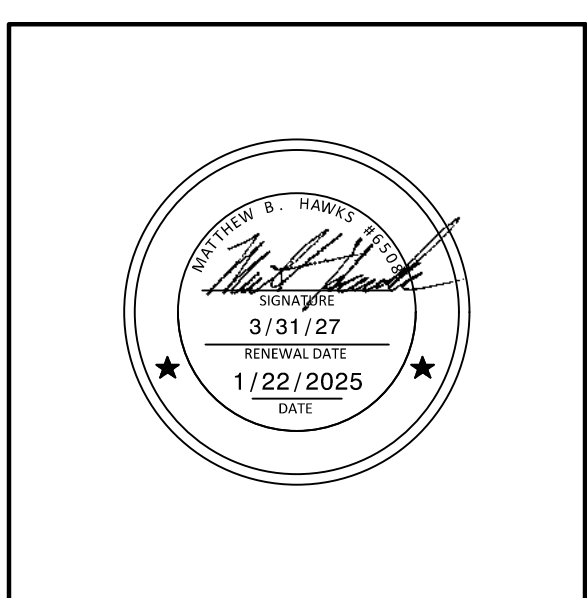
NOTES:
 1. SEE SHEET LO.6 FOR PLANT IMAGERY
 2. ALL PLANTING AREAS TO RECEIVE 3" LAYER BARK MULCH.
 3. STREET TREES TO BE PLANTED PER CITY TREE PLANTING DETAIL - DWG NO. 15 OF 20 ON SHEET LO.6



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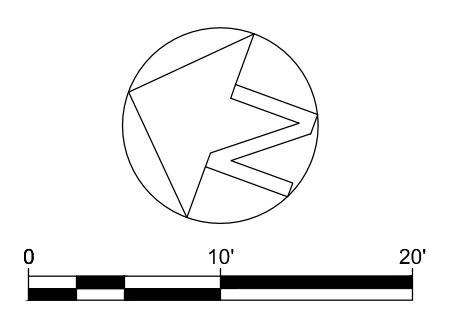
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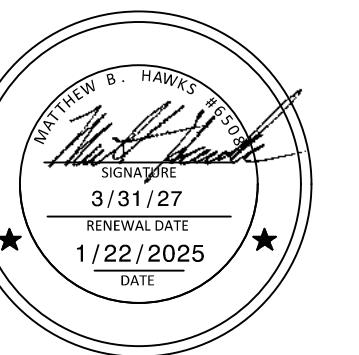
APN number	010-011-16, 31, 30
Project number	23154
Print Date	01.22.2025
Drawn by	AR
Checked by	MBH
Scale	SEE PLAN

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PRELIMINARY PLANTING PLAN
L0.4

5/17/2024 11:11:25 AM





ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
1	PLANNING SUBMITTAL SET	8.16.2024
2	PLANNING REV-01	11.1.2024
3	PLANNING REV-02	01.22.2025

APN number	010-011-16, 31, 30
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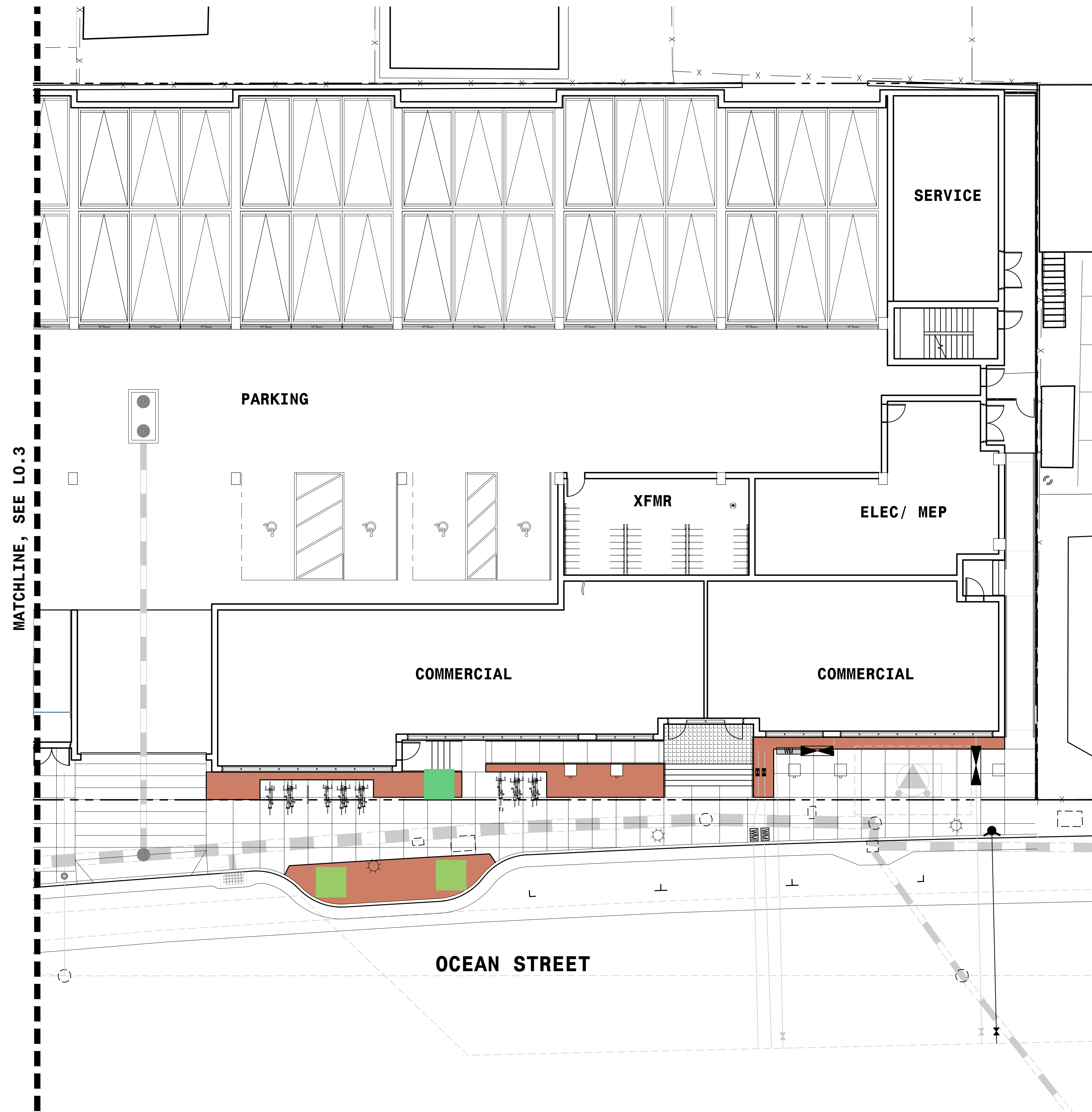
IRRIGATION
HYDROZONE PLAN

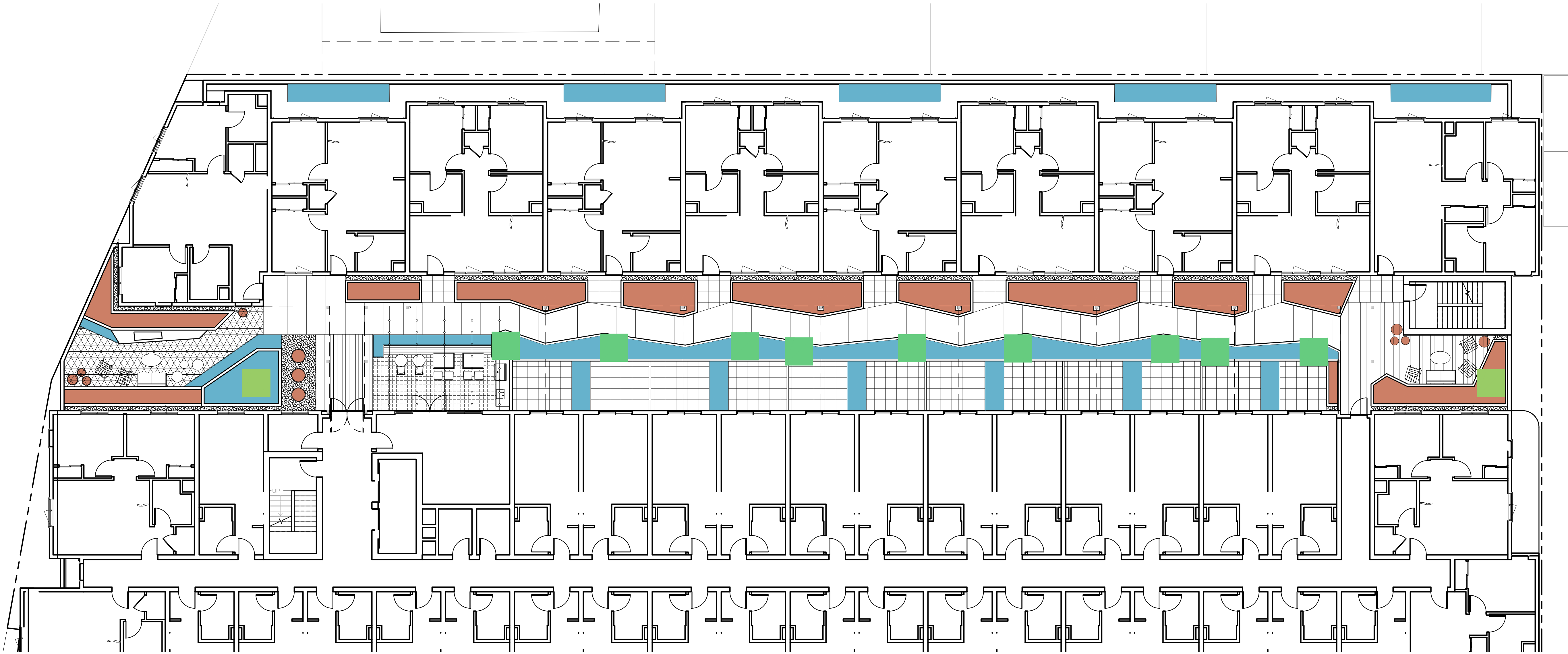
L0.8

WELO CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #12040
MAWA = (ETO) X (0.62) X [(ETAF X LA) + ((1-ETAF) X SLA)]		
ETO	SANTA CRUZ	36.7 ETo (inches/year)
ETAF		0.45
Total Project Landscaped Area		3788 LA (square feet)
Special Landscaped Area		0 SLA (square feet)
RESULTS:		38786.5 MAWA (gallons/year)

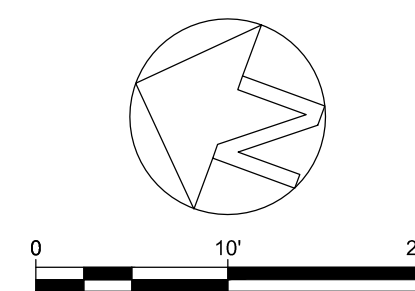
ESTIMATED TOTAL WATER USE							PROJECT # 12040
ETWU = (ETO) X (0.62) X [(PF X HA)/IE + SLA]							
HYDROZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION TYPE	IRRIGATION EFFICIENCY (IE)	HYDROZONE AREA (HA)	[(PF X HA)/IE + SLA]	
TREE	LOW	0.2	DRIP (TREE BUBBLER)	0.81	275	67.9	
TREE	MEDIUM	0.2	DRIP (TREE BUBBLER)	0.81	150	37.0	
SHRUB	LOW	0.2	DRIP	0.81	2400	592.6	
SHRUB	MEDIUM	0.2	DRIP	0.81	968	239.0	
	SLA	1			0		
	SUM				3793	936.5	
MAWA=		38,786.47	ETWU=	21,310.10	GALLONS/YEAR		
ETWU COMPLIES WITH MAWA							





WELO CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #12040
MAWA = (ETO) X (0.62) X [(ETAF X LA) + ((1-ETAF) X SLA)]		
SANTA CRUZ		
ETo		36.7 Eto (inches/year)
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Total Project Landscaped Area		3788 LA (square feet)
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ESTIMATED TOTAL WATER USE							PROJECT # 12040
ETWU = (ETO) X (0.62) X [(PF X HA)/IE + SLA]							
HYDROZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION TYPE	IRRIGATION EFFICIENCY (IE)	HYDROZONE AREA (HA)	[(PF X HA)/IE + SLA]	
TREE	LOW	0.2	DRIP (TREE BUBBLER)	0.81	275	67.9	
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SHRUB	LOW	0.2	DRIP	0.81	2400	592.6	
SHRUB	MEDIUM	0.2	DRIP	0.81	968	239.0	
	SLA	1			0		
	SUM				3793	936.5	
MAWA=		38,786.47	ETWU=		21,310.10	GALLONS/YEAR	
ETWU COMPLIES WITH MAWA							

ISSUES/ REVISIONS

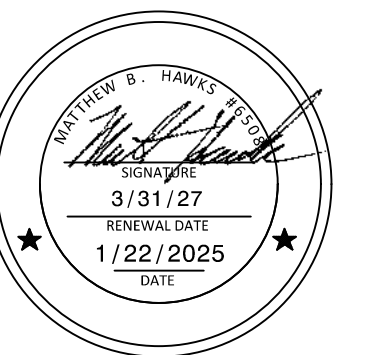
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Scale	SEE PLAN

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IRRIGATION HYDROZONE PLAN

L0.9



ISSUES/ REVISIONS

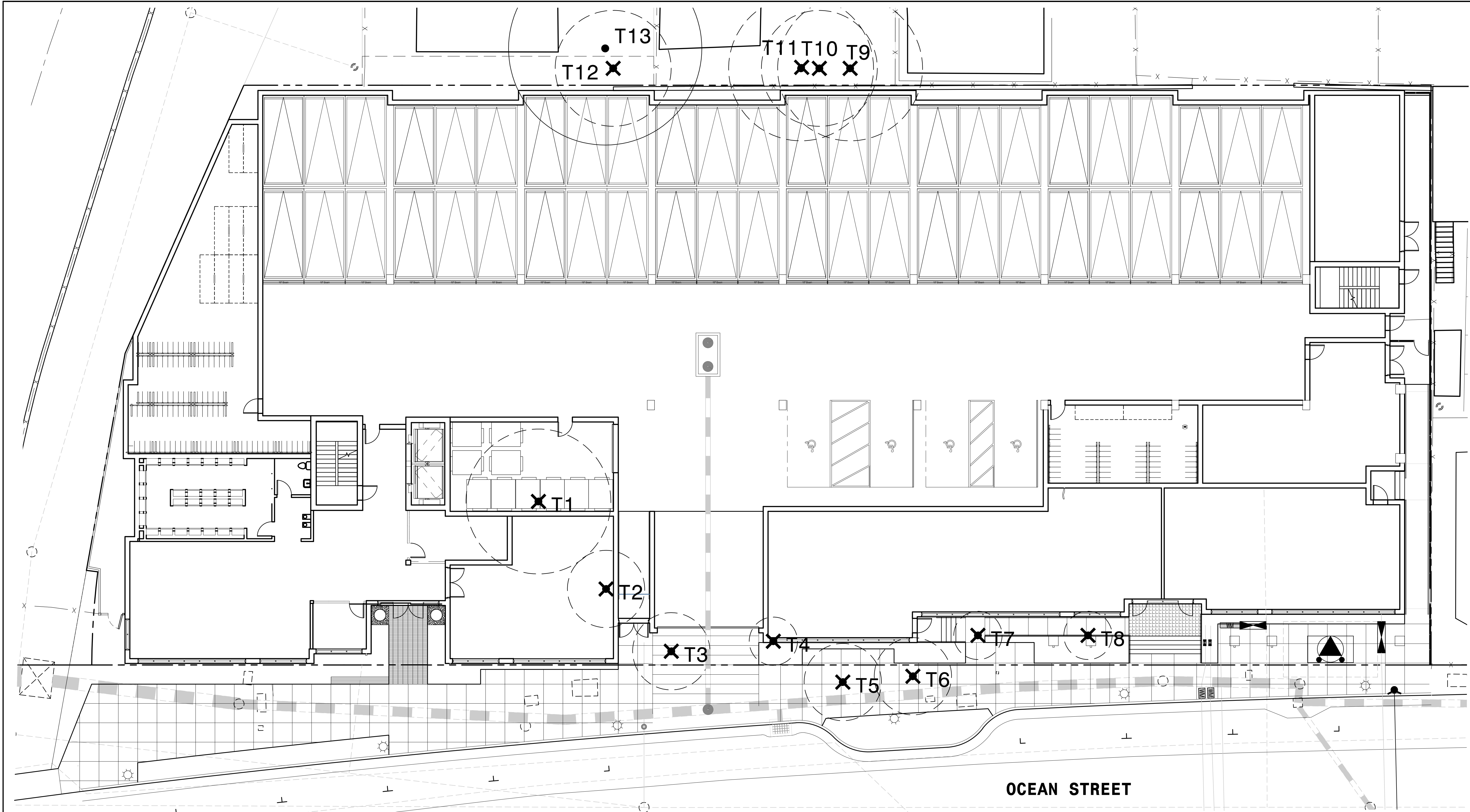
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TREE DISPOSITION PLAN

L0.10



NOTE: HERITAGE TREES T3, T5, T6, T9 AND T12 ARE PROPOSED FOR REMOVAL AND WILL REQUIRE A HERITAGE TREE REMOVAL PERMIT.

TREE INVENTORY

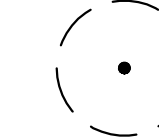

TREE NO.	BOTANICAL NAME	DBH	HERITAGE	DISPOSITION	TREE NO.	BOTANICAL NAME	DBH	HERITAGE	DISPOSITION
T1	PYRUS KAWAKAMII	13.75"	NO	REMOVE	T9	LEYLAND CYPRESS	16"	YES	REMOVE
T2	LIGUSTRUM LUCIDUM	6"	NO	REMOVE	T10	LEYLAND CYPRESS	11"	NO	REMOVE
T3	SYAGRUS ROMANZOFFIANA	14.5"	YES	REMOVE	T11	LEYLAND CYPRESS	13"	NO	REMOVE
T4	SYAGRUS ROMANZOFFIANA	11"	NO	REMOVE	T12	CALOCEDRUS DECURRENS	24"	YES	REMOVE
T5	WASHINGTONIA SPP.	19"	YES	REMOVE					
T6	WASHINGTONIA SPP.	22"	YES	REMOVE					
T7	SYAGRUS ROMANZOFFIANA	11"	NO	REMOVE					
T8	SYAGRUS ROMANZOFFIANA	12"	NO	REMOVE					

TREE REPLACEMENT TABLE

QTY	TREE SPECIES	INSTALLATION SIZE
9	ARBUTUS UNEDO 'COMPACTA'	15 GAL
2	ARBUTUS X 'MARINA'	15 GAL
2	CORNUS FLORIDA	15 GAL
4	GEIJERA PARVIFLORA	15 GAL

SEE PLANTING PLANS ON SHEET L0.3-L0.5 FOR LOCATIONS OF PROPOSED REPLACEMENT TREES.

TREE DISPOSITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING TREE
	TREE TO BE REMOVED

NOTES:

- DBH IS MEASURED 4'-6" ABOVE GRADE ON THE UPHILL SIDE OF TREE.
- ALL TREES WITH WORK OR MATERIAL STAGING WITHIN THE DRIPLINE ARE SUBJECT TO THE TREE PROTECTION MEASURES PRESCRIBED IN THE CITY OF SANTA CRUZ STANDARD TREE PROTECTION DETAILS.
- ALL TREES TO BE REMOVED SHALL HAVE THEIR STUMPS GROUND DOWN TO A MINIMUM DEPTH OF 2 FEET. REMOVE ALL LARGE ROOTS FROM PLANTING AREAS A MINIMUM DISTANCE OF 5 FEET BEYOND THE DRIPLINE OF THE TREE.