CLOCKTOWER CENTER



CORNER VIEW AT THE INTERSECTION OF NORTH PACIFIC AVENUE & KNIGHT STREET

PROJECT DIRECTORY

APPLICANT
CLOCKTOWER CENTER, LLC
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CONTRACTOR
WORKBENCH
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CIVIL ENGINEER

IFLAND ENGINEERS

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E: www.iflandengineers.com

LANDSCAPE ARCHITECT

MEGAN BISHOP LANDSCAPE ARCHITECTURE

CONTACT: MEGAN BISHOP

P.O. BOX 328 APTOS

CA 95001

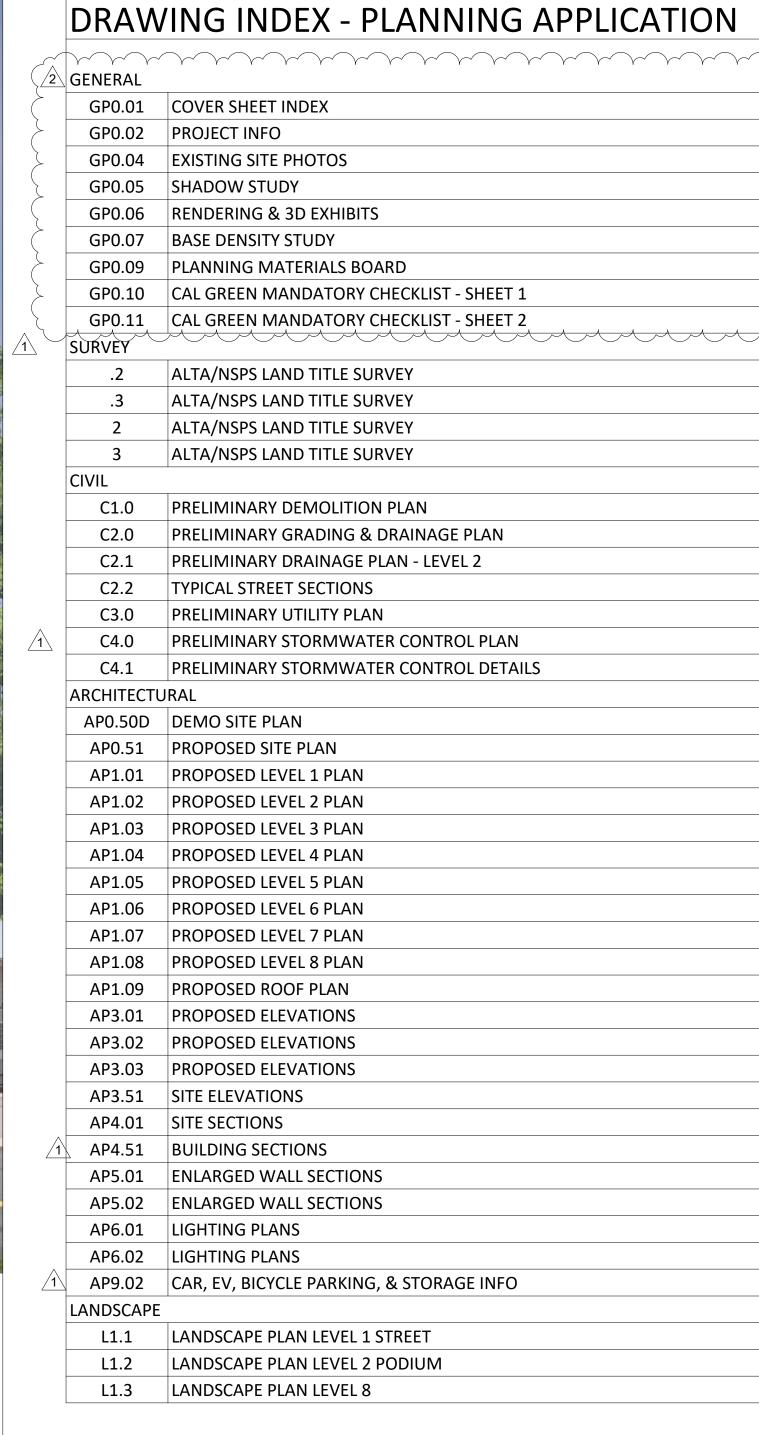
P: 831.818.9227

E: www.mb-landarch.com

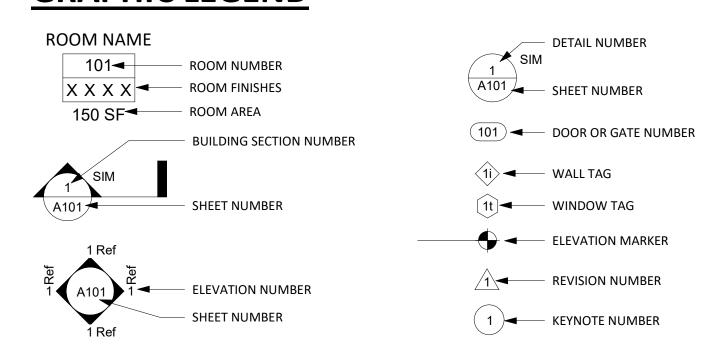
CODE INFORMATION

- 1. 2022 CALIFORNIA BUILDING CODE
- 2. 2022 CALIFORNIA RESIDENTIAL CODE
- 3. 2022 CALIFORNIA ELECTRICAL CODE
- 4. 2022 CALIFORNIA PLUMBING CODE
- 5. 2022 CALIFORNIA MECHANICAL CODE6. 2022 CALIFORNIA FIRE CODE
- 7. 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 8. 2022 CALIFORNIA ENERGY EFFICIENCY
 9. CITY OF SANTA CRUZ CODE AMENDMENTS

PLANNING REVISION - 02



GRAPHIC LEGEND





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Issue	DESCRIPT	TION	DA
1	PLANNING	REV-01	02.20
2	PLANNING	REV-02	Dat
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Proj	ect number		23
Prin	t Date	1	0/18/2
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COVER SHEET INDEX

BUILDING GROSS AREA

GROSS AREA BY USE

LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMON SPACE	NOT LIVABLE SPACE	TOTALS
LEVEL 1	0 SF	3,889 SF	13,102 SF	1,254 SF	1,788 SF	1,938 SF	0 SF	21,971 SF
LEVEL 2	8,764 SF	3,308 SF	0 SF	2,588 SF	226 SF	0 SF	3,256 SF	18,142 SF
LEVEL 3	11,438 SF	3,299 SF	0 SF	753 SF	380 SF	0 SF	6,522 SF	22,392 SF
LEVEL 4	11,443 SF	3,299 SF	0 SF	753 SF	380 SF	0 SF	6,523 SF	22,397 SF
LEVEL 5	11,443 SF	3,299 SF	0 SF	753 SF	380 SF	0 SF	6,272 SF	22,147 SF
LEVEL 6	11,078 SF	3,299 SF	0 SF	753 SF	380 SF	0 SF	6,280 SF	21,789 SF
LEVEL 7	11,080 SF	3,261 SF	0 SF	753 SF	380 SF	0 SF	5,934 SF	21,407 SF
LEVEL 8	10,172 SF	3,326 SF	0 SF	753 SF	380 SF	789 SF	4,125 SF	19,545 SF
RAND TOTALS	75,417 SF	26,978 SF	13,102 SF	8,362 SF	4,292 SF	2,727 SF	38,912 SF	169,791 SF

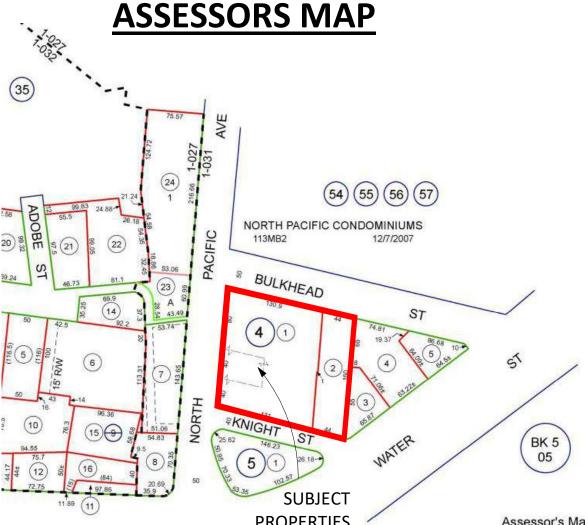
PROJECT - UNIT TOTAL COUNT

UNIT TYPE	COUNT	AVG GLA / UNIT
STUDIO	79	369.5 GLA
JR 1 BED	99	468.3 GLA
	178	424.5 GLA

CONTEXT & MOBILITY

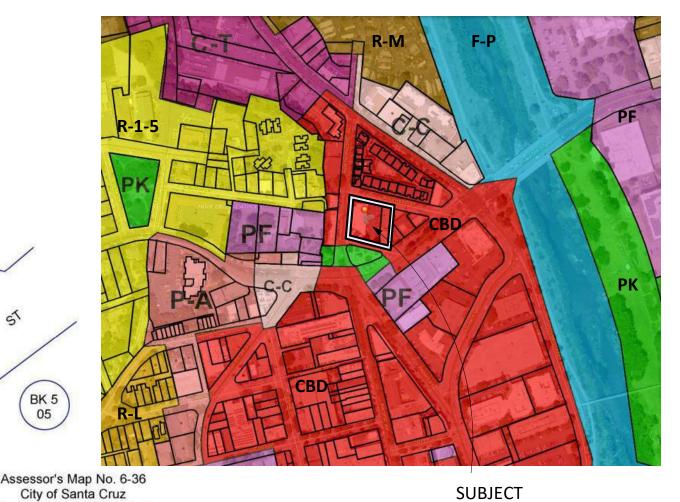


County of Santa Cruz, Calif.



Note - Assessor's Parcel & Block

ZONING MAP



PROPERTIES

PLANNING CODE NOTES

DENSITY SEE APPLICATION

35' AND 3 STORIES DEFAULT, 50' AND 4 STORIES BY DISCRETIONARY PERMIT **BUILDING HEIGHT ALLOWED:** HT. LIMIT (DOWNTOWN

93' TO ROOF, 96'-6" TO ELEV OVERRUN AND 8 STORIES (REFERENCE ELEVATIONS) PLAN, NORTH PACIFIC): PROVIDED: (SDBL WAIVER) (SDBL WAIVER)

STEPBACKS ALLOWED: DEVELOPMENT IS GENERALLY REQUIRED TO BE BUILT TO THE PROPERTY LINE ADJACENT TO PUBLIC STREETS **DOWNTOWN PLAN:** EXCEPT WHERE NEEDED TO CREATE A 12' SIDEWALK, THE BUILDING HEIGHT ABOVE 35 FEET SHALL BE STEPPED (SDBL WAIVER) BACK A MINIMUM OF TEN (10) FEET FROM THE 35 FOOT BASE HEIGHT. THE ADDITIONAL HEIGHT SHALL BE HIGHLY

ARTICULATED AND THE UPPER LEVEL SHALL GENTLY TRANSITION TO SURROUNDING DEVELOPMENT.

PROVIDED: O' SETBACK PROVIDED, SEE SITE PLAN. (SDBL WAIVER)

VEHICLE PARKING REQUIRED: NONE PER AB2097

(SDBL WAIVER) PROPOSED: **100 TOTAL SPACES**

2 STANDARD SPACES

4 ACCESSIBLE SPACES (INCLUDING 1 VAN SPACE)

94 TANDEM STACKER SPACES

12 EV READY

BICYCLE PARKING REQUIRED: RESIDENTIAL SCMC 24.12.250

COMMERCIAL 178 CLASS-I (1 PER UNIT) **2 CLASS-1** (1 PER 500 SF X 20%) **45 CLASS-II** (1 PER 4 UNITS) **5 CLASS-II** (1 PER 500 SF X 80%)

TOTAL 180 CLASS-I 50 CLASS-II

PROPOSED: **COMMERCIAL RESIDENTIAL**

220 CLASS-I 2 CLASS-I (208 STANDARD + 12 LARGE)

19 CLASS-II 5 CLASS-II

222 CLASS-I SPACES 24 CLASS-II SPACES (SDBL WAIVER)

PROJECT DATA

(SDBL WAIVER)

ADDRESSES: 2020 N. PACIFIC AVE, SANTA CRUZ, CA 95060

> 006-364-01 20,716.00 SF (SURVEY)

113 KNIGHT ST, SANTA CRUZ, CA 95060 006-364-02 6,957.00 SF (SURVEY)

27,673.00 SF (SURVEY), 0.635 ACRES

ZONING DISTRICT: CBD

RVC **GENERAL PLAN DESIGNATION:** DOWNTOWN SPECIFIC PLAN - NORTH PACIFIC **SPECIFIC PLAN DESIGNATION:**

EXISTING BUILDING AREA: 2020 N. PACIFIC AVE.

BANK BUILDING: 7,827 SF (ASSESSOR)

113 KNIGHT ST. REALTOR & BAR: 2,698 SF (ASSESSOR)

SCOPE OF WORK

THIS PROJECT IS AN APPROXIMATELY 169,791 GSF MIXED-USE, RESIDENTIAL/COMMERCIAL BUILDING. THE 8 STORY BUILDING CONSISTS OF A GROUND FLOOR PODIUM WITH 7 TOTAL RESIDENTIAL LEVELS ABOVE. THE BUILDING SPANS TWO LEGAL PARCELS ZONED "CENTRAL BUSINESS DISTRICT" (CBD) AND SEEKS TO REPLACE TWO EXISTING BUILDINGS (SEE DEMOLITION SITE PLAN).

THE GROUND FLOOR PODIUM IS MIXED-USE FEATURING COMMERCIAL SPACES FRONTING N PACIFIC AVE AND KNIGHT ST, A RESIDENTIAL LOBBY AND RESIDENTIAL AMENITIES. THE REMAINDER OF THE GROUND FLOOR IS DEDICATED TO A PARKING GARAGE THAT HOSTS BOTH COMMERCIAL AND RESIDENTIAL PARKING AS WELL AS BUILDING SERVICES INCLUDING THE TRASH ROOM AND MECHANICAL ROOMS.

THE UPPER FLOORS OF THE BUILDING FEATURE THE RESIDENTIAL UNITS, CLASS-I RESIDENT BICYCLE STORAGE, RESIDENT AMENITIES, AND BUILDING SERVICES.

ADDITIONAL SITE CONDITIONS

ADDITIONAL SITE CONDITIONS			
POINT SOURCE AIR/WATER POLLUTANTS:	NO	SPECIAL FLOOD HAZARD AREA:	A99/X*
VERY HIGH FIRE SEVERITY ZONE:	NO	DELINEATED EARTHQUAKE FAULT ZONE:	NO
ARCHAEOLOGICAL RESOURCES:	YES, HIGHLY SENSATIVE & (PARTIAL) SENSATIVE	SPECIES OF CONCERN:	NO
HISTORICAL RESOURCES:	NO	RECORDED PUBLIC EASEMENTS:	NO
WETLANDS:	NO	COASTAL ZONE:	NO
HAZARDOUS WASTE SITE:	NO	STREAM RESOURCE:	NO
LEAKING UNDERGROUND TANKS:	NO	*SEE LETTER DATED MAY 9, 2024 FROM BALA	ANCE
		HYDROLOGICS RE: FIRM STATUS	



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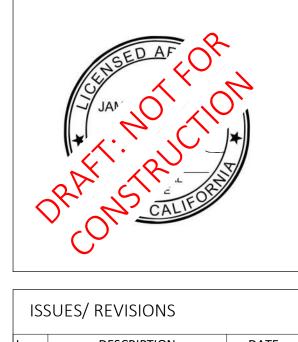
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2	PLANNING	REV-02	Date 3
APN	l number	006-3	64-01, 02
Proj	ject number		23143
Prin	t Date	10)/18/2024
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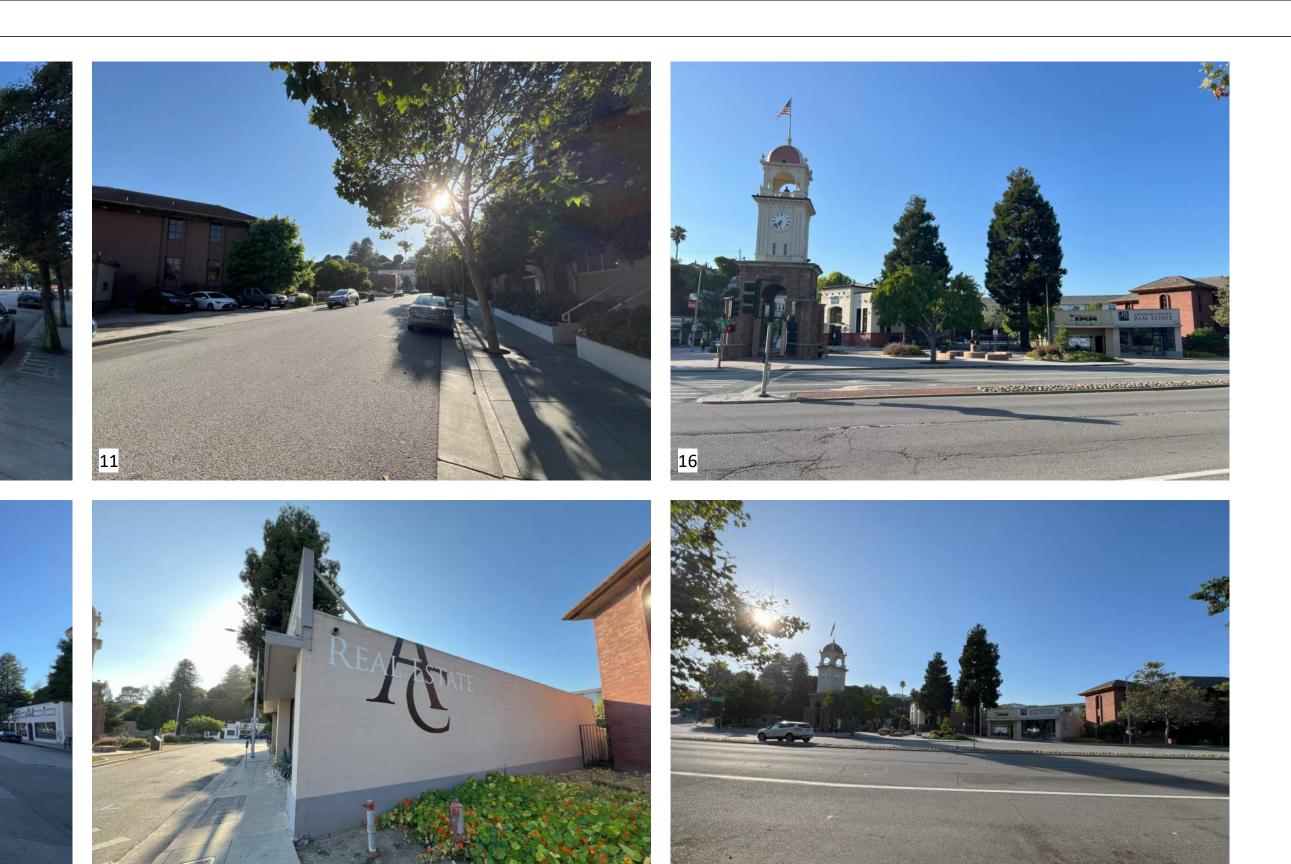
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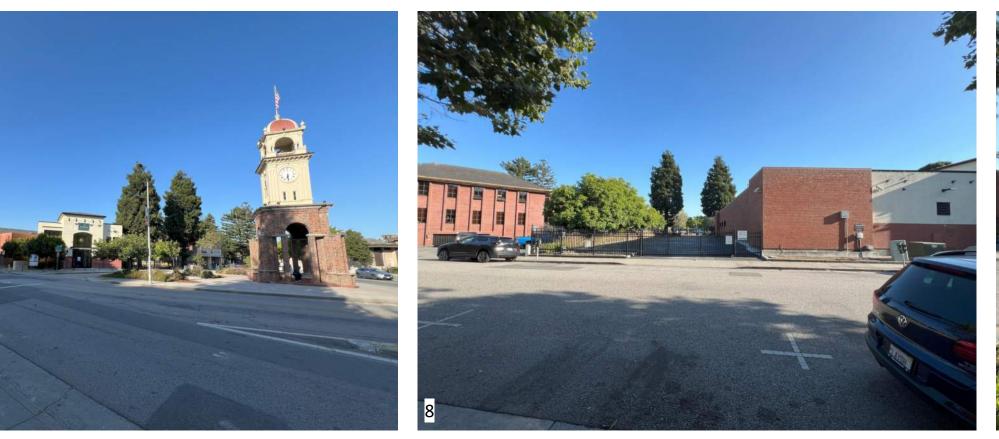


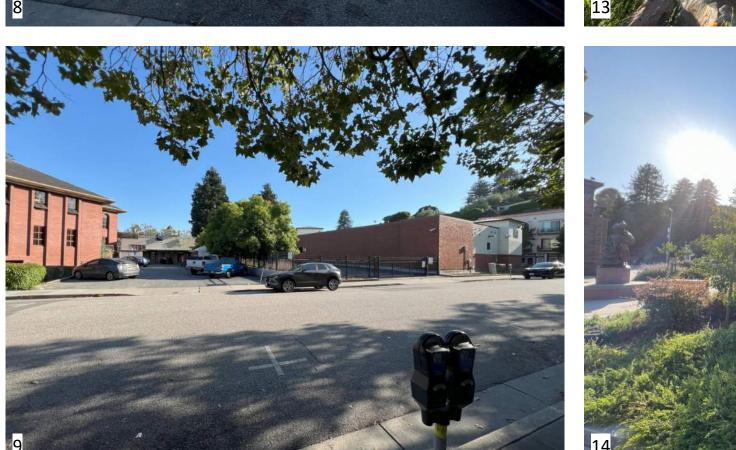


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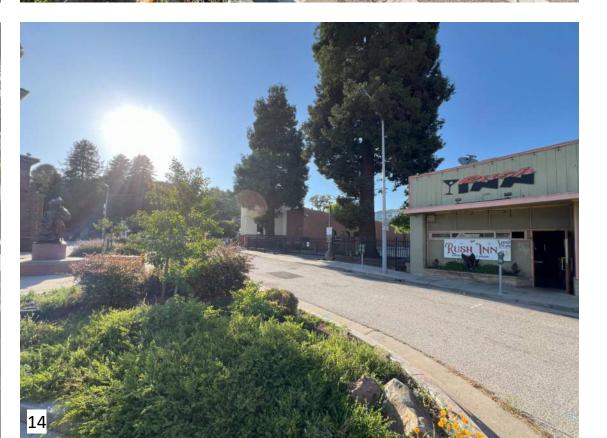
EXISTING SITE PHOTOS







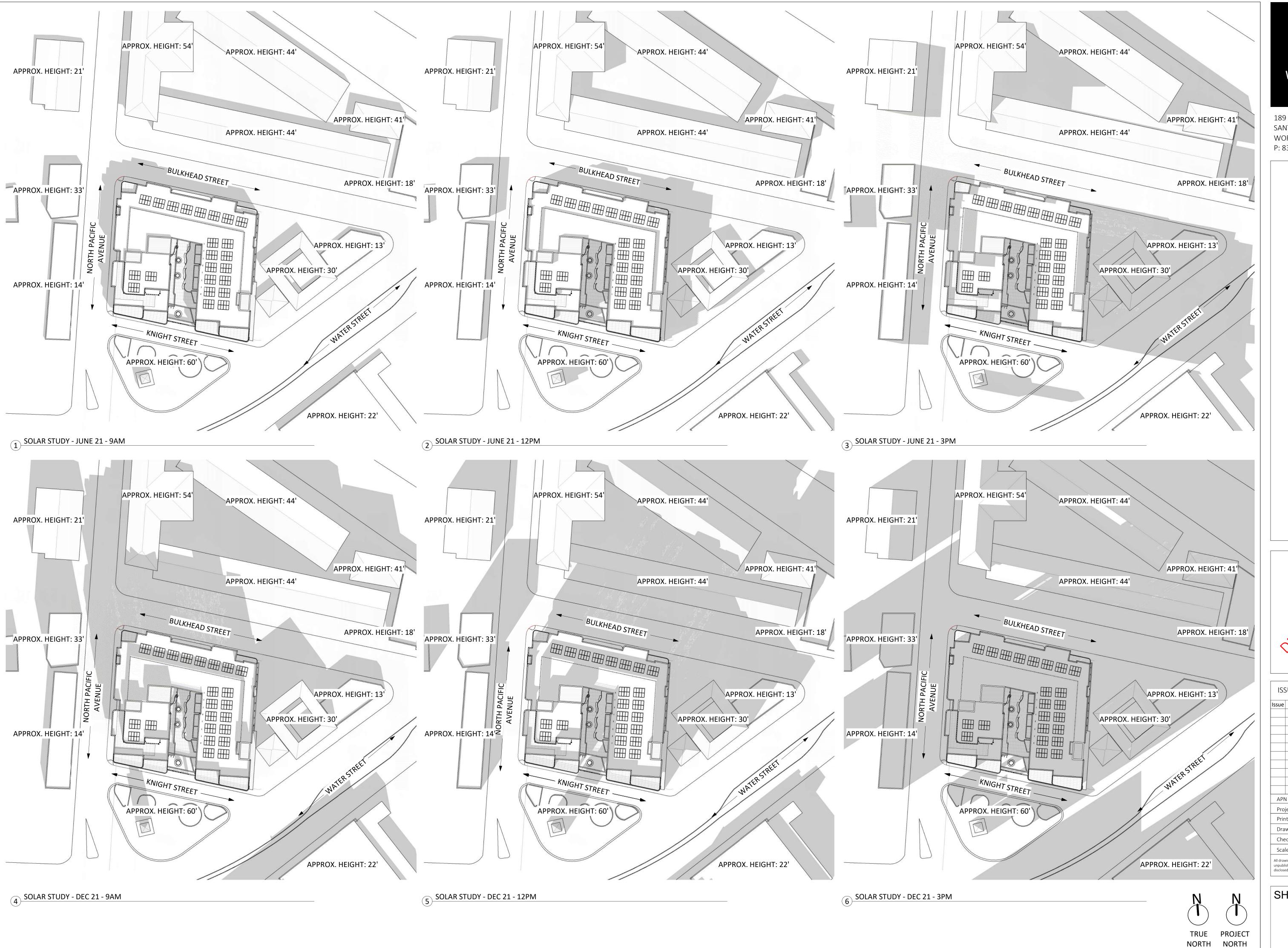












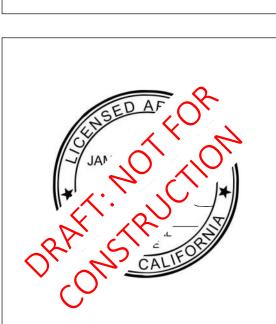


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SHADOW STUDY



A: CORNER VIEW AT THE INTERSECTION OF NORTH PACIFIC AVENUE & KNIGHT STREET



B: CORNER VIEW AT THE INTERSECTION OF NORTH PACIFIC AVENUE & BULKHEAD STREET



COCKTOWER CENTER



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RENDERING & 3D EXHIBITS

BASE DENSITY - SW

DENSITY BONUS UNIT CALCULATIONS

BASE DENSITY UNIT CALCULATIONS PER 24.16.255 (6): FOR THE PURPOSES OF CALCULATING THE NUMBER OF DENSITY BONUS UNITS IN AREAS WHERE A MAXIMUM DENSITY RANGE IS NOT PROVIDED IN THE ZONE DISTRICT OR GENERAL PLAN, AN IMPLICIT RESIDENTIAL DENSITY SHALL BE CALCULATED BASED ON A PROJECT PUT FORWARD BY THE APPLICANT THAT MEETS ALL APPLICABLE DEVELOPMENT STANDARDS. OBJECTIVE DEVELOPMENT STANDARDS SUCH AS SETBACKS, FLOOR AREA RATIO, AND HEIGHT LIMITATIONS, WHILE NOT DEFINING THE MAXIMUM DENSITY RANGE PER SE, CAN BE UTILIZED TO DETERMINE THE IMPLICIT RESIDENTIAL DENSITY ALLOWED. IN THIS APPROACH, A PROJECT DEFINES THE APPLICABLE RESIDENTIAL DENSITY FOR ITSELF BASED ON MEETING APPLICABLE DEVELOPMENT STANDARDS. THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE BASE DENSITY PROJECT MUST BE EQUAL TO OR GREATER THAN THE AVERAGE SIZE OF THE UNITS

BASE DENSITY UNITS MODELED PER OBJECTIVE STANDARDS:

LEVEL 1: 18 UNITS 37 UNITS LEVEL 2: LEVEL 3: 37 UNITS

PRESENTED IN THE DENSITY BONUS PROJECT.

92 BASE DENSITY UNITS TOTAL

					SERVICE	ACTIVE	
LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	/ MECH.	FRONTAGE USE	TOTALS
LEVEL 1	9,198 SF	2,907 SF	0 SF	1,078 SF	1,084 SF	7,182 SF	21,450 SF
LEVEL 2	20,717 SF	2,800 SF	0 SF	304 SF	559 SF	0 SF	24,379 SF
LEVEL 3	20,717 SF	2,800 SF	0 SF	304 SF	559 SF	0 SF	24,379 SF
GRAND TOTALS	50,632 SF	8,506 SF	0 SF	1,687 SF	2,202 SF	7,182 SF	70,208 SF

AVERAGE UNIT SIZE:

550.35 GSF

COMMON INDOOR AMENITY SPACE PROVIDED: BICYCLE PARKING SPACES PROVIDED: OUTDOOR SPACE PROVIDED:

1,687 GSF **100 SPACES** 40 GSF / UNIT

BONUS DENSITY UNITS CALCULATED: SEE GP0.03

SEE AP SHEETS FOR PROPOSED BUILDING



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CENTER

N PACIFIC AVE CRUZ, CA 95060



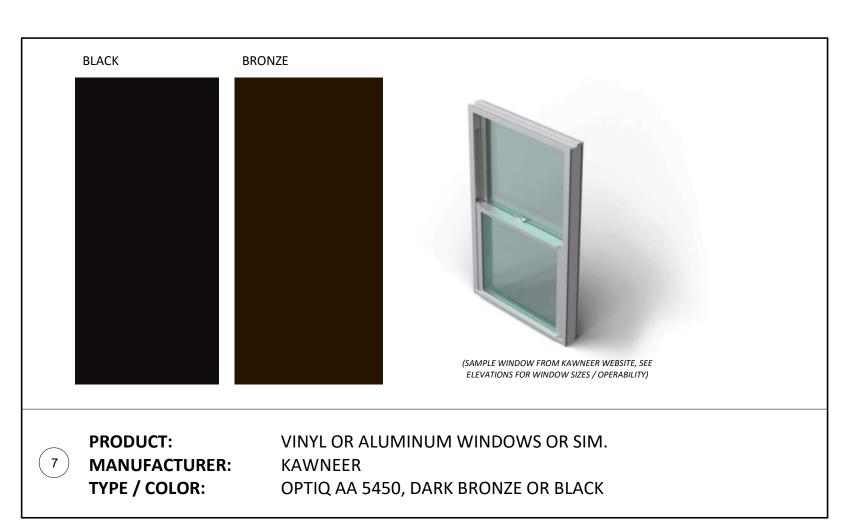
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BASE DENSITY STUDY

PROJECT

GP0.07

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PRODUCT: PERFORATED WALL / SCREEN OR SIM.

MANUFACTURER: **BOK MODERN** TYPE / COLOR: WALL SCREEN, STYLE: CO2, COLOR MATCH METAL PANEL



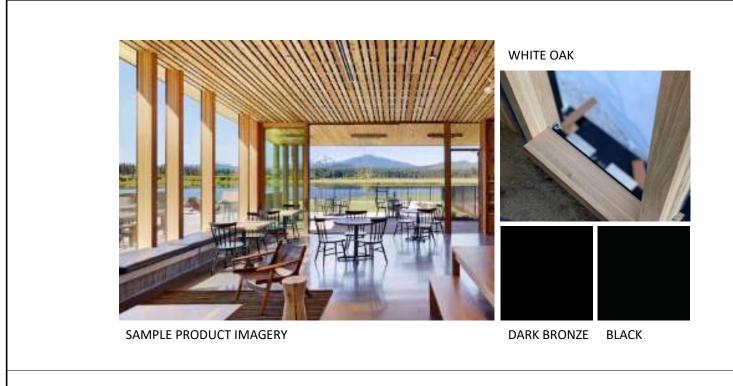
CANOPY / SUNSHADE (16) MANUFACTURER: **BOK MODERN**

DIRECT MOUNT OR BRACKETED, COLOR MATCH METAL PANEL



PRODUCT: **MANUFACTURER:** TYPE / COLOR:

WOOD-LOOK FIBER CEMENT PANEL OR SIM. VINTAGEWOOD: SPRUCE & CEDAR



PRODUCT: **MANUFACTURER:** TYPE / COLOR:

PRODUCT:

TYPE / COLOR:

GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM. SIERRA PACIFIC WINDOWS

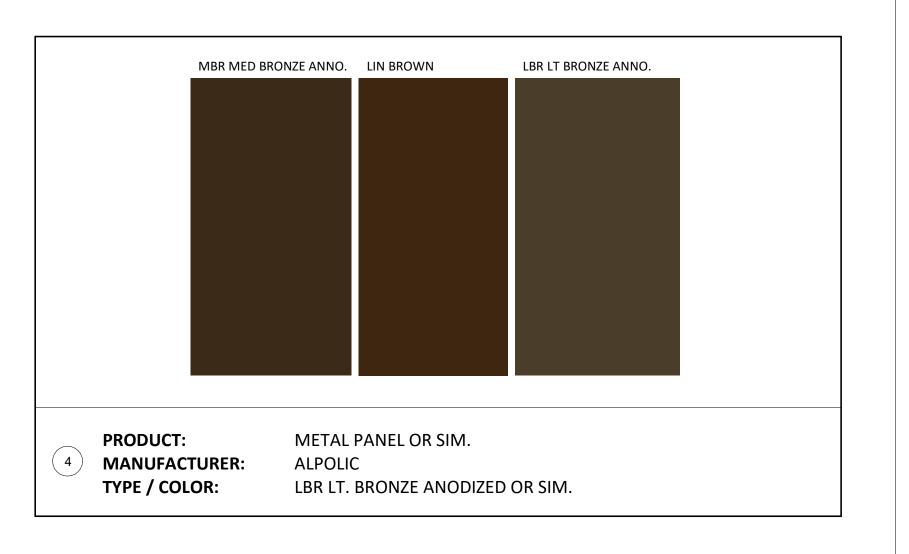
TIMBERLITE 2.0, WHITE OAK & DARK BRONZE OR BLACK





PRODUCT: **MANUFACTURER:** TYPE / COLOR:

PEDESTAL PAVERS AT TERRACES OR SIM. WAUSAU EXTERIOR TERRAZZO, ET-06 & ET-23



MATERIALS BOARD **GENERAL NOTES**

KEYNOTE

- MATERIALS PROVIDED ON THIS MATERIALS BOARD REPRESENT DESIGN INTENT AND THE PRODUCTS SPECIFIED ARE A BASIS OF DESIGN.
- FINAL MATERIALS / PRODUCTS WILL BE DETERMINED IN THE BUILDING PERMIT PHASE AND MAY VARY FROM THE MATERIALS SELECTED HERE BASED ON COST/BUDGET, DETAILING, DESIGN CONSTRAINTS, OR OTHER VARIABLES.
- REFER TO BUILDING ELEVATIONS AND RENDERINGS FOR LOCATIONS OF EACH MATERIAL /
- SEE BUILDING ELEVATION SHEETS FOR ADDITIONAL PRODUCT INFORMATION / IMAGERY.

MATERIAL

ELEVATION KEYED NOTES

KLINOIL	WATERIAL
1	PERFORATED WALL/ SCREEN OR SIM.
2	WOOD LOOK VERTICAL ORIENTED SIDING OR SIM.
3	FIBER CEMENT PANELS OR GRC PANELS OR SIM.
4	BRONZE LOOK METAL PANEL OR SIM.
5	REPRESENTATIONAL BUILDING SIGNAGE - FINAL SIGNAGE AND LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME
6	STRUCTURAL COLUMN
7	VINYL OR ALUMINUM WINDOWS OR SIM.
8	PAINTED METAL GUARDRAIL / BALCONY OR SIM.
9	BUILT-IN SCULPTURE
10	PARAPET COPING / CORNICE
11	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
12	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
13	OVERHEAD DOOR
14	EXTERIOR DOOR
15	CLASS-II BIKE PARKING
16	CANOPY
17	BACKLIT PERFORATED WALL OR SIM.
18	MURAL ON STUCCO, FINE ART TBD
19	PAINTED METAL PANEL RAILING BALCONY OR SIM.
20	PROPOSED PLANTERS, SEE LANDSCAPE
21	7' - 0" TALL OPERABLE GATE / FENCE



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PLANNING MATERIALS BOARD



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)

CHAPTER 3 DIVISION 4.2 ENERGY EFFICIENCY 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with **SECTION 301 GENERAL** requirements of Section 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water parking space served by electric vehicle supply equipment or designed as an EV charging space shall count as at 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Efficient Landscape Ordinance (MWELO), whichever is more stringent. least one standard automobile parking space only for the purpose of complying with any applicable minimum parking Commission will continue to adopt mandatory standards. 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.303 INDOOR WATER USE Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are 4.106.4.2.2 Multifamily dwellings, hotels and motels 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and additions or alterations of existing residential buildings where the addition or alteration increases the urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 1. EV ready parking spaces with receptacles building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE specific area of the addition or alteration. a. Hotels and motels. Forty (40) percent of the total number of parking spaces shall be equipped **EFFICIENCY** Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving with low power Level 2 EV charging receptacles. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE b. Multifamily parking facilities. Forty (40) percent of the total number of parking spaces shall be Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in equipped with low power Level 2 EV charging receptacles. EV charging receptacles required by buildings affected and other important enactment dates. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such this section shall be located in at least one assigned parking space per dwelling unit where Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing assigned parking is provided but need not exceed forty (40) percent of the total number of assigned lighting fixtures are not considered alterations for the purpose of this section. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense 4.408 CONSTRUCTION WASTE REDUCTION. DISPOSAL AND RECYCLING Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or Specification for Tank-type Toilets. Exception: Areas of parking facilities served by parking lifts, including but not limited to improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 automated mechanical-access open parking garages as defined in the California Building Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume percent of the non-hazardous construction and demolition waste in accordance with either Section Code; or parking facilities otherwise incapable of supporting electric vehicle charging. of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, of two reduced flushes and one full flush. 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. c. Receptacle power source. EV charging receptacles in multifamily parking facilities shall be other important enactment dates. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. provided with a dedicated branch circuit connected to the dwelling unit's electrical panel, unless The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. Exceptions: determined as infeasible by the project builder or designer and subject to concurrence of the local 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of 4.303.1.3 Showerheads. Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential Alternate waste reduction methods developed by working with local agencies if diversion or Exception: Areas of parking facilities served by parking lifts, including but not limited to buildings, or both. Individual sections will be designated by banners to indicate where the section applies 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 recycle facilities capable of compliance with this item do not exist or are not located reasonably automated mechanical-access open parking garages as defined in the California Building specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Code; or parking facilities otherwise incapable of supporting electric vehicle charging. high-rise buildings, no banner will be used. WaterSense Specification for Showerheads. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. d. Receptacle configurations. 208/240V EV charging receptacles shall comply with one of 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one the following configurations: **SECTION 302 MIXED OCCUPANCY BUILDINGS** showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only in conformance with Items 1 through 5. The construction waste management plan shall be updated as 1. For 20-ampere receptacles, NEMA 6-20R 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building allow one shower outlet to be in operation at a time. necessary and shall be available during construction for examination by the enforcing agency. 2. For 30-ampere receptacles, NEMA 14-30R shall comply with the specific green building measures applicable to each specific occupancy. 3. For 50-ampere receptacles, NEMA 14-50R 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, Note: A hand-held shower shall be considered a showerhead. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. 2. EV ready parking spaces with EV chargers. comply with Chapter 4 and Appendix A4, as applicable. 4.303.1.4 Faucets Specify if construction and demolition waste materials will be sorted on-site (source separated) or 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California a. Hotels and motels. Ten (10) percent of the total number of parking spaces shall be equipped Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall 3. Identify diversion facilities where the construction and demolition waste material collected will be with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped Chapter 4 and Appendix A4, as applicable. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall with J1772 connectors. not be less than 0.8 gallons per minute at 20 psi. 4. Identify construction methods employed to reduce the amount of construction and demolition waste DIVISION 4.1 PLANNING AND DESIGN b. Multifamily parking facilities. Ten (10) percent of the total number of parking spaces shall be 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory Specify that the amount of construction and demolition waste materials diverted shall be calculated ABBREVIATION DEFINITIONS: equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential by weight or volume, but not by both. equipped with J1772 connectors. Where common use parking or unassigned parking is provided, Department of Housing and Community Development buildings shall not exceed 0.5 gallons per minute at 60 psi. California Building Standards Commission EV chargers shall be located in common use or unassigned parking areas and shall be available 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the for use by all residents or guests. Division of the State Architect, Structural Safety 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver enforcing agency, which can provide verifiable documentation that the percentage of construction and Office of Statewide Health Planning and Development demolition waste material diverted from the landfill complies with Section 4.408.1 more than 0.2 gallons per cycle. Where low power Level 2 EV charging receptacles or Level 2 EV chargers are installed beyond Low Rise the minimum required, an automatic load management system (ALMS) may be used to reduce High Rise 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons Note: The owner or contractor may make the determination if the construction and demolition waste the maximum required electrical capacity to each space served by the ALMS. The electrical system Additions and Alterations per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not materials will be diverted by a waste management company. and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined **CHAPTER 4** have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 less than 30 amperes. lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Note: Where complying faucets are unavailable, aerators or other means may be used to achieve RESIDENTIAL MANDATORY MEASURES 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 2, with EV chargers installed shall 4.303.1.4.5 Pre-rinse spray valves. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined comply with Section 4.106.4.2.2.1.1. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds **SECTION 4.102 DEFINITIONS** Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 per square foot of the building area, shall meet the minimum 65% construction waste reduction Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels (d)(7) and shall be equipped with an integral automatic shutoff. requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable FOR REFERENCE ONLY: The following table and code section have been reprinted from the California 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.. pervious material used to collect or channel drainage or runoff water. 4.106.4.2.2.1.1 Electric vehicle charging stations (EVCS) spaces with EV chargers installed; dimensions WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also EVCS spaces shall be designed to comply with the following: 1. Sample forms found in "A Guide to the California Green Building Standards Code TABLE H-2 used for perimeter and inlet controls. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in The minimum length of each EVCS space shall be 18 feet (5486 mm). documenting compliance with this section. 4.106 SITE DEVELOPMENT The minimum width of each EVCS space shall be 9 feet (2743 mm). STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation One in every 25 EVCS spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum Department of Resources Recycling and Recovery (CalRecycle). VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the management of storm water drainage and erosion controls shall comply with this section. EVCS space is 12 feet (3658 mm). Surface slope for this EVCS space and the aisle shall not exceed 1 4.410 BUILDING MAINTENANCE AND OPERATION unit vertical in 48 units horizontal (2.083 percent slope) in any direction. These EVCS spaces shall also 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less MAXIMUM FLOW RATE (gpm) comply with at least one of the following: [spray force in ounce force (ozf)] disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage a. The EVCS space shall be located adjacent to an accessible parking space meeting the requirements during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking Product Class 1 (≤ 5.0 ozf) 1.00 1. Directions to the owner or occupant that the manual shall remain with the building throughout the property, prevent erosion and retain soil runoff on the site. life cycle of the structure. b. The EVCS space shall be located on an accessible route, as defined in the California Building Code, Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 2. Operation and maintenance instructions for the following: . Retention basins of sufficient size shall be utilized to retain storm water on the site. a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar Exception: Electric vehicle charging stations designed and constructed in compliance with the California Product Class 3 (> 8.0 ozf) photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1. Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 4.106.4.2.2.1.2 Accessible electric vehicle charging station spaces.
In addition to the requirements in Section 4.106.4.2.2.1.1, all EV chargers, where installed, shall comply with the 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] b. Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Space conditioning systems, including condensers and air filters. 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the Information from local utility, water and waste recovery providers on methods to further reduce California Plumbing Code. resource consumption, including recycle programs and locations. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.4.2.3 Reserved. Public transportation and/or carpool options available in the area. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4.106.4.2.4 Reserved. 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface 1701.1 of the California Plumbing Code. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: 4.106.4.2.5 Electric vehicle ready space signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A feet away from the foundation. . Water collection and disposal systems CONVENIENCE FOR THE USER. 8. Information on required routine maintenance measures, including, but not limited to, caulking, French drains painting, grading around the building, etc. 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing Water retention gardens TABLE - MAXIMUM FIXTURE WATER USE Information about state solar energy and incentive programs available. 5. Other water measures which keep surface water away from buildings and aid in groundwater multi-family buildings. 10. A copy of all special inspections verifications required by the enforcing agency or this code. Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible FLOW RATE FIXTURE TYPE altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or space around residential structures. **Exception**: Additions and alterations not altering the drainage path. altered shall be EV capable spaces to support future Level 2 electric vehicle supply equipment. The service panel SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI 12. Information and/or drawings identifying the location of grab bar reinforcements. or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE." 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Section 4.106.4.1 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 or 4.106.4.2. Electric vehicle supply equipment (EVSE) shall comply with the California Electrical Code. LAVATORY FAUCETS (RESIDENTIAL) building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, LAVATORY FAUCETS IN COMMON & PUBLIC corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future 0.5 GPM @ 60 PSI USE AREAS infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 1.8 GPM @ 60 PSI KITCHEN FAUCETS Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional METERING FAUCETS 0.2 GAL/CYCLE local utility infrastructure design requirements, directly related to the implementation of Section 1.28 GAL/FLUSH WATER CLOSET 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional URINALS 0.125 GAL/FLUSH DIVISION 4.5 ENVIRONMENTAL QUALITY **SECTION 4.501 GENERAL** 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or **SECTION 4.502 DEFINITIONS** concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 5.102.1 DEFINITIONS 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit The following terms are defined in Chapter 2 (and are included here for reference) overcurrent protective device. AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

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Issue DESCRI	PTION DATE
APN number	006-364-01, 02
Project number	23143
Print Date	10/18/2024
Drawn by	MB
Checked by	EB
Scale	NTS

CAL GREEN **MANDATORY**

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

ocation shall be permanently and visibly marked as "EV CAPABLE".

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

50

100

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of

product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

Manufacturer's product specification. Field verification of on-site product containers.

Less Water and Less Exempt Compounds in Grams pe	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
NDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER. THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Gr	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2,3

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS

NONFLAT-HIGH GLOSS COATINGS

SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

AVAILABLE FROM THE AIR RESOURCES BOARD.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

TABLE 4.504.5 - FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION **CURRENT LIMIT** HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE 0.05 PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11 0.13 THIN MEDIUM DENSITY FIBERBOARD2 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM). DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California California Specification 01350)

Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving

resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.). by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered
- Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121. CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding,
- shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:
- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or
- equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. 4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential
- Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential
- Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 7

702 QUALIFICATIONS

State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

performance contractors, and home energy auditors.

Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

703 VERIFICATIONS

Other programs acceptable to the enforcing agency.

Public utility training programs.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence

to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

Special inspectors shall be independent entities with no financial interest in the materials or the

HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

Certification by a national or regional green building program or standard publisher.

Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

P: 831.227.2217

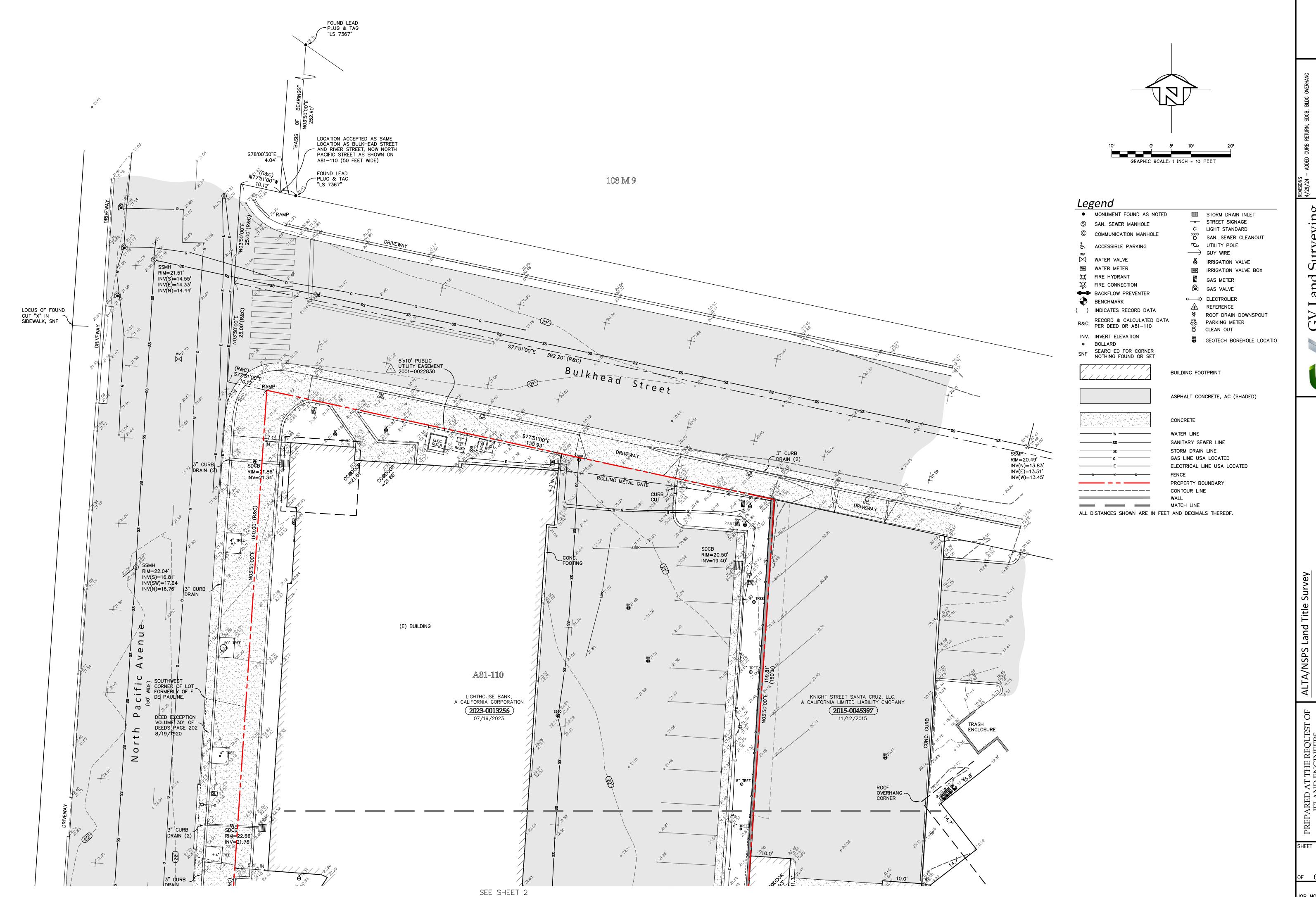
workbench

CENT



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Proj	ect number	23
Prin	t Date	10/18/2
Dra	wn by	
Che	cked by	
Scal	e	

CAL GREEN **MANDATORY**



ing REVISIONS 4/29/24 – ADDED CURB RETURN, SDCB, B $71{\rm ng}$ APPROVED

JV Land Surveying
Scotts Valley Drive, Suite 102
otts Valley, CA 95066
landsurveying.com

3/NSPS Land Title Survey 120 N. Pacific Aven

ENGINEERS 2020 N

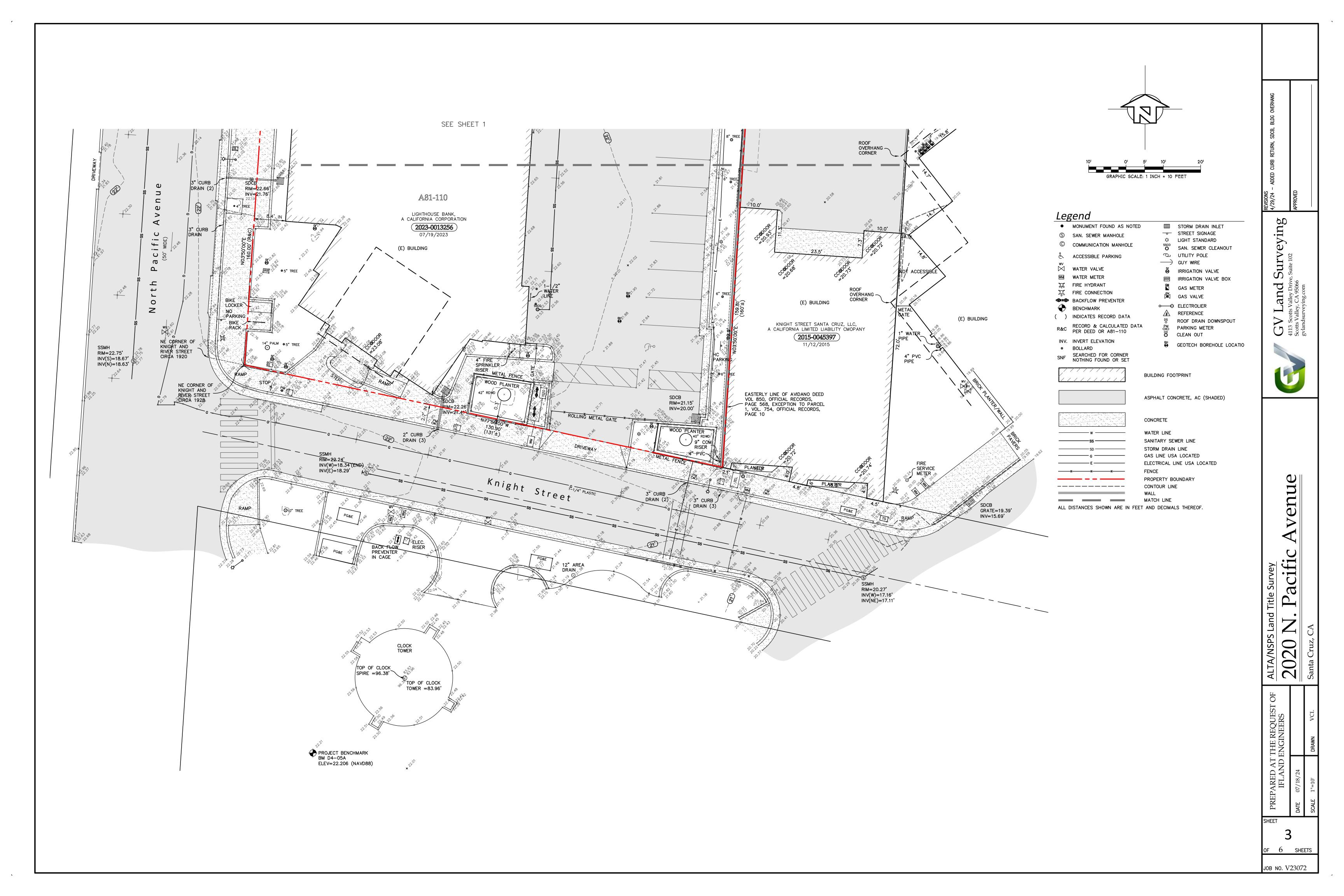
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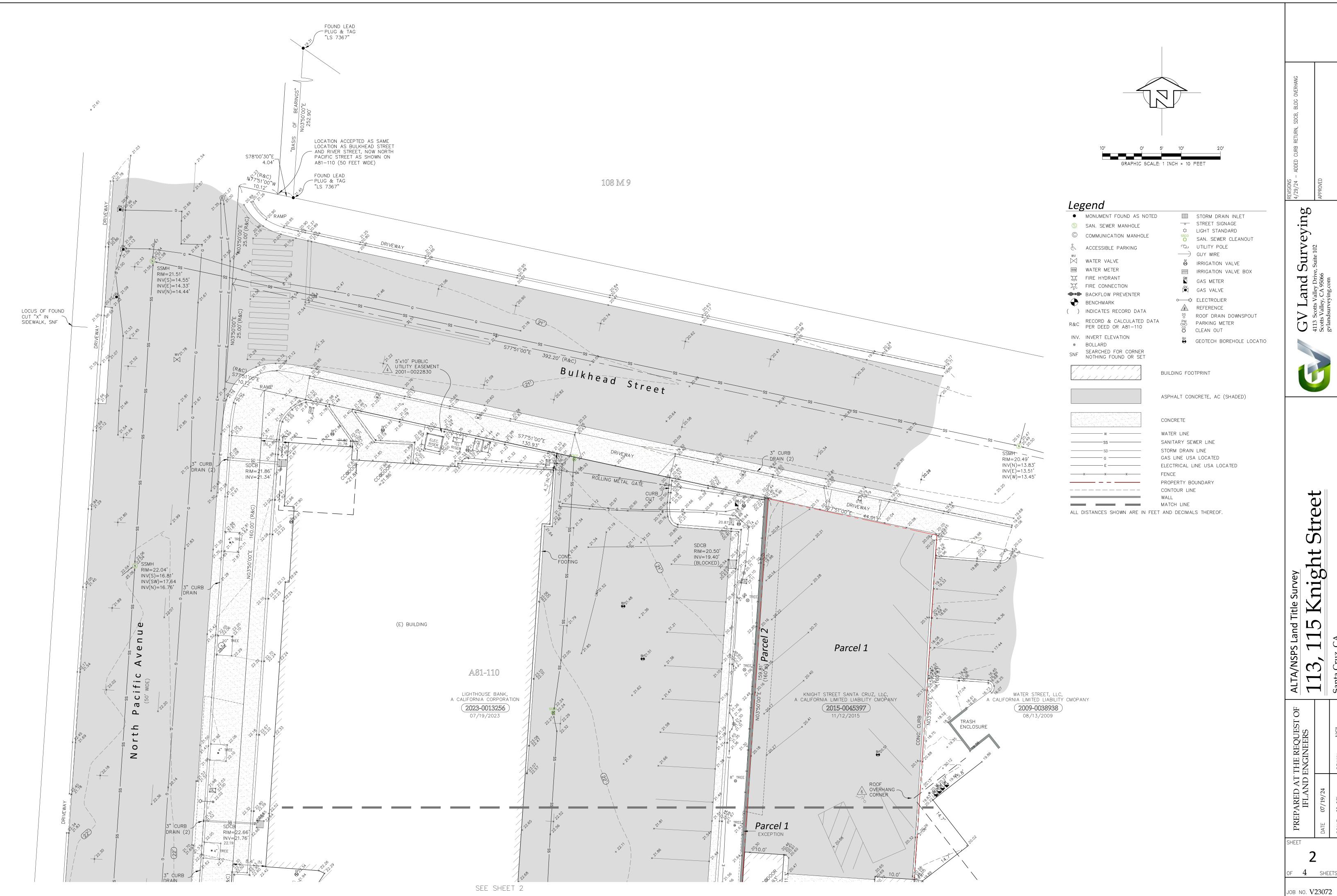
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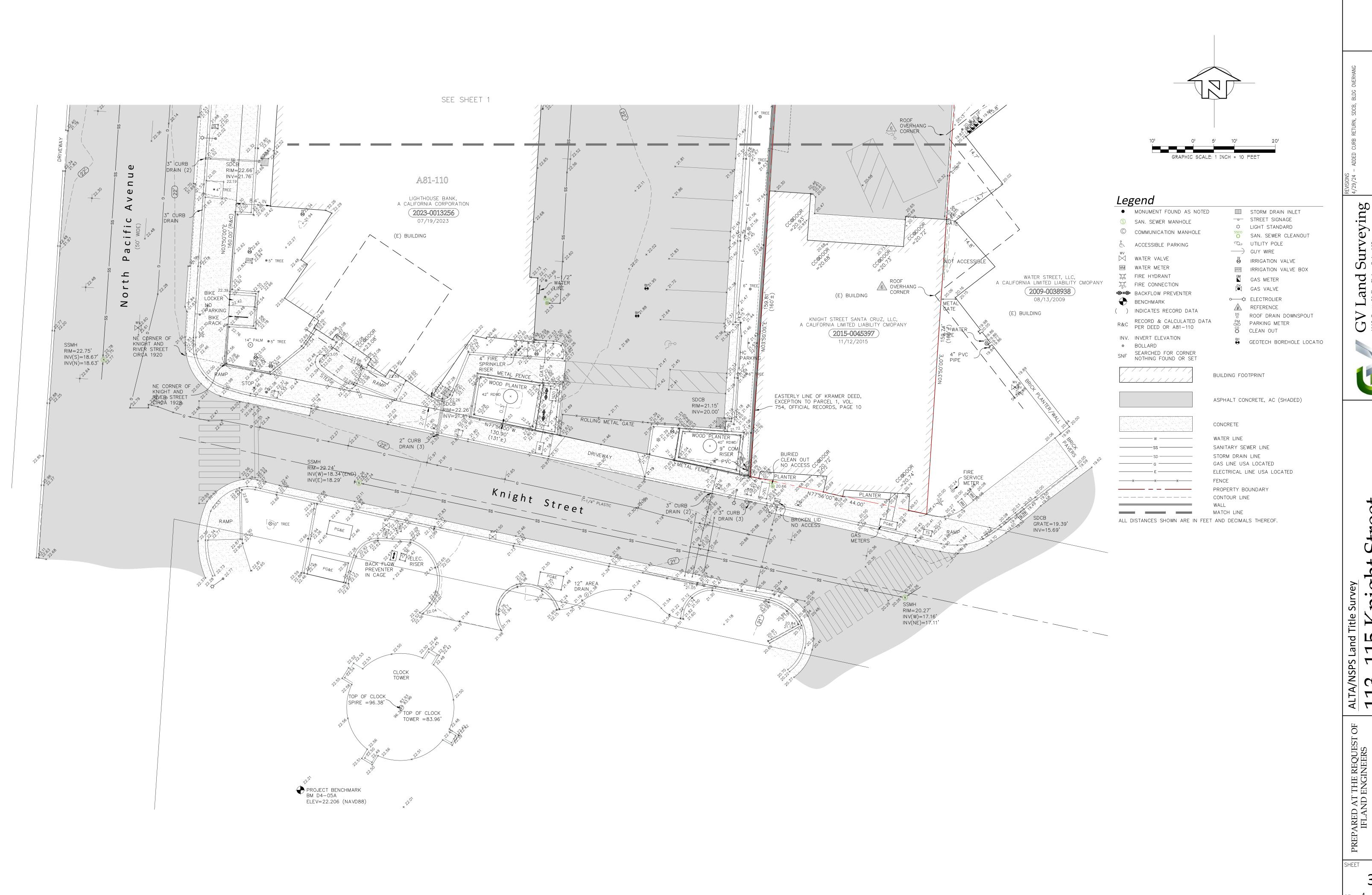
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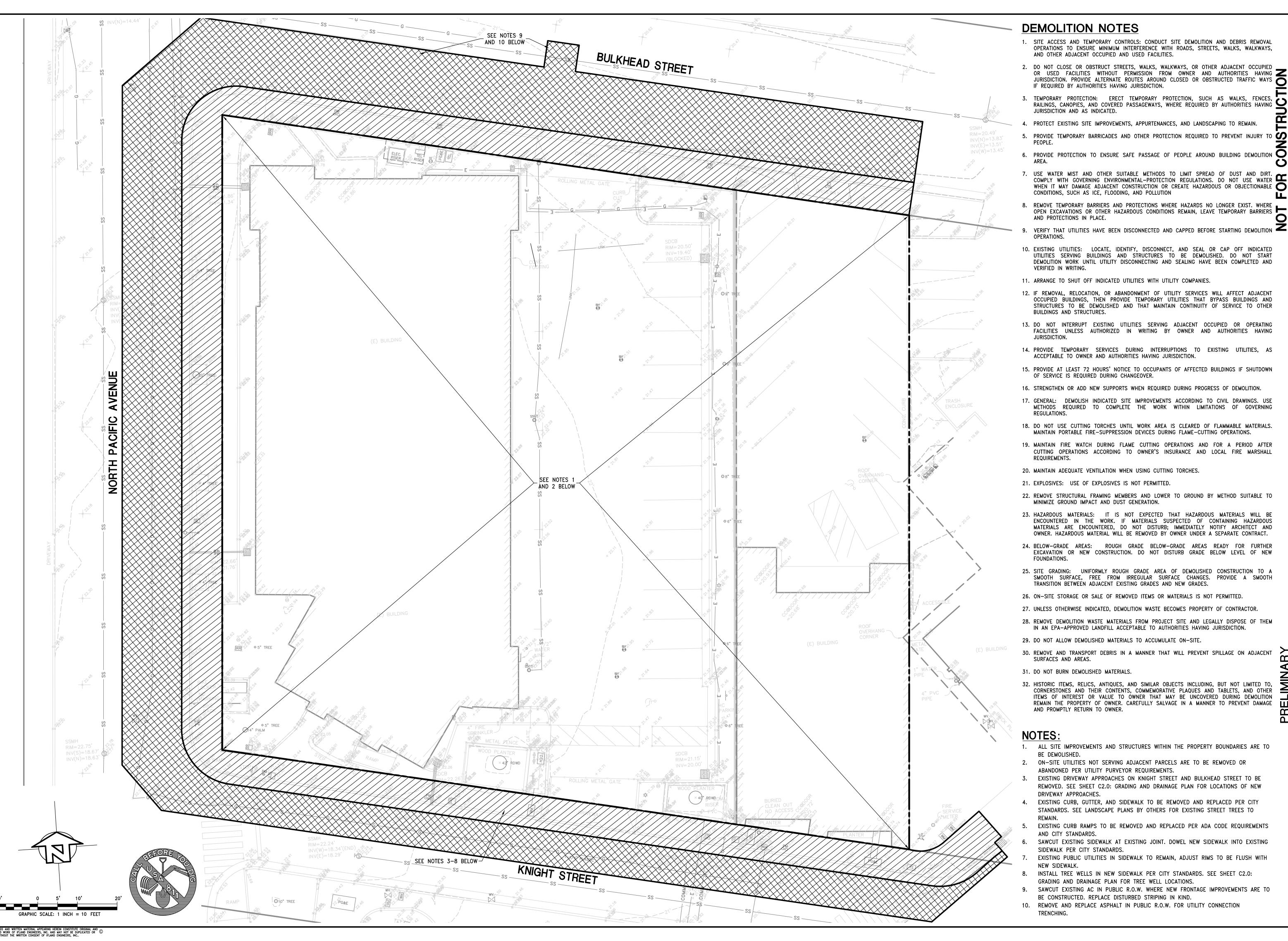


OF 4 SHEETS



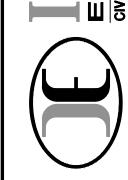
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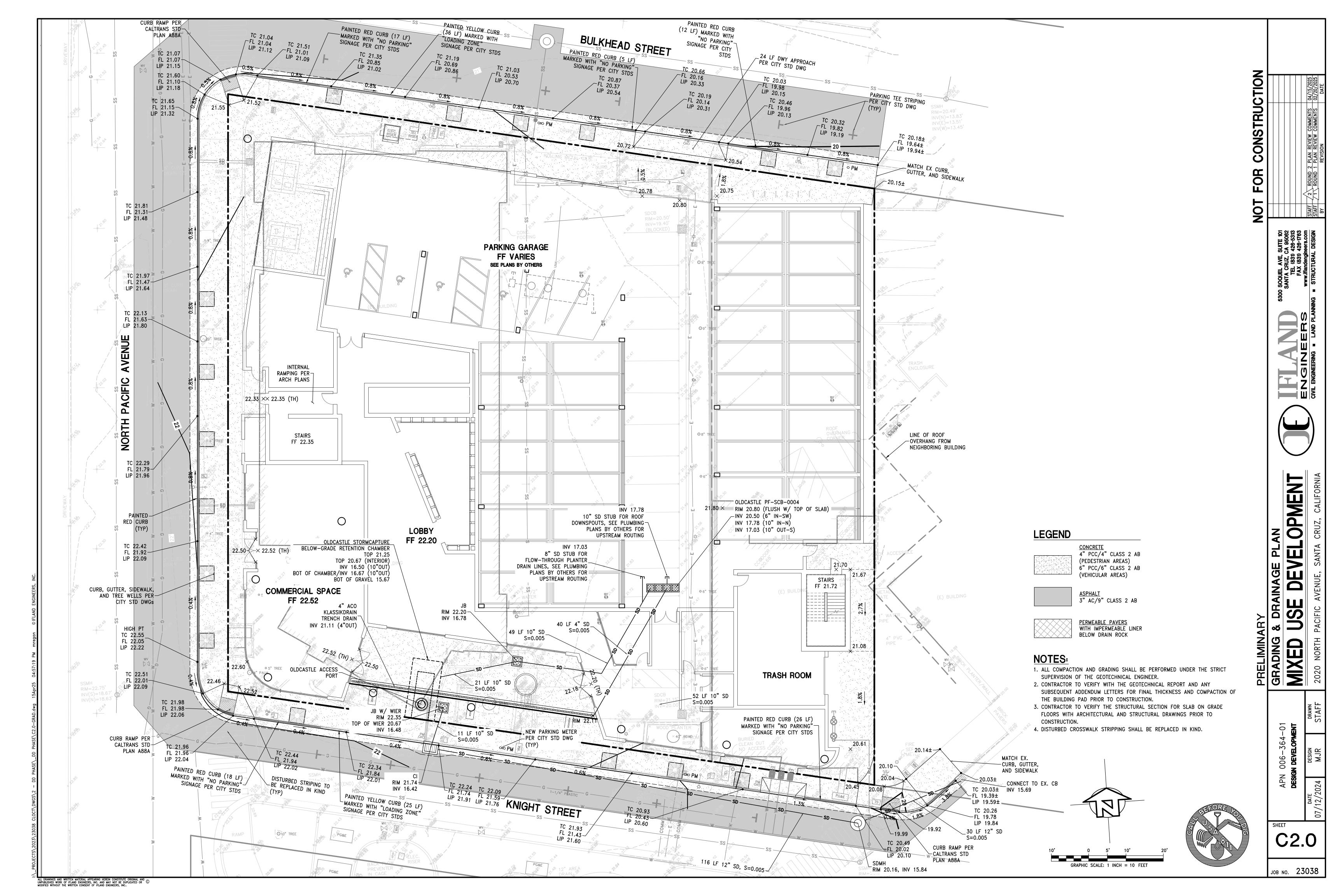
DEMOLITION NOTES

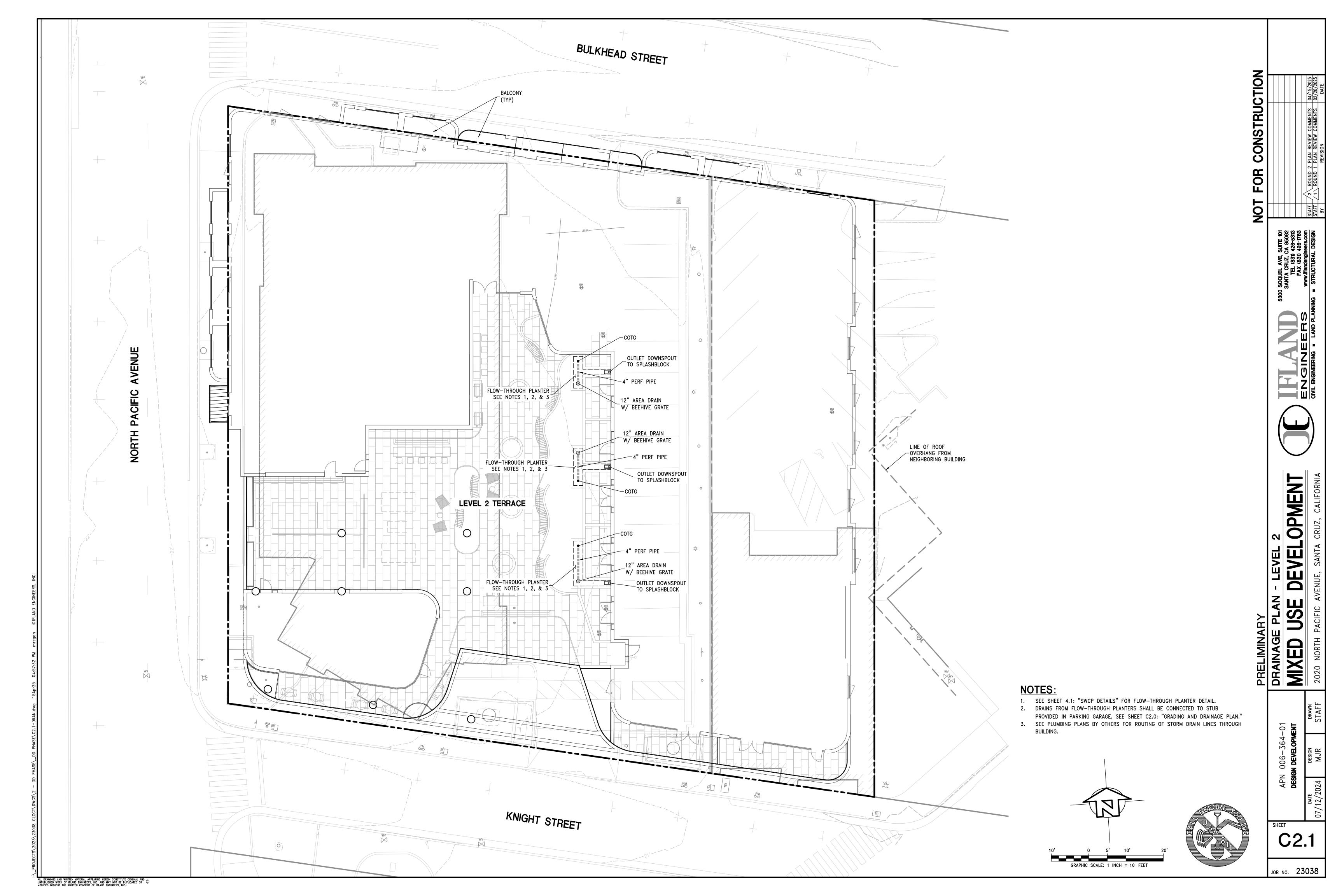
- 1. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT SITE DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- 2. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 3. TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING
- 4. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- 5. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO
- 6. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION
- 7. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT.
- 8. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. WHERE
- OPEN EXCAVATIONS OR OTHER HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTIONS IN PLACE.
- 10. EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITIES SERVING BUILDINGS AND STRUCTURES TO BE DEMOLISHED. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND
- 11. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES.
- 12. IF REMOVAL, RELOCATION, OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT OCCUPIED BUILDINGS, THEN PROVIDE TEMPORARY UTILITIES THAT BYPASS BUILDINGS AND STRUCTURES TO BE DEMOLISHED AND THAT MAINTAIN CONTINUITY OF SERVICE TO OTHER BUILDINGS AND STRUCTURES.
- 13. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING
- 14. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND AUTHORITIES HAVING JURISDICTION.
- 15. PROVIDE AT LEAST 72 HOURS' NOTICE TO OCCUPANTS OF AFFECTED BUILDINGS IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
- 16. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- 17. GENERAL: DEMOLISH INDICATED SITE IMPROVEMENTS ACCORDING TO CIVIL DRAWINGS. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING
- 18. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- 19. MAINTAIN FIRE WATCH DURING FLAME CUTTING OPERATIONS AND FOR A PERIOD AFTER CUTTING OPERATIONS ACCORDING TO OWNER'S INSURANCE AND LOCAL FIRE MARSHALL
- 20. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- 21. EXPLOSIVES: USE OF EXPLOSIVES IS NOT PERMITTED.
- 22. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO MINIMIZE GROUND IMPACT AND DUST GENERATION.
- 23. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- 24. BELOW-GRADE AREAS: ROUGH GRADE BELOW-GRADE AREAS READY FOR FURTHER EXCAVATION OR NEW CONSTRUCTION. DO NOT DISTURB GRADE BELOW LEVEL OF NEW
- 25. SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- 26. ON-SITE STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS IS NOT PERMITTED.
- 27. UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.
- 28. REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- 29. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- 30. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT
- 31. DO NOT BURN DEMOLISHED MATERIALS.
- 32. HISTORIC ITEMS, RELICS, ANTIQUES, AND SIMILAR OBJECTS INCLUDING, BUT NOT LIMITED TO, CORNERSTONES AND THEIR CONTENTS, COMMEMORATIVE PLAQUES AND TABLETS, AND OTHER ITEMS OF INTEREST OR VALUE TO OWNER THAT MAY BE UNCOVERED DURING DEMOLITION REMAIN THE PROPERTY OF OWNER. CAREFULLY SALVAGE IN A MANNER TO PREVENT DAMAGE AND PROMPTLY RETURN TO OWNER.
- ALL SITE IMPROVEMENTS AND STRUCTURES WITHIN THE PROPERTY BOUNDARIES ARE TO
- ON-SITE UTILITIES NOT SERVING ADJACENT PARCELS ARE TO BE REMOVED OR
- ABANDONED PER UTILITY PURVEYOR REQUIREMENTS. EXISTING DRIVEWAY APPROACHES ON KNIGHT STREET AND BULKHEAD STREET TO BE REMOVED. SEE SHEET C2.0: GRADING AND DRAINAGE PLAN FOR LOCATIONS OF NEW
- EXISTING CURB, GUTTER, AND SIDEWALK TO BE REMOVED AND REPLACED PER CITY STANDARDS. SEE LANDSCAPE PLANS BY OTHERS FOR EXISTING STREET TREES TO
- EXISTING CURB RAMPS TO BE REMOVED AND REPLACED PER ADA CODE REQUIREMENTS
- SAWCUT EXISTING SIDEWALK AT EXISTING JOINT. DOWEL NEW SIDEWALK INTO EXISTING
- EXISTING PUBLIC UTILITIES IN SIDEWALK TO REMAIN, ADJUST RIMS TO BE FLUSH WITH
- INSTALL TREE WELLS IN NEW SIDEWALK PER CITY STANDARDS. SEE SHEET C2.0:
- GRADING AND DRAINAGE PLAN FOR TREE WELL LOCATIONS. SAWCUT EXISTING AC IN PUBLIC R.O.W. WHERE NEW FRONTAGE IMPROVEMENTS ARE TO
- BE CONSTRUCTED. REPLACE DISTURBED STRIPING IN KIND.
- 10. REMOVE AND REPLACE ASPHALT IN PUBLIC R.O.W. FOR UTILITY CONNECTION

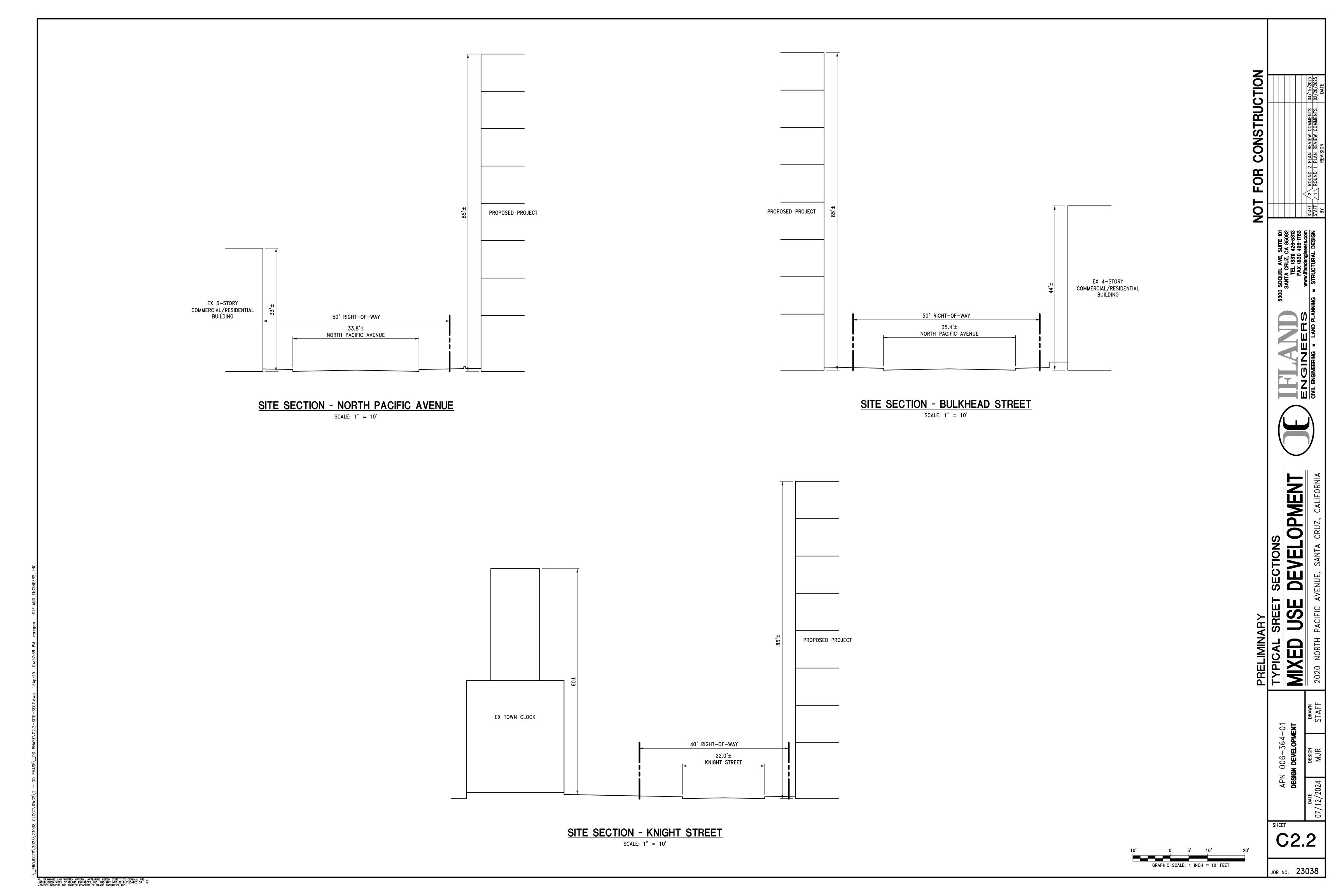


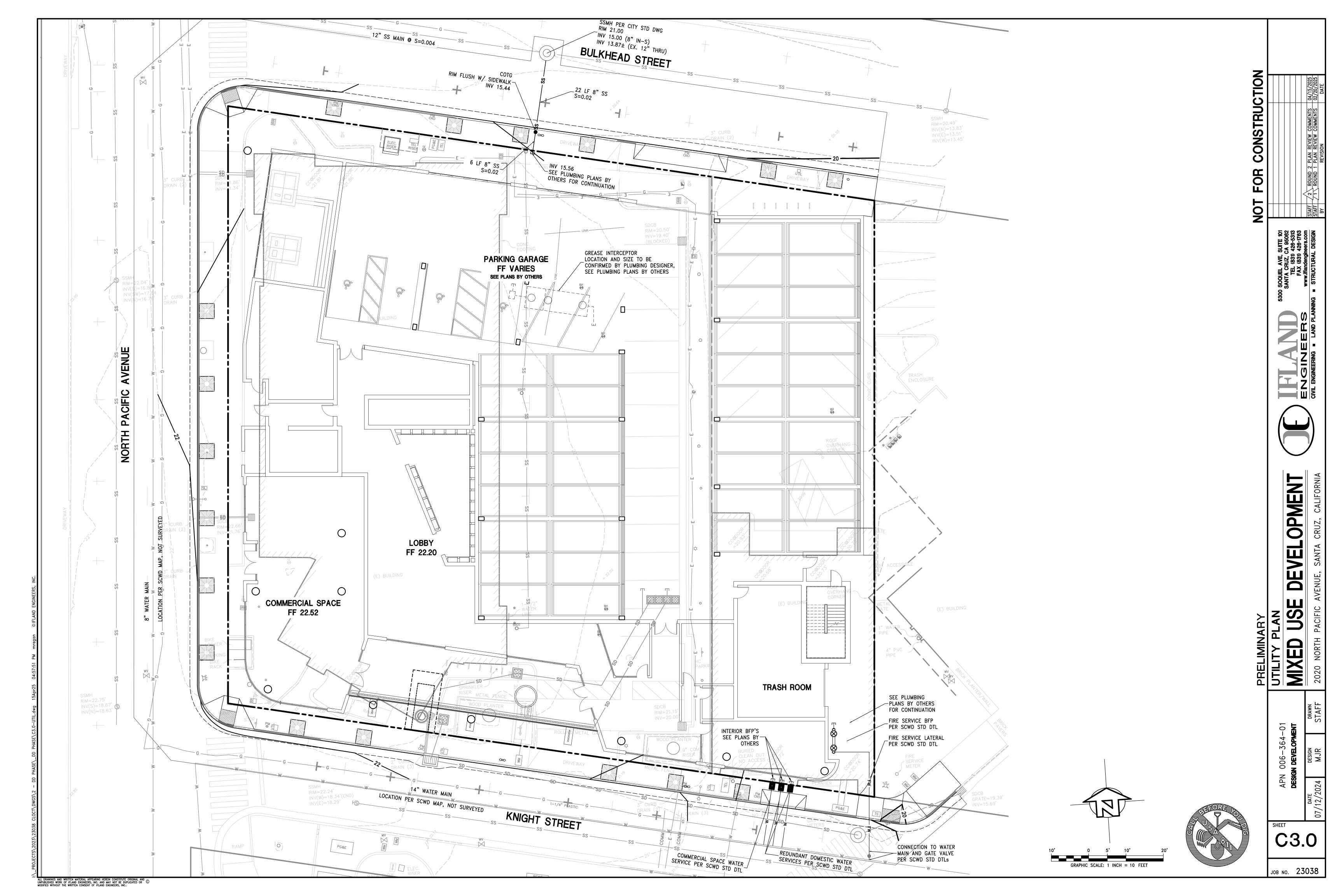
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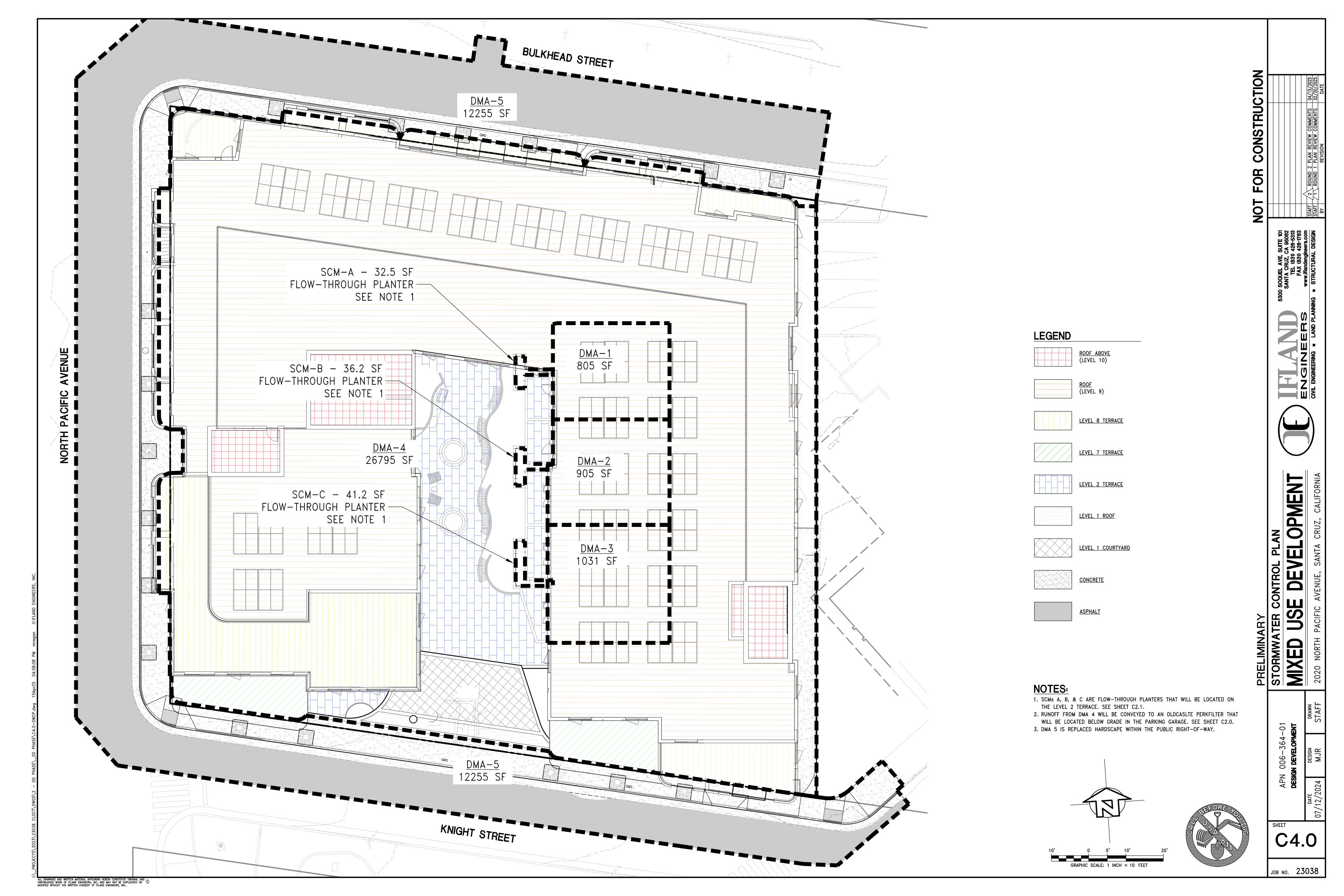
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4. A CLEANOUT FOR THE UNDER DRAIN SHALL BE PROVIDED, CONSISTING OF A VERTICAL, RIGID, NON PERFORATED PVC PIPE, WITH A MINIMUM DIAMETER OF 4 INCHES AND A WATERTIGHT CAP FIT FLUSH WITH THE PLANTER BED SURFACE.

5. TO AVOID CLOGGING, FILTER FABRIC SHALL NOT BE USED IN OR AROUND THE THE UNDER DRAIN OR BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK. IF DESIRED, A 2 INCH PEA GRAVEL LAYER MAY BE USED BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK.

SOIL REQUIREMENTS

1. PLANTING SOILS SHALL MEET THE BIOTREATMENT SOIL MIX SPECIFICATIONS APPROPRIATE FOR THE JURISDICTION. A MINIMUM INFILTRATION RATE OF 5 IN/HR AND A MAXIMUM INFILTRATION RATE OF 10 IN/HR ARE REQUIRED.

VEGETATION

- 1. PLANT SPECIES SELECTED SHALL BE SUITABLE FOR FLOW THROUGH PLANTER
- LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION. 2. VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT
- 3. PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.

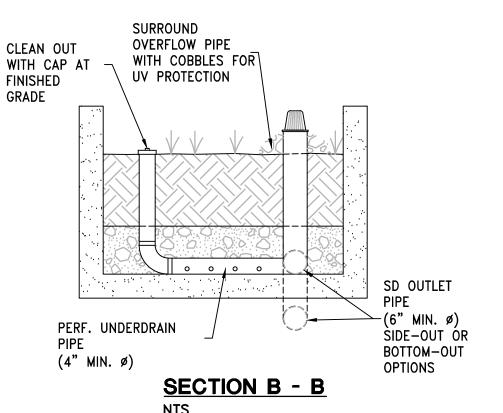
CONSTRUCTION REQUIREMENTS

1. AT GRADE PLANTERS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF; DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED PLANTER AREAS.

MAINTENANCE

- 1. CONDUCT BIANNUAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE
- AND REPLACE DEAD OR DYING PLANTS. MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.
- AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.
- 4. BEFORE THE WET SEASON BEGINS, VERIFY THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.
- 5. PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.

FLOW THROUGH PLANTER NOTES 2

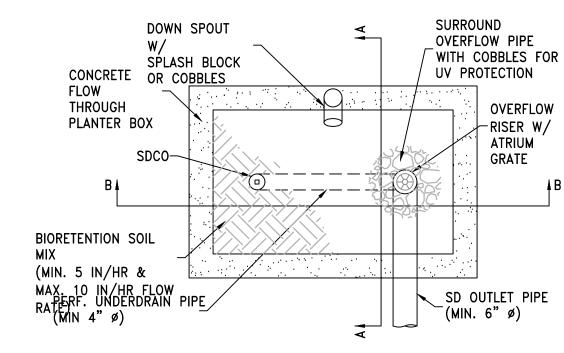


- 1. SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.
- 2. INLET OF THE OVERFLOW DRAIN SHOULD BE AT LEAST 6 INCHES ABOVE THE LOW POINT OF THE PLANTING AREA AND AT LEAST 2 INCHES ABOVE THE HIGH POINT OF THE PLANTING AREA. PLANTER BOX WALLS SHALL BE HIGHER THAN THE OVERFLOW ELEVATION. PROVIDE 4 INCHES OF FREEBOARD AND AN OVERFLOW POINT AWAY FROM STRUCTURES SHOULD BE PROVIDED.

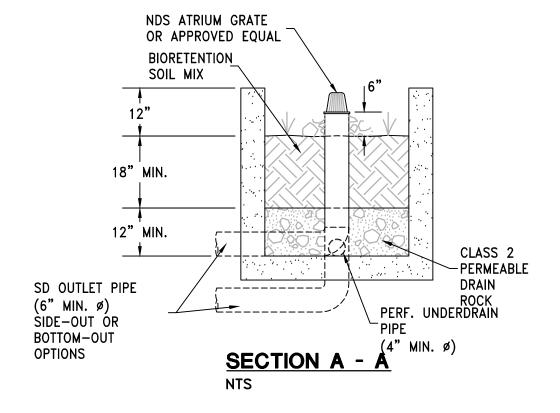
UNDER DRAIN AND OVERFLOW

- INSTALL WATERPROOFING AS NECESSARY TO PROTECT ADJACENT BUILDING WALLS. 2. UNDER DRAIN SHALL CONSIST OF A MINIMUM 4 INCH DIAMETER PERFORATED PIPE WITH CLEANOUTS AND CONNECTION TO A STORM DRAIN OR DISCHARGE POINT.
- 3. THE UNDER DRAIN TRENCH SHALL INCLUDE A MINIMUM 12 INCH THICK LAYER OF CLASS 2 PERMEABLE DRAIN ROCK. PLACE UNDER DRAIN NEAR THE BOTTOM OF THE DRAIN ROCK LAYER, WITH PERFORATIONS FACING DOWNWARD, AT A MINIMUM 0.5% SLOPE.

FLOW THROUGH PLANTER NOTES 1



FLOW THROUGH PLANTER - PLAN



SIZE

CARTRIDGE TREATMENT TOTAL FLOW MINIMUM FLOW RATE | CAPACITY |

DEPTH

CONSTRUCTION

FOR

2

STAFF

OPMEN. 出

MIXE

C4.1

2

 STACKED
 12.00" + 12.00"
 72 / 0.16
 1.3

 STACKED
 18.00" + 12.00"
 90 / 0.20
 1.3
 3X TRAFFIC RATED SOLID PLATE COVER. CONCRETE APRON/COLLAR REQUIRED, BY OTHERS. SEE NOTE 6. 2X FLOW THRU TUBES. -— 3X PerkFilter™ S CARTRIDGE. FLOATABLES WEIR. -FLOW THRU TUBES -INTO FILTER CHAMBER. DRAIN DOWN -DEVICE. INLET, —
SEE PLAN VIEW
& NOTE 3 FOR
LOCATION OPTIONS
& SPECS. DETAIL A
INLET / BYPASS ASSEMBLY
& DRAIN DOWN SCALE: 1.5X SEE PLAN VIEW & NOTE OR LOCATION OPTIONS & SPECS. DRAIN DOWN DEVICE. -**ISOMETRIC VIEW** 3X TRAFFIC RATED -SOLID PLATE COVER. CONCRETE APRON/COLLAR, SEE NOTE 6. TRAFFIC RATED INLET All steel utilized in fabrication and shall be 1/4" plate per ASTM A36. 2. PerkFilter[™] Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover. COUTLET, (VENTED). 3. Inlet pipe(s) may enter device on any of three 3X PerkFilter™ CARTRIDGE. sides of the inlet chamber. Outlet pipe may exit on any of all four sides. All pipe is Ø 12" maximum. PLAN VIEW 4. Inlet chamber shall be supplied with a DRAIN DOWN device designed to remove SEE DETAIL A. standing water between storm events. — 3X PerkFilter™ CARTRIDGE. APRON/COLLAR. CARTRIDGE BYPASS PORT, 5. For depths less than the specified minimum SEE NOTE 6. contact Oldcastle Infrastructure® for engineering assistance. DEPTH. SEE TABULATION 6. Field poured Concrete Apron / Collar required, by others. Refer to PF-SCB-1000 for recommended configuration. 7. PerkFilter[™] cartridge shall be maintained in accordance with manufacturer recommendations. SECTION A-A

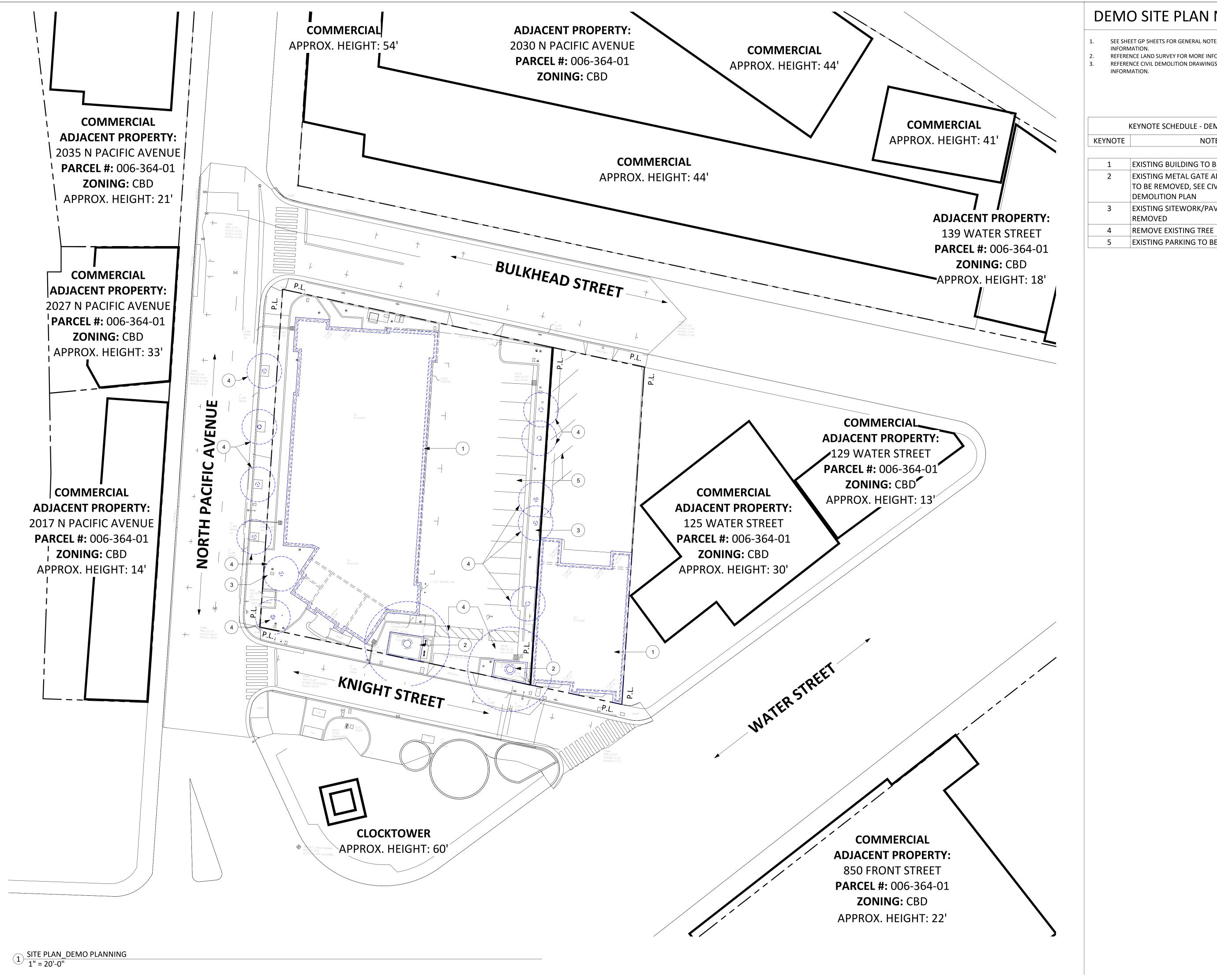
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND WHOULD BE OF THE OWNERS, INC. AND MAY NOT BE DUPLICATED OR WINDOWN WITHOUT THE WRITTEN CONSENT OF IELAND ENGINEERS. INC.

Triple Cartridge

(End Grate Configuration)

Oldcastle Infrastructure

JOB NO. 23038





- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT
- REFERENCE LAND SURVEY FOR MORE INFORMATION. REFERENCE CIVIL DEMOLITION DRAWINGS FOR MORE

KEYNOTE SCHEDULE - DEMOLITION NOTE

EXISTING BUILDING TO BE DEMOLISHED **EXISTING METAL GATE AND WOOD PLANTER** TO BE REMOVED, SEE CIVIL & LANDSCAPE

- **EXISTING SITEWORK/PAVEMENT TO BE**
- EXISTING PARKING TO BE REMOVED

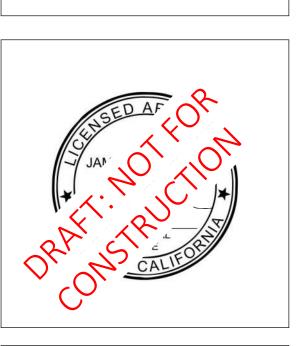
workbench

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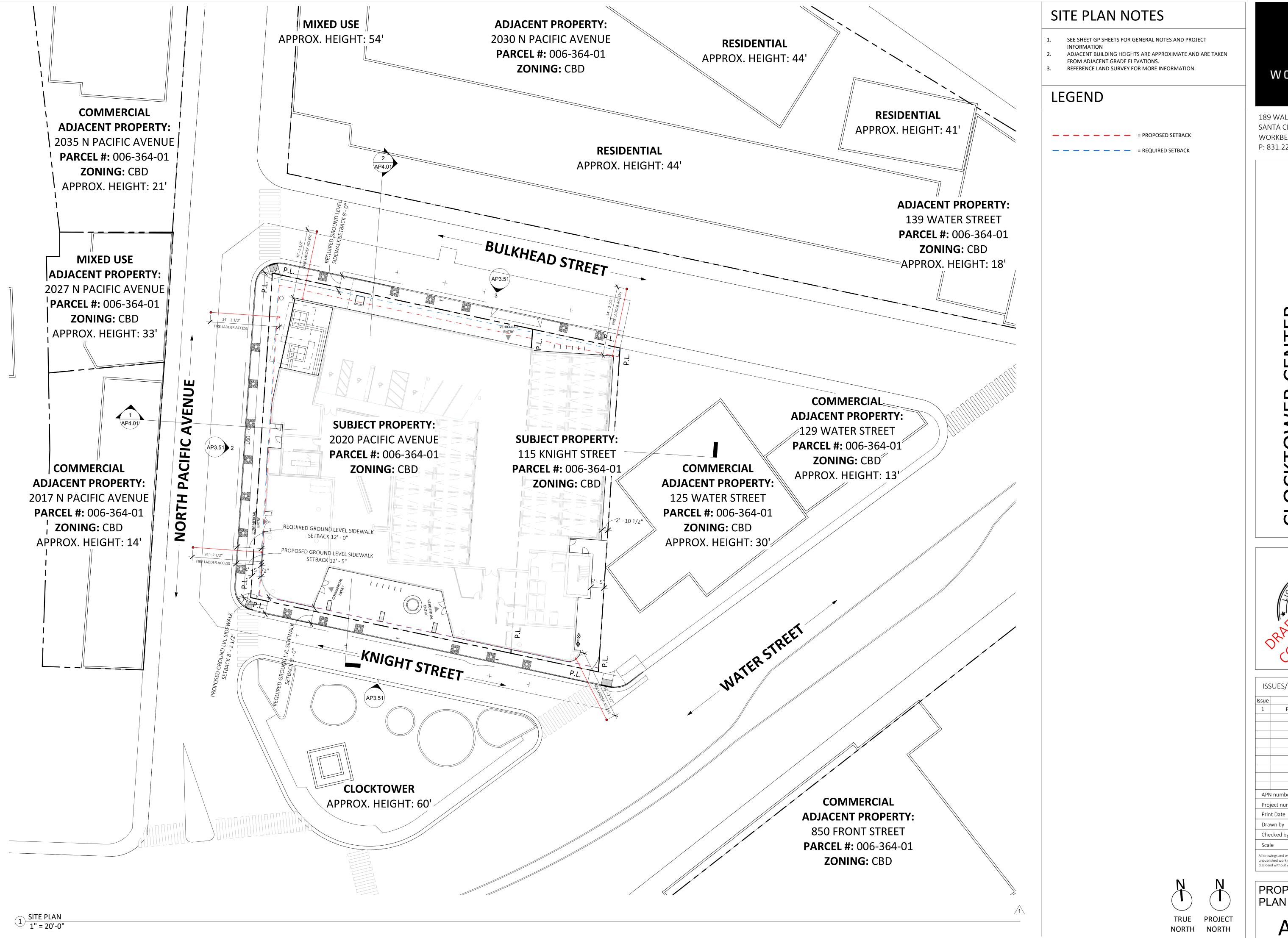
APN number 006-364-01, 02 Project number 23143 Print Date 10/18/2024 Drawn by OH Checked by EB Scale As indicated All drawings and written material appearing herin constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.	ISSUES/ REVISIONS				
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DEMO SITE PLAN

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ssue	DESCRIPTION	DATE		
1	PLANNING REV-01	02.20.2025		
APN number 006-364-01, 02				
Project number 23143				
Prin	Print Date 10/18/2024			
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PROPOSED SITE

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- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT. NOT LIVABLE SPACE: SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.
- A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

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CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
	UNIT TYPE	COUNT	
(STUDIO	79	
(JR 1 BED	99	
		178	
>			$\stackrel{\frown}{2}$
7			

FLOOR PLAN KEYED NOTES

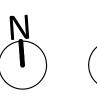
KEYNOTE SCHEDULE - FLOOR PLAN			
KEYNOTE	EYNOTE NOTE		
1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02		
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02		
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02		
4	ELEVATOR		
5	STRUCTURAL COLUMN, TYP.		
6	OVERHEAD DOOR		
7	INTERIOR CORRIDOR		
8	PRIVATE BALCONY / PATIO TYP.		
9	CANOPY		
10	BUILT-IN SCULPTURE		
11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD		
12	BUILDING BELOW		
13	GUARDRAIL		
16	EGRESS STAIRS		
17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.		
18	INDICATIVE/POTENTIAL LOCATION FOR BUILDING SIGNAGE. FINAL SIGNAGE & LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME		
19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS		
23	EXISTING TRANSFORMER TO REMAIN		
24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER		
25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3		
26	LARGER BICYCLE STORAGE SPACE (3' x 10')		
29	ACTIVE COMMON SPACE, SEE GENERAL NOTES		
30	ROOFTOP COMMON SPACE, SEE GENERAL NOTES		

LEGEND

— — — = PROPOSED SETBACK

31 NOT LIVABLE SPACE, SEE GENERAL NOTES

─ = REQUIRED SETBACK



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1 PLANNING RE 2 PLANNING RE	32,23,232
2 PLANNING RE	V-02 Date 3
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APN number 006-364-01, 02	
Project number 23143	
Print Date 10/18/2024	
Drawn by OH/ME	
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Scale As indicated	

PROPOSED LEVEL 1 PLAN



SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS CONTROLLED ROOM BY CODE OR KEY FOB, ACCESSIBLE TO COMMERCIAL EMPLOYEES ONLY ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT.

NOT LIVABLE SPACE: SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.

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A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

		\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	~
>	UNIT TYPE	COUNT	
\	STUDIO	79	
>	JR 1 BED	99	
> >		178	

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

1		
)	KEYNOTE	NOTE
	1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02
)	2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
)	3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
)	4	ELEVATOR
	5	STRUCTURAL COLUMN, TYP.
)	6	OVERHEAD DOOR
	7	INTERIOR CORRIDOR
1	8	PRIVATE BALCONY / PATIO TYP.
	9	CANOPY
)	10	BUILT-IN SCULPTURE
	11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD
)	12	BUILDING BELOW
	13	GUARDRAIL
	16	EGRESS STAIRS
	17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
	18	INDICATIVE/POTENTIAL LOCATION FOR BUILDING SIGNAGE. FINAL SIGNAGE & LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME
1	19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS
	23	EXISTING TRANSFORMER TO REMAIN
$\Big $	24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER
	25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3
	26	LARGER BICYCLE STORAGE SPACE (3' x 10')
	29	ACTIVE COMMON SPACE, SEE GENERAL NOTES
$\Big $	30	ROOFTOP COMMON SPACE, SEE GENERAL NOTES
\/	31	NOT LIVABLE SPACE, SEE GENERAL NOTES
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Issue	DESCRIPTI	ON	DATE
1	PLANNING R	EV-01	02.20.2025
2	PLANNING R	EV-02	Date 3
APN	l number	006-36	4-01, 02
Pro	ject number		23143
Prin	t Date	10/	18/2024
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PROPOSED LEVEL 2 PLAN



SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT. **NOT LIVABLE SPACE:** SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV. CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

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UNIT MIX

STUDIO 79 JR 1 BED 99 178	UNIT TYPE	COUNT	
	STUDIO	79	}
178	JR 1 BED	99	3
		178	3

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE NOTE	
1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
4	ELEVATOR
5	STRUCTURAL COLUMN, TYP.
6	OVERHEAD DOOR
7	INTERIOR CORRIDOR
8	PRIVATE BALCONY / PATIO TYP.
9	CANOPY
10	BUILT-IN SCULPTURE
11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD
12	BUILDING BELOW
13	GUARDRAIL
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25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3
26	LARGER BICYCLE STORAGE SPACE (3' x 10')
29	ACTIVE COMMON SPACE, SEE GENERAL NOTES
30	ROOFTOP COMMON SPACE, SEE GENERAL NOTES
31	NOT LIVABLE SPACE, SEE GENERAL NOTES



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1	PLANNING REV-01	02.20.2025
2	PLANNING REV-02	Date 3
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APN number 006-364-01, 02		4-01, 02
Pro	ect number	23143
Prin	t Date 10/	18/2024
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PROPOSED LEVEL 3 PLAN



SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT.

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A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

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	UNIT TYPE	COUNT	Ž
	STUDIO	79	}
	JR 1 BED	99	3
		178	3
_			' /

FLOOR PLAN KEYED NOTES

		KEYNOTE SCHEDULE - FLOOR PLAN
	KEYNOTE	NOTE
	1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02
	2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
$\Big $	3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
	4	ELEVATOR
	5	STRUCTURAL COLUMN, TYP.
	6	OVERHEAD DOOR
$\Big $	7	INTERIOR CORRIDOR
\	8	PRIVATE BALCONY / PATIO TYP.
	9	CANOPY
	10	BUILT-IN SCULPTURE
$\Big $	11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD
	12	BUILDING BELOW
	13	GUARDRAIL
	16	EGRESS STAIRS
	17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
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4	19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS
	23	EXISTING TRANSFORMER TO REMAIN
$\Big $	24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER
	25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3
4	26	LARGER BICYCLE STORAGE SPACE (3' x 10')
	29	ACTIVE COMMON SPACE, SEE GENERAL NOTES

ROOFTOP COMMON SPACE, SEE GENERAL NOTES

31 NOT LIVABLE SPACE, SEE GENERAL NOTES



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Issue	DESCRI	PTION	DATE
1	PLANNING	6 REV-01	02.20.2025
2	PLANNING	G REV-02	Date 3
APN	l number	006-36	54-01, 02
Pro	ject number		23143
Prin	it Date	10,	/18/2024
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·		EB	
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PROPOSED LEVEL 4 PLAN



- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS CONTROLLED ROOM BY CODE OR KEY FOB, ACCESSIBLE TO COMMERCIAL EMPLOYEES ONLY ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT. **NOT LIVABLE SPACE:** SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.
- A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

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CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

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7	,	JR 1 I	BED			99	
>					•	178	
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FLOOR PLAN KEYED NOTES

	KEYNOTE SCHEDULE - FLOOR PLAN	
	REYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	NOTE	
1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02	
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02	
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02	
4	ELEVATOR	
5	STRUCTURAL COLUMN, TYP.	
6	OVERHEAD DOOR	
7	INTERIOR CORRIDOR	
8	PRIVATE BALCONY / PATIO TYP.	
9	CANOPY	
10	BUILT-IN SCULPTURE	
11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD	
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25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3	
26	LARGER BICYCLE STORAGE SPACE (3' x 10')	

29 ACTIVE COMMON SPACE, SEE GENERAL NOTES

31 NOT LIVABLE SPACE, SEE GENERAL NOTES

ROOFTOP COMMON SPACE, SEE GENERAL NOTES



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Issue	DESCRIPTION		DATE
1	PLANNING REV-C)1	02.20.2025
2	PLANNING REV-C)2	Date 3
APN	I number 0	06-36	4-01, 02
Pro	ject number		23143
Prin	t Date	10/	18/2024
Dra	wn by		ОН/МВ
Che	cked by		EB
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unpubli	wings and written material appearing shed work of Workbench, Inc. and n	nay not be du	uplicated, used or

PROPOSED LEVEL 5 PLAN



- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP
 - A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

		\\ \\ \\ \\	\rangle \rangle \rangle \rangle
\	UNIT TYPE	COUNT	3
{	STUDIO	79	}
	JR 1 BED	99	3
		178	3
`)

DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT.

NOT LIVABLE SPACE: SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.

FLOOR PLAN KEYED NOTES

	KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	NOTE	
1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02	
2	CLASS-I BIKE PARKING, SEE SHEET AP9.02	
3	CLASS-II BIKE PARKING, SEE SHEET AP9.02	
4	ELEVATOR	
5	STRUCTURAL COLUMN, TYP.	
6	OVERHEAD DOOR	
7	INTERIOR CORRIDOR	
8	PRIVATE BALCONY / PATIO TYP.	
9	CANOPY	
10	BUILT-IN SCULPTURE	
11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD	
12	BUILDING BELOW	
13	GUARDRAIL	
16	EGRESS STAIRS	
17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.	
18	INDICATIVE/POTENTIAL LOCATION FOR BUILDING SIGNAGE. FINAL SIGNAGE & LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME	
19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS	
23	EXISTING TRANSFORMER TO REMAIN	
24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER	
25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3	
26	LARGER BICYCLE STORAGE SPACE (3' x 10')	
29	ACTIVE COMMON SPACE, SEE GENERAL NOTES	
30	ROOFTOP COMMON SPACE, SEE GENERAL NOTES	
D		

31 NOT LIVABLE SPACE, SEE GENERAL NOTES



TRUE

PROJECT NORTH



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Issue	DESCRIPTION		DATE
1	PLANNING REV-C)1	02.20.2025
2	PLANNING REV-C)2	Date 3
APN	I number 0	06-36	4-01, 02
Pro	ject number		23143
Prin	t Date	10/	18/2024
Dra	wn by		ОН/МВ
Che	cked by		EB
Scal	e	As ir	ndicated
unpubli	wings and written material appearing shed work of Workbench, Inc. and n	nay not be du	uplicated, used or

PROPOSED LEVEL 6 PLAN



- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT. ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING. CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS CONTROLLED ROOM BY CODE OR KEY FOB, ACCESSIBLE TO COMMERCIAL EMPLOYEES ONLY ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT. ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT. **NOT LIVABLE SPACE:** SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.
 - A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

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CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

UNIT MIX

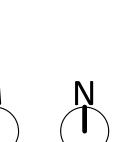
		\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
	UNIT TYPE	COUNT	
(STUDIO	79	
	JR 1 BED	99	
		178	1
>			.

FLOOR PLAN KEYED NOTES

)	KEYNOTE SCHEDULE - FLOOR PLAN		
)	KEYNOTE NOTE		
١			
	1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02	
	2	CLASS-I BIKE PARKING, SEE SHEET AP9.02	
	3	CLASS-II BIKE PARKING, SEE SHEET AP9.02	
1	4	ELEVATOR	
	5	STRUCTURAL COLUMN, TYP.	
	6	OVERHEAD DOOR	
	7	INTERIOR CORRIDOR	
	8	PRIVATE BALCONY / PATIO TYP.	
	9	CANOPY	
	10	BUILT-IN SCULPTURE	
	11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD	
	12	BUILDING BELOW	
	13	GUARDRAIL	
	16	EGRESS STAIRS	
	17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.	
	18	INDICATIVE/POTENTIAL LOCATION FOR BUILDING SIGNAGE. FINAL SIGNAGE & LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME	
	19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS	
	23	EXISTING TRANSFORMER TO REMAIN	
	24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER	
$\left \right $	25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3	
	26	LARGER BICYCLE STORAGE SPACE (3' x 10')	
)	29	ACTIVE COMMON SPACE, SEE GENERAL NOTES	

ROOFTOP COMMON SPACE, SEE GENERAL NOTES

31 NOT LIVABLE SPACE, SEE GENERAL NOTES



TRUE PROJECT NORTH

PROPOSED LEVEL 7 PLAN

workbench

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2020 SANT

DATE

02.20.2025



ISSUES/ REVISIONS

DESCRIPTION

PLANNING REV-01

Print Date 10/18/202 Drawn by OH/MI	2	PLANNING R	EV-02	Date 3
Project number 2314 Print Date 10/18/202 Drawn by OH/MI Checked by EI Scale As indicated All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used				
Project number 2314 Print Date 10/18/202 Drawn by OH/MI Checked by EI Scale As indicated All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used				
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Drawn by Checked by El Scale As indicated All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used	Pro _.	ject number		23143
Checked by Scale As indicated All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used	Prin	it Date	10/	18/2024
Scale As indicated All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used	Dra	wn by		ОН/МВ
All drawings and written material appearing herin constitute original an unpublished work of Workbench, Inc. and may not be duplicated, used	Che	cked by		EB
unpublished work of Workbench, Inc. and may not be duplicated, used	Sca	le	As ir	ndicated
	unpubli	shed work of Workbench, Inc	and may not be do	uplicated, used o



SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION

SEE LANDSCAPE DRAWINGS FOR PODIUM LANDSCAPE DESIGN AND PLANTING LAYOUT.

ALL CLASS-I BICYCLE PARKING TO BE ACCESS CONTROLLED FOR RESIDENT USE ONLY BY A CODE OR KEY FOB LOCKED DOOR, INCLUDING INFRASTRUCTURE FOR E-BIKE CHARGING.

CLASS-I BICYCLE STORAGE FOR COMMERCIAL USE TO BE INCORPORATED INTO A FUTURE TENANT IMPROVEMENT AND TO PROVIDE BICYCLE STORAGE WITHIN AN ACCESS CONTROLLED ROOM BY CODE OR KEY FOB, ACCESSIBLE TO COMMERCIAL EMPLOYEES ONLY ACTIVE GROUND-LEVEL USES: INCLUDING COMMON RESIDENTIAL LOBBY, LEASING OFFICES, COMMON SPACES PUBLICLY VISIBLE, AND ASSOCIATED USES (PER TABLE 4-1 AND ADDITIONAL REGULATION 2 ON PAGE 38 OF DOWNTOWN PLAN). POTENTIAL FUTURE COMMERCIAL OR ACTIVE FRONTAGE USES, BY SEPARATE PLANNING PERMIT.

ROOFTOP COMMON SPACE: INCLUDING INDOOR COMMON SPACE OF 789 SF AND ASSOCIATED OUTDOOR COMMON SPACE OF 749 SF. POTENTIAL FUTURE COMMERCIAL USES INCLUDE EATING AND DRINKING ESTABLISHMENTS WITH ROOFTOP DINING AND BAR (PER TABLE 4-2 AND ADDITIONAL REGULATION 3 ON PAGE 45, AND "INTEGRATED ROOFTOP

NOT LIVABLE SPACE: SPACE NOT MEETING THE DEFINITION OF "LIVABLE SPACE" AT GOV.

A = INDICATES THE LOCATION OF AN AFFORDABLE UNIT

CODE 66313(E) INCLUDING STORAGE AND OTHER AMENITY SPACE.

DESIGN" ON PAGE 80 OF DOWNTOWN PLAN) BY SEPARATE PLANNING PERMIT.

UNIT MIX

	<u> </u>	$\wedge \wedge \wedge \wedge$
	UNIT TYPE	COUNT
$\left\{ \ \right $	STUDIO	79
	JR 1 BED	99
> >		178
٠ -		

FLOOR PLAN KEYED NOTES

		KEYNOTE SCHEDULE - FLOOR PLAN
	KEYNOTE NOTE	
	1	STACKER VEHICLE PARKING SPACES, SEE SHEET AP9.02
	2	CLASS-I BIKE PARKING, SEE SHEET AP9.02
	3	CLASS-II BIKE PARKING, SEE SHEET AP9.02
3	4	ELEVATOR
	5	STRUCTURAL COLUMN, TYP.
	6	OVERHEAD DOOR
	7	INTERIOR CORRIDOR
3	8	PRIVATE BALCONY / PATIO TYP.
	9	CANOPY
	10	BUILT-IN SCULPTURE
	11	DASHED LINE INDICATES BUILDING/CANOPY OVERHEAD
3	12 BUILDING BELOW	
	13	GUARDRAIL
	16	EGRESS STAIRS
	17	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
	18	INDICATIVE/POTENTIAL LOCATION FOR BUILDING SIGNAGE. FINAL SIGNAGE & LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME
	19	PROPOSED PLANTERS, SEE LANDSCAPE PLANS
	23	EXISTING TRANSFORMER TO REMAIN
	24	PROPOSED NEW TRANSFORMER LOCATIONS, PLACEHOLDER
	25	BICYCLE REPAIR STATION PER SCMC 24.12.250.3
	26	LARGER BICYCLE STORAGE SPACE (3' x 10')
	29	ACTIVE COMMON SPACE, SEE GENERAL NOTES
	30	ROOFTOP COMMON SPACE, SEE GENERAL NOTES

31 NOT LIVABLE SPACE, SEE GENERAL NOTES



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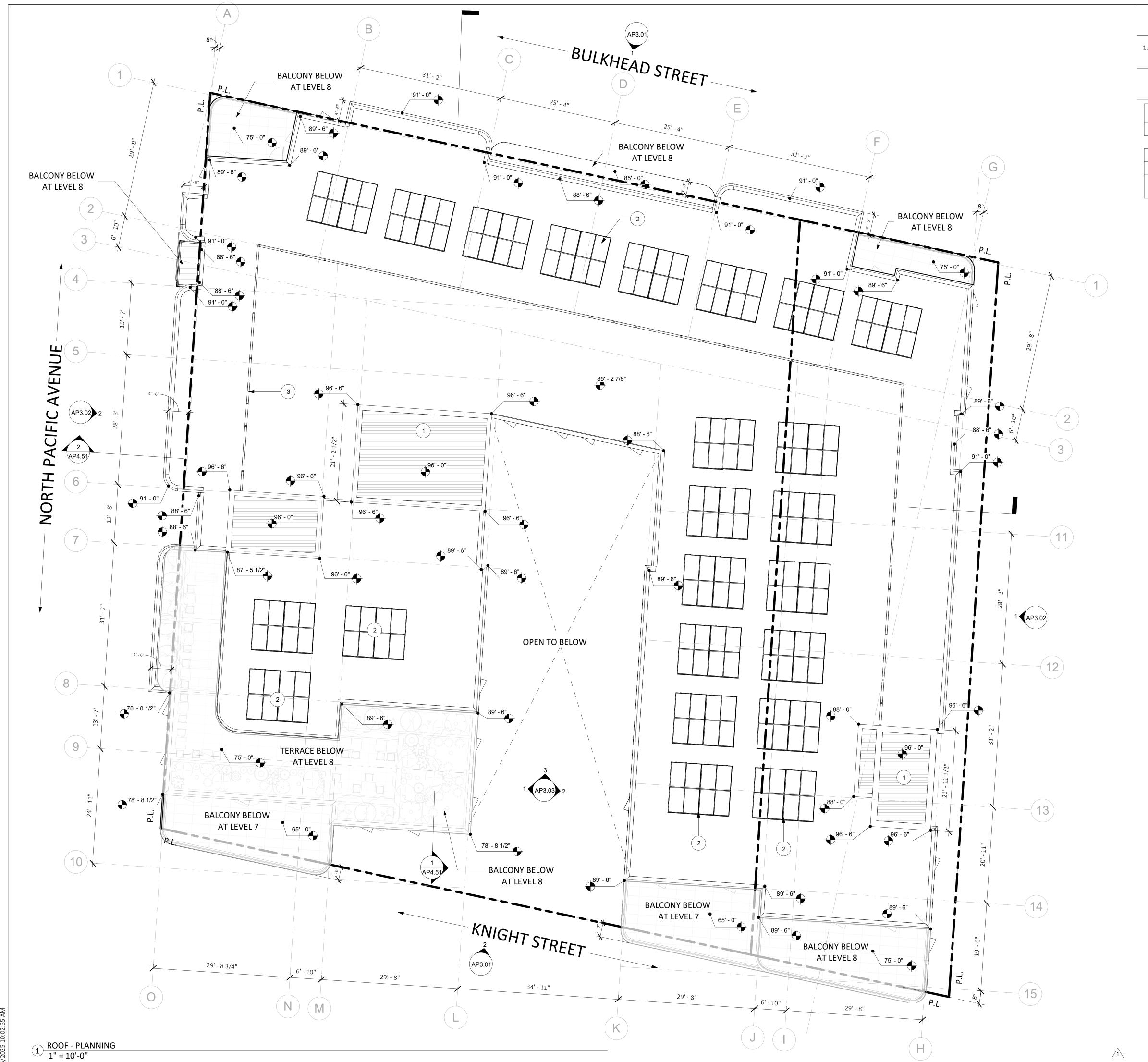
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2020 N PACIFIC AVE SANTA CRUZ, CA 95060



Issue	DESCRIPT	ION	DATE
1	PLANNING F	REV-01	02.20.2025
2	PLANNING F	REV-02	Date 3
APN	l number	006-36	4-01, 02
Proj	ject number		23143
Prin	t Date	10/	18/2024
Dra	wn by		OH/MB
Che	cked by		EB
Scal	е	As in	ndicated
unpubli	vings and written material ap shed work of Workbench, In ed without written consent o	c. and may not be d	uplicated, used or

PROPOSED LEVEL 8 PLAN



ROOF PLAN NOTES

SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

ROOF PLAN KEYED NOTES

	KEYNOTE SCHEDULE - ROOF PLAN	
KEYNOTE NOTE		
1	ELEVATOR/STAIR OVERRUN	
2	INDICATIVE LOCATIONS OF SOLAR PHOTOVOLTAIC PANELS	
3	MECHANICAL EQUIPMENT AND ROOF SCREEN, LOCATION	
	INDICATED CONCEPTUALLY	



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CENTER CLOCKTOWER



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ssue	DESCRIPTIC	N	DATE
1	PLANNING RE'	V-01	02.20.2025
APN number 006-364-01, 02			4-01, 02
Proj	ect number		23143
Prin	t Date	10/	18/2024
Dra	wn by		OH/MB
Che	cked by		EB
Scal	е	As ir	ndicated
unpubli	rings and written material appea shed work of Workbench, Inc. a d without written consent of th	nd may not be du	uplicated, used or

PROPOSED ROOF PLAN

TRUE PROJECT



ELEVATIONS GENERAL NOTES

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR
- MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.

 CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.



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CLOCKTOWER

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MATERIALS KEYED NOTES

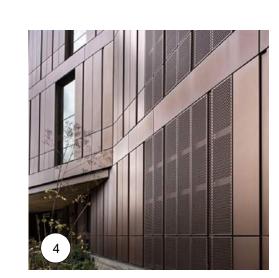
KEYNOTE	MATERIAL	
1	PERFORATED WALL/ SCREEN OR SIM.	
2	WOOD LOOK VERTICAL ORIENTED SIDING OR SIM.	
3	FIBER CEMENT PANELS OR GRC PANELS OR SIM.	
4	BRONZE LOOK METAL PANEL OR SIM.	
5	REPRESENTATIONAL BUILDING SIGNAGE - FINAL SIGNAGE AND LOCATION TBD. NO SIGN PERMIT APPLIED FOR AT THIS TIME	
6	STRUCTURAL COLUMN	
7	VINYL OR ALUMINUM WINDOWS OR SIM.	
8	PAINTED METAL GUARDRAIL / BALCONY OR SIM.	
9	BUILT-IN SCULPTURE	
10	PARAPET COPING / CORNICE	
11	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.	
12	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.	
13	OVERHEAD DOOR	
14	EXTERIOR DOOR	
15	CLASS-II BIKE PARKING	
16	CANOPY	
17	BACKLIT PERFORATED WALL OR SIM.	
18	MURAL ON STUCCO, FINE ART TBD	
19	PAINTED METAL PANEL RAILING BALCONY OR SIM.	
20	PROPOSED PLANTERS, SEE LANDSCAPE	
21	7' - 0" TALL OPERABLE GATE / FENCE	

MATERIALS LEGEND

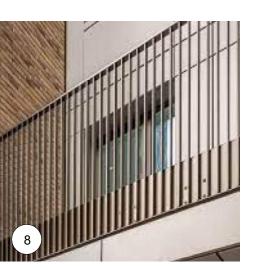




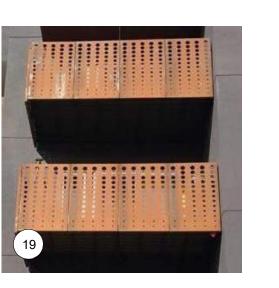












ssue	DESCRI	PTION	DATE
1	PLANNING	G REV-01	02.20.2025
APN number 006-364-01, 02		64-01, 02	
Proj	ect number		23143
Prin	t Date	10	/18/2024
Drawn by MB		MB	
Checked by EB		EB	
Scale As indicated		indicated	

ISSUES/ REVISIONS

PROPOSED ELEVATIONS

disclosed without written consent of the Workbench, Inc.

AP3.01



ELEVATIONS GENERAL NOTES

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FO
- MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.

 CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.



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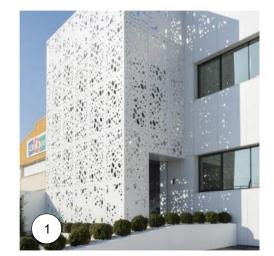
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MATERIALS KEYED NOTES

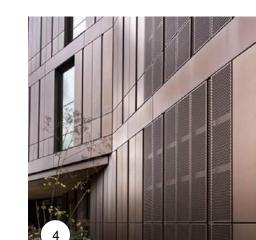
KEYNOTE	MATERIAL
1	PERFORATED WALL/ SCREEN OR SIM.
2	WOOD LOOK VERTICAL ORIENTED SIDING OR SIM.
3	FIBER CEMENT PANELS OR GRC PANELS OR SIM.
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9	BUILT-IN SCULPTURE
10	PARAPET COPING / CORNICE
11	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
12	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
13	OVERHEAD DOOR
14	EXTERIOR DOOR
15	CLASS-II BIKE PARKING
16	CANOPY
17	BACKLIT PERFORATED WALL OR SIM.
18	MURAL ON STUCCO, FINE ART TBD
19	PAINTED METAL PANEL RAILING BALCONY OR SIM.
20	PROPOSED PLANTERS, SEE LANDSCAPE
21	7' - 0" TALL OPERABLE GATE / FENCE

MATERIALS LEGEND





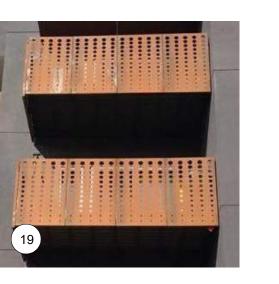












Issue	DESCRIP	ΓΙΟΝ	DATE
1	PLANNING	REV-01	02.20.2025
APN	l number	006-36	4-01, 02
Pro _.	ject number		23143
Prin	t Date	10/	18/2024
Dra	wn by		MB
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unpubli	vings and written material a shed work of Workbench, In ed without written consent o	ppearing herin const nc. and may not be d	itute original and uplicated, used or

PROPOSED ELEVATIONS

AP3.02



ELEVATIONS GENERAL NOTES

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR
- MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.

 CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.



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CENTER

CLOCKTOWER

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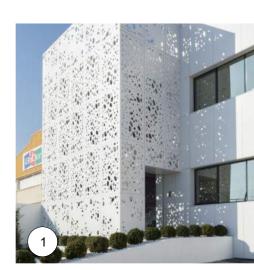
DATE 02.20.2025

As indicated

MATERIALS KEYED NOTES

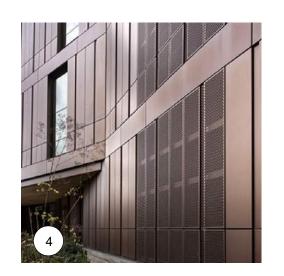
KEYNOTE	MATERIAL
1	PERFORATED WALL/ SCREEN OR SIM.
2	WOOD LOOK VERTICAL ORIENTED SIDING OR SIM.
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9	BUILT-IN SCULPTURE
10	PARAPET COPING / CORNICE
11	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR SIM.
12	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
13	OVERHEAD DOOR
14	EXTERIOR DOOR
15	CLASS-II BIKE PARKING
16	CANOPY
17	BACKLIT PERFORATED WALL OR SIM.
18	MURAL ON STUCCO, FINE ART TBD
19	PAINTED METAL PANEL RAILING BALCONY OR SIM.
20	PROPOSED PLANTERS, SEE LANDSCAPE
21	7' - 0" TALL OPERABLE GATE / FENCE

MATERIALS LEGEND



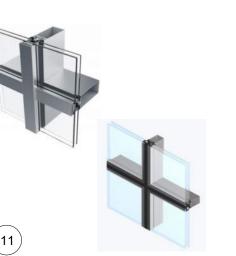


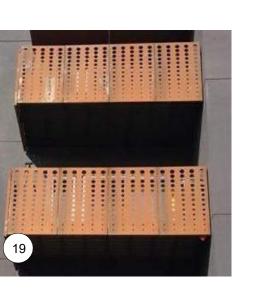












APN	number	006-364-01, 02	
Proje	ct number	23143	
Print	Date	10/18/2024	
Drawn by M		MB	

ISSUES/ REVISIONS

DESCRIPTION

PLANNING REV-01

PROPOSED ELEVATIONS

Checked by

AP3.03

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CLOCKTOWER CENTER

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ISSUES/ REVISIONS		
ssue	DESCRIPTION	DATE
1	PLANNING REV-01	02.20.2025
APN	I number 006-36	54-01, 02
Proj	ect number	23143
Prin	t Date 10	/18/2024
Dra	wn by	Author
Checked by Checker		Checker
Scale $1'' = 20'-0''$		' = 20'-0"
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SITE ELEVATIONS

AP3.51



SITE SECTION NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION.
 SURROUNDING CONTEXT IS MODELED TO SCALE BASED ON SURVEY DATA, AVAILABLE
- INFORMATION FROM THE CITY'S G.I.S. AND GOOGLE EARTH DATA.

 ADJACENT PROPERTIES ARE MODELED TO SCALE BASED ON GOOGLE EARTH DATA, THE
 HEIGHTS OF ADJACENT BUILDINGS ARE APPROXIMATED RELATIVE TO THE ADJACENT GRADE.



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CLOCKTOWER CENTER

N PACIFIC AVE N CRUZ, CA 95060

2020 SANT,

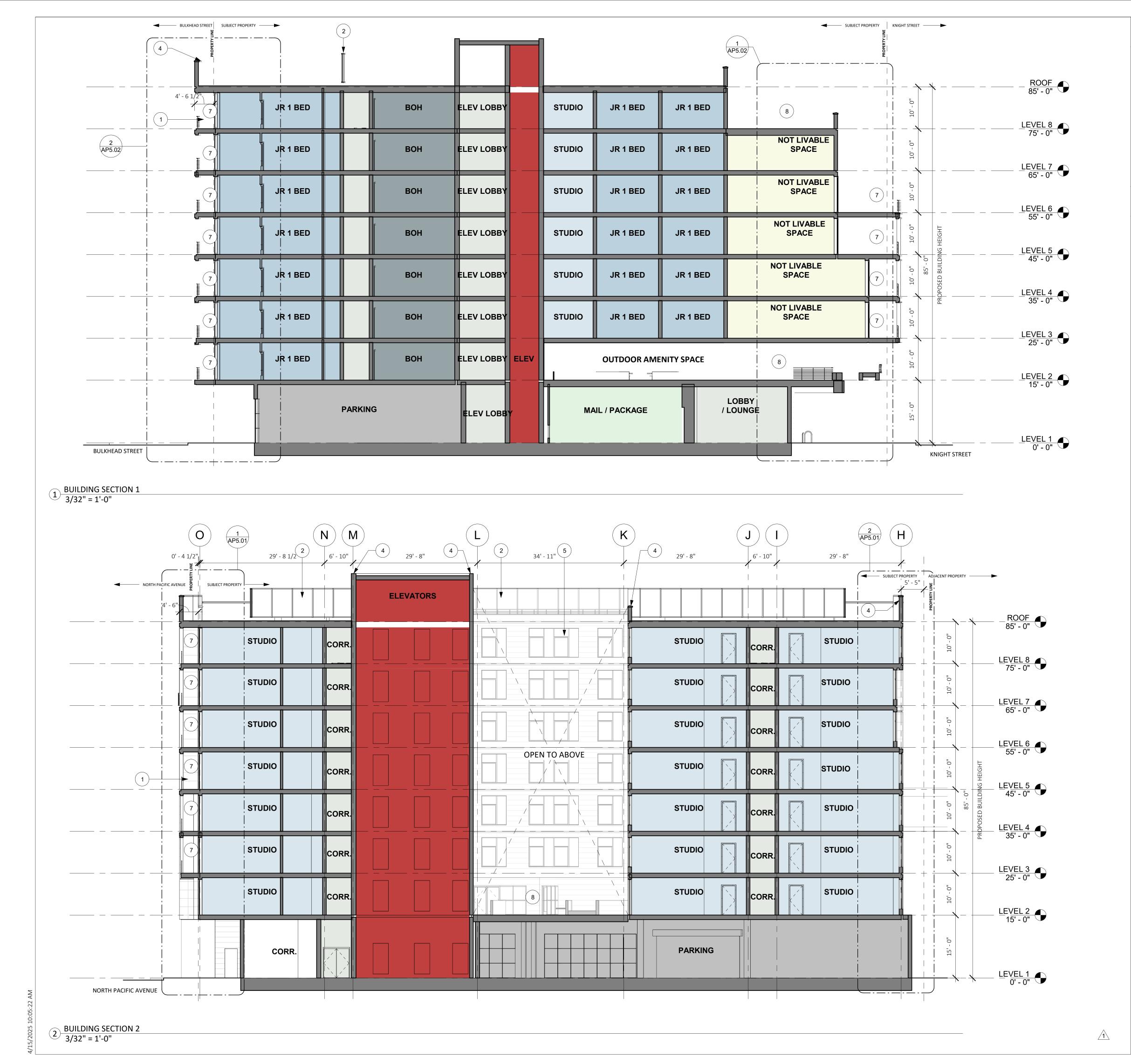


ssue	DESCRIPTIO	N	DATE
1	PLANNING REV	/-01	02.20.2025
APN	l number	006-36	4-01, 02
Proj	ect number		23143
Prin	t Date	10/18/2024	
Dra	wn by	Author	
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Scale As indicated		ndicated	
unpubli	rings and written material appear shed work of Workbench, Inc. ar d without written consent of the	nd may not be di	uplicated, used or

SITE SECTIONS

AP4.01

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BUILDING SECTION NOTES

SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION



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BUILDING SECTION KEYED NOTES

	KEYNOTE SCHEDULE - BUILDING SECTION
KEYNOTE	NOTE
1	PAINTED METAL GUARDRAIL/BALCONY OR SIM.
2	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
3	STRUCTURAL COLUMN
4	PARAPET COPING/CORNICE
5	VINYL OR ALUMINUM WINDOWS OR SIM.
6	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR
	SIM.
7	PRIVATE BALCONY/TERRACE
8	COMMON TERRACE/OPEN SPACE

CENTER) N PACIFIC AVE TA CRUZ, CA 95060 CLOCKTOWER 2020 SANT,



ISS	SUES/ REVISIONS	
Issue	DESCRIPTION	DATE
1	PLANNING REV-01	02.20.2025
APN	N number 006-3	64-01, 02
Proj	ject number	23143
Prin	Print Date 10/18/2024	
Dra	wn by	MB
Che	cked by	EB
Scal	Scale As indicated	
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BUILDING SECTIONS

AP4.51

ROOF 85' - 0" STUDIO LEVEL 8 75' - 0" LEVEL 8 75' - 0" STUDIO LEVEL 7 65' - 0" LEVEL 7 65' - 0" D' - 3" TYP WINDOW STUDIO LEVEL 6 55' - 0" LEVEL 6 55' - 0" STUDIO LEVEL 5 45' - 0" LEVEL 5 45' - 0" STUDIO LEVEL 4 35' - 0" LEVEL 4 35' - 0" STUDIO LEVEL 3 25' - 0" LEVEL 3 25' - 0" STUDIO LEVEL 2 15' - 0" LEVEL 2 15' - 0" PARKING LEVEL 1 0' - 0" LEVEL 1 0' - 0" 2 EAST FACADE - WALL SECTION 3/16" = 1'-0"

4' - 5"

1

STUDIO

STUDIO

STUDIO

STUDIO

STUDIO

STUDIO

STUDIO

WEST FACADE - WALL SECTION
3/16" = 1'-0"

BUILDING SECTION NOTES

SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION



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	KEYNOTE SCHEDULE - BUILDING SECTION
	RETNOTE SCHEDOLE - BUILDING SECTION
KEYNOTE	NOTE
1	PAINTED METAL GUARDRAIL/BALCONY OR SIM.
2	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
3	STRUCTURAL COLUMN
4	PARAPET COPING/CORNICE
5	VINYL OR ALUMINUM WINDOWS OR SIM.
6	GLAZED ALUMINUM OR TIMBER STOREFRONT SYSTEM OR
	SIM.
7	PRIVATE BALCONY/TERRACE
8	COMMON TERRACE/OPEN SPACE

1

BUILDING SECTION KEYED NOTES

PET COPING/CORNICE	
OR ALUMINUM WINDOWS OR SIM.	
D ALUMINUM OR TIMBER STOREFRONT SYSTEM OR	
	~
TE BALCONY/TERRACE	
//ON TERRACE/OPEN SPACE	Ш
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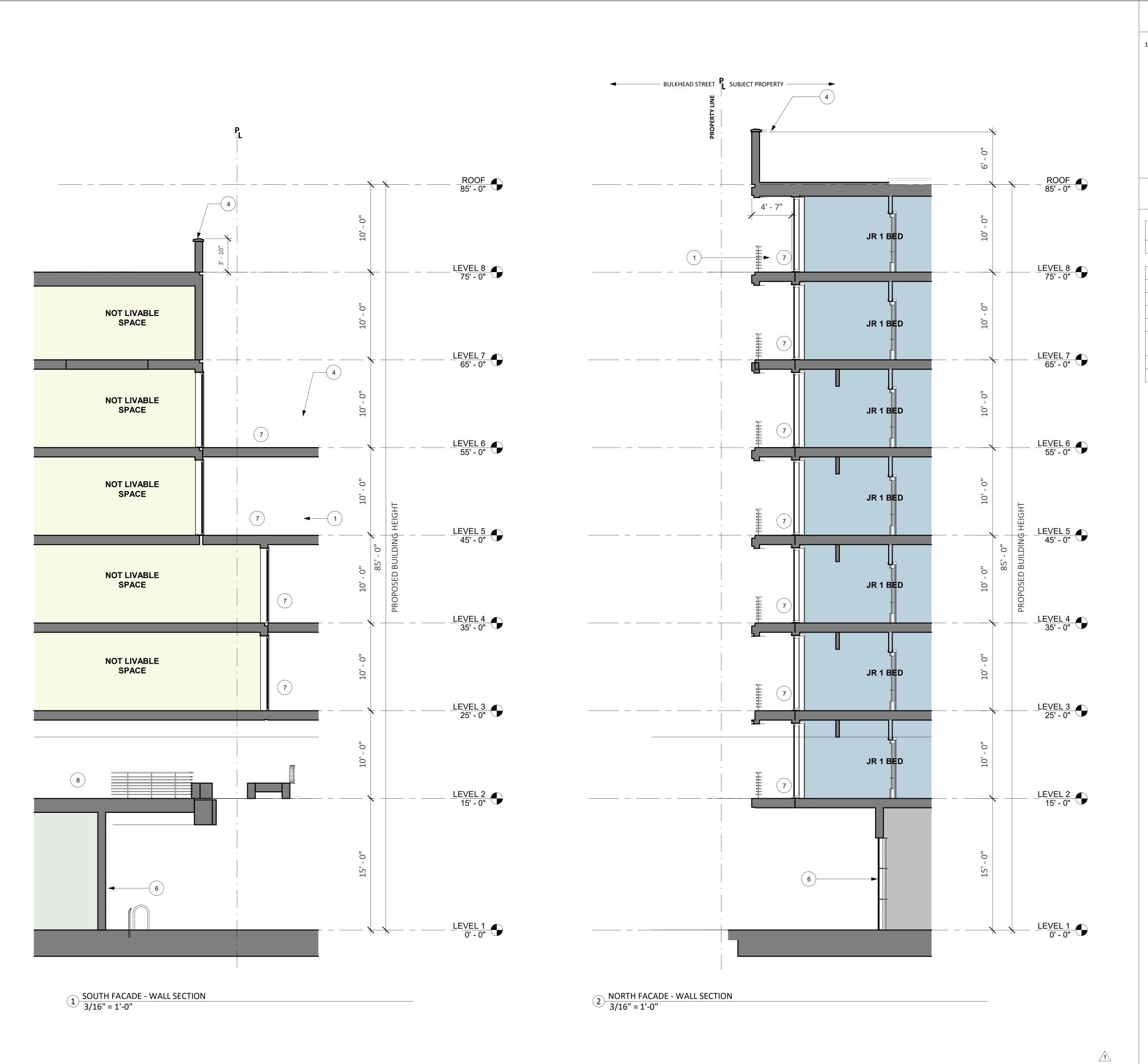


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1	PLANNING RE'	V-01	02.20.2025
APN	l number	006-36	4-01, 02
Proj	ject number		23143
Print Date 10/18/2024		18/2024	
Drawn by JC		JC	
Che	Checked by EB		EB
Scal	Scale As indicated		ndicated
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ENLARGED WALL SECTIONS

AP5.01



BUILDING SECTION NOTES

SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION



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CENTER

CLOCKTOWER

	KEYNOTE SCHEDULE - BUILDING SECTION
KEYNOTE	NOTE
1	PAINTED METAL GUARDRAIL/BALCONY OR SIM.
2	METAL MECHANICAL EQUIPMENT SCREEN OR SIM.
3	STRUCTURAL COLUMN
4	PARAPET COPING/CORNICE
5	VINYL OR ALUMINUM WINDOWS OR SIM.
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	SIM.
7	PRIVATE BALCONY/TERRACE
8	COMMON TERRACE/OPEN SPACE

BUILDING SECTION KEYED NOTES

	KEYNOTE SCHEDULE - BUILDING SECTION
KEYNOTE	NOTE
1	PAINTED METAL GUARDRAIL/BALCONY OR SIM.
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8	COMMON TERRACE/OPEN SPACE



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1	PLANNING	REV-01	02.20.2025
APN	l number	006-3	64-01, 02
Proj	ject number		23143
Prin	it Date	10)/18/2024
Dra	wn by		JC
Che	cked by		EB
Scal	le	As	indicated

ENLARGED WALL SECTIONS

AP5.02

LIGHTING PLAN NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION LIGHTING SHOWN IS ONLY AT EXTERIOR LOCATIONS AND IS ONLY SCHEMATIC.
- SEE PLANS FOR ROOM NAMES.
- SEE SURVEY FOR PROPOSED PARCEL DIMENSIONS.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR ELEVATIONS, MATERIALS, DETAILS, DIMENSIONS AND PLANTING AREAS AT SIDEWALKS.
- SEE LIGHTING FIXTURE SCHEDULE FOR PRELIMINARY PROPOSED LIGHT FIXTURE STYLES AND FINISHES, FINAL SELECTIONS TO BE PROVIDED IN THE BUILDING PERMIT STAGE.
- FINAL LIGHTING PLAN WILL BE COORDINATED WITH SITE PHOTOMETRIC STUDIES PROVIDED
- BY A LIGHTING / ELECTRICAL ENGINEER IN THE BUILDING PERMIT STAGE. LIGHT FIXTURES WILL NOT EXCEED 1260 LUMENS IN BRIGHTNESS OR 3000K IN COLOR PER
- SCMC 24.12.185.16(a) BUILDING FACES SHALL BE ILLUMINATED SUCH THAT SURFACES LOCATED AT LEAST TEN HORIZONTAL FEET AWAY FROM BUILDING ENTRIES SHALL HAVE AT LEAST SIXTY-SIX PERCENT LESS LUMINANCE THAN SURFACES WITHIN TEN HORIZONTAL FEET OF BUILDING ENTRIES PER SCMC 24.12.185.16(g)

DRAFT LIGHTING FIXTURE SCHEDULE



F1 - CEILING MOUNTED LED **DOWNLIGHT**

B.O.D.: MAXXIMA 4 IN. ULTRA THIN RECESSED ANTI-GLARE LED DOWNLIGHT FINISH: BRONZE



F2 - WALL MOUNT LED DOWNLIGHT

B.O.D.: KICHLER CYLINDER 2 LIGHT 12" TALL OUTDOOR WALL SCONCE FINISH: BRONZE



F3 - WALL MOUNT LED **UTILITY DOWNLIGHT**

B.O.D.: LUMENS PITCH LED INDOOR/OUTDOOR WALL SCONCE FINISH: BRONZE



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CENTER

CLOCKTOWER



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Issue	DESCRIPTION	DATE		
1 PL	ANNING REV-01	02.20.2025		
APN number	006-3	06-364-01, 02		
Project num	ber	23143		
Print Date	10	10/18/2024		
Drawn by		Author		
Checked by		Checker As indicated		
Scale	As			



TRUE PROJECT NORTH

LIGHTING PLANS

AP6.01

LIGHTING PLAN NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- LIGHTING SHOWN IS ONLY AT EXTERIOR LOCATIONS AND IS ONLY SCHEMATIC.
- SEE PLANS FOR ROOM NAMES.
 SEE SURVEY FOR PROPOSED PARCEL DIMENSIONS.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR ELEVATIONS, MATERIALS, DETAILS, DIMENSIONS AND PLANTING AREAS AT SIDEWALKS.
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DRAFT LIGHTING FIXTURE SCHEDULE



F1 - CEILING MOUNTED LED DOWNLIGHT

B.O.D.: MAXXIMA 4 IN. ULTRA THIN RECESSED ANTI-GLARE LED DOWNLIGHT **FINISH:** BRONZE



F2 - WALL MOUNT LED DOWNLIGHT

B.O.D.: KICHLER CYLINDER 2 LIGHT 12" TALL OUTDOOR WALL SCONCE
FINISH: BRONZE



F3 - WALL MOUNT LED UTILITY DOWNLIGHT

B.O.D.: LUMENS PITCH LED INDOOR/OUTDOOR
WALL SCONCE
FINISH: BRONZE



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P: 831.227.2217

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1	PLANNING REV-01	02.20.2025				
APN	I number 006	6-364-01, 02				
Proj	ject number	23143				
Prin	t Date	10/18/2024				
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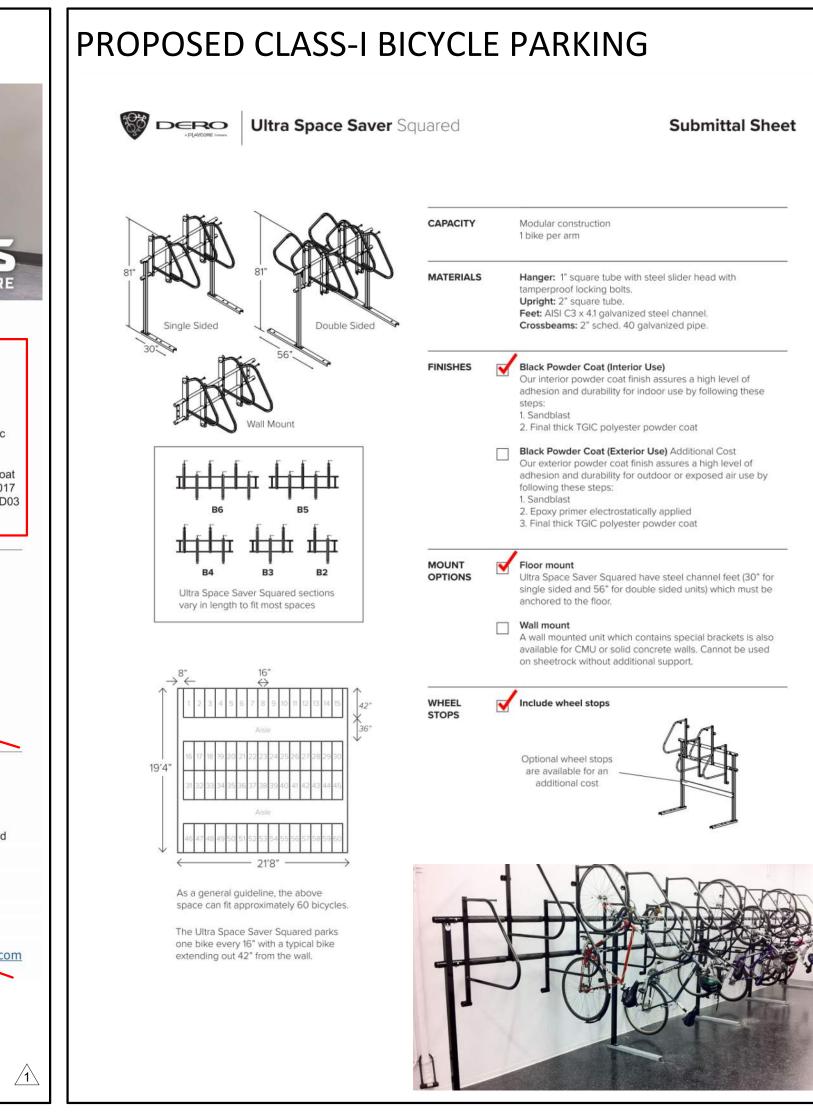
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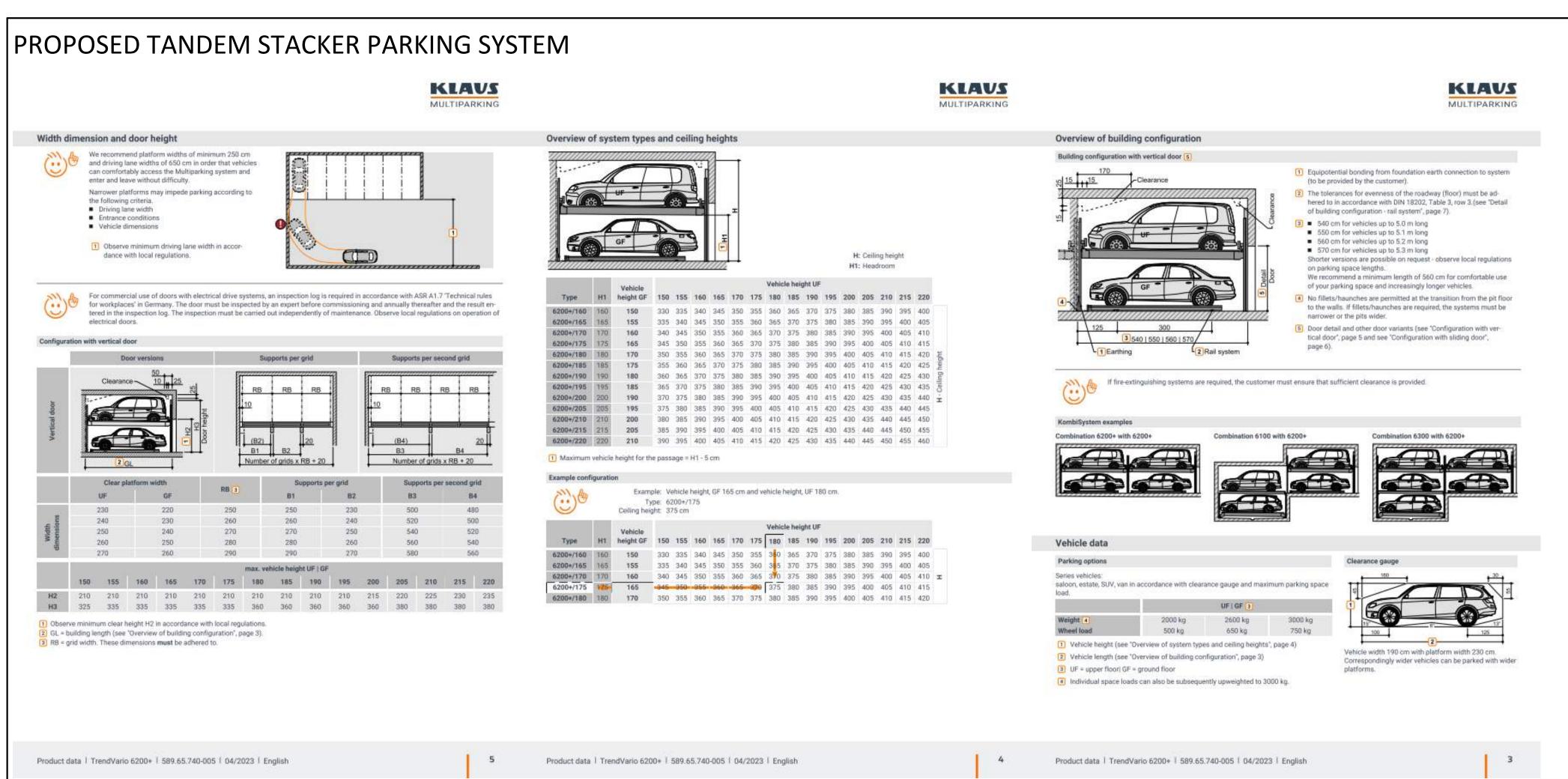
LIGHTING PLANS

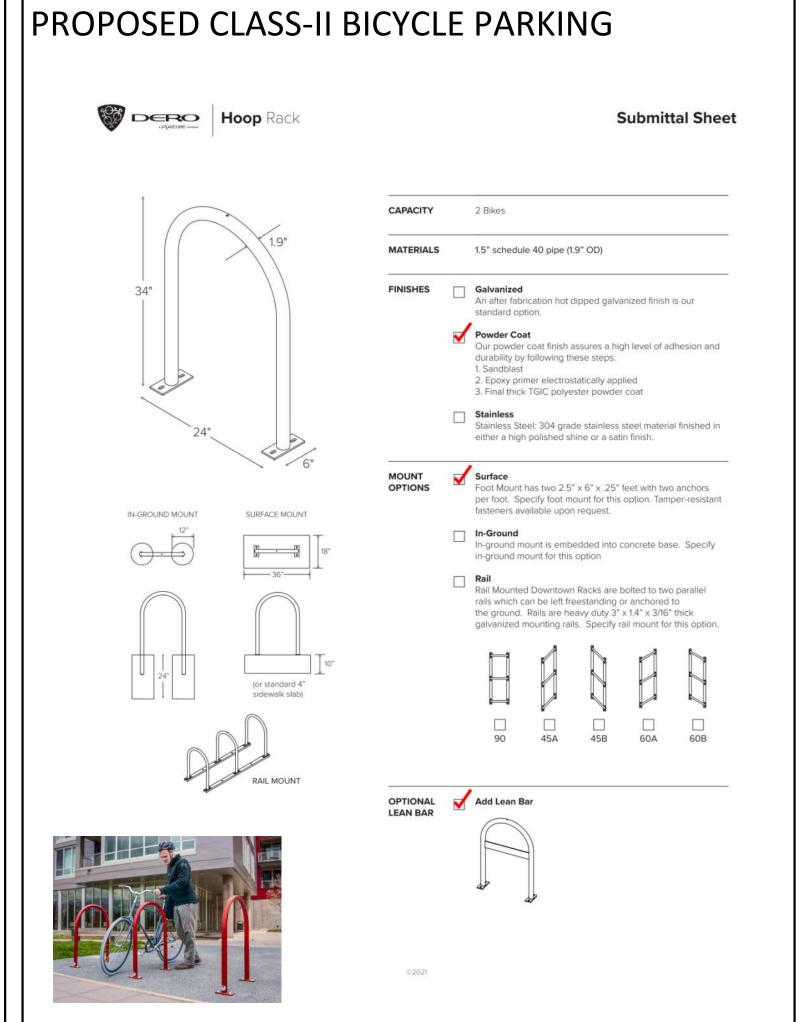
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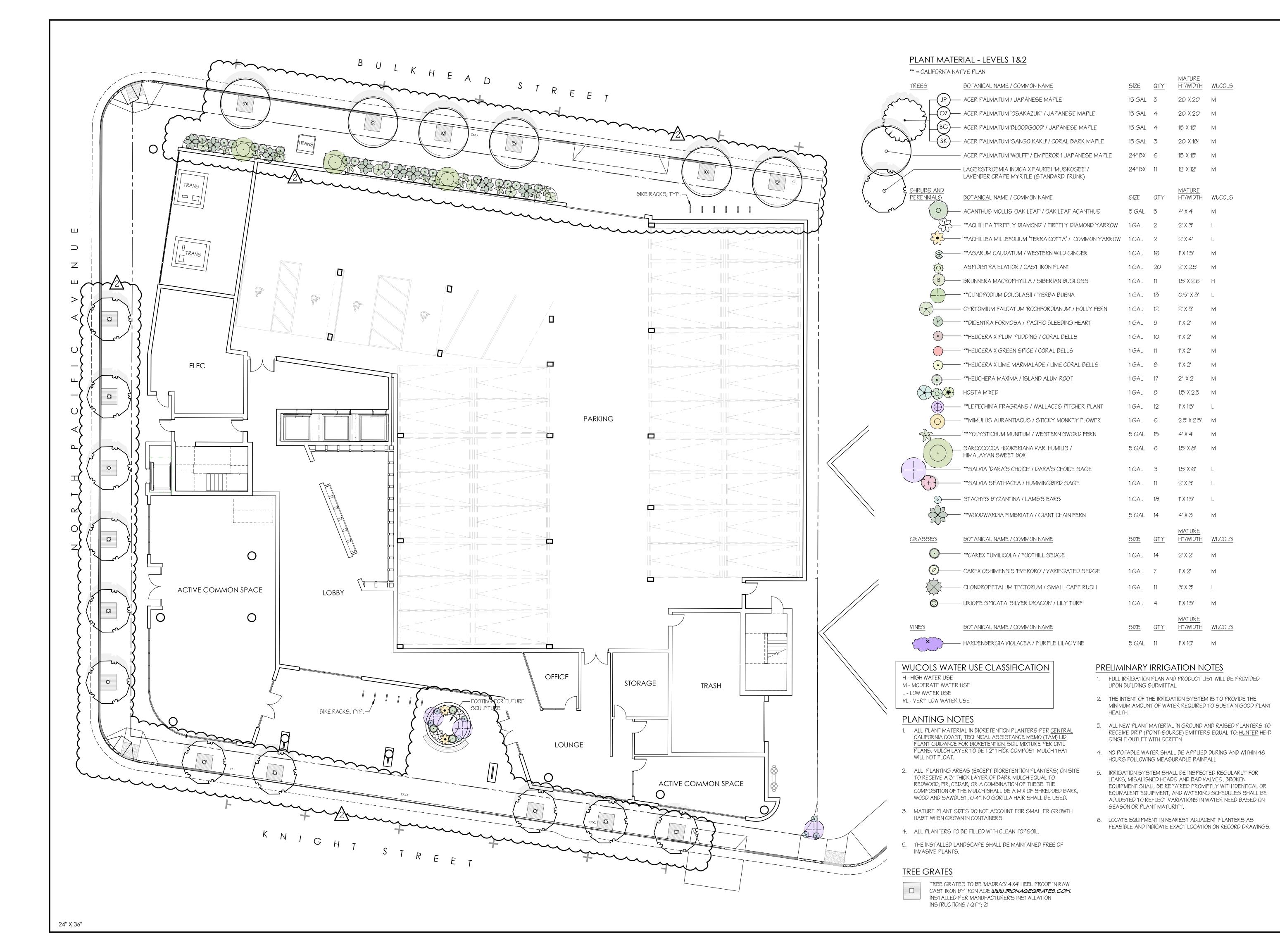
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CAR, EV, BICYCLE PARKING, & STORAGE INFO





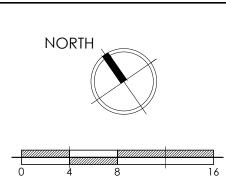
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WATER EFFICIENT LANDSCAP ORDINANCE COMPLIANCE UPON BUILDING SUBMITTAL PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH THE CITY OF SANTA CRUZ, MUNICIPAL CODE CHAPTER 16.16

1815 MISSION STREET

1811, 1815, 1819 MISSION SREET SANTA CRUZ, CA 95060



SCALE: 1/8" = 1'-0" PLAN REVISIONS

2\ 4/8/2025 PLANNING REV-02

DATE • 7/12/2025

JOB • 2412

SHEET TITLE

LANDSCAPE PLAN LEVEL 1 STREET

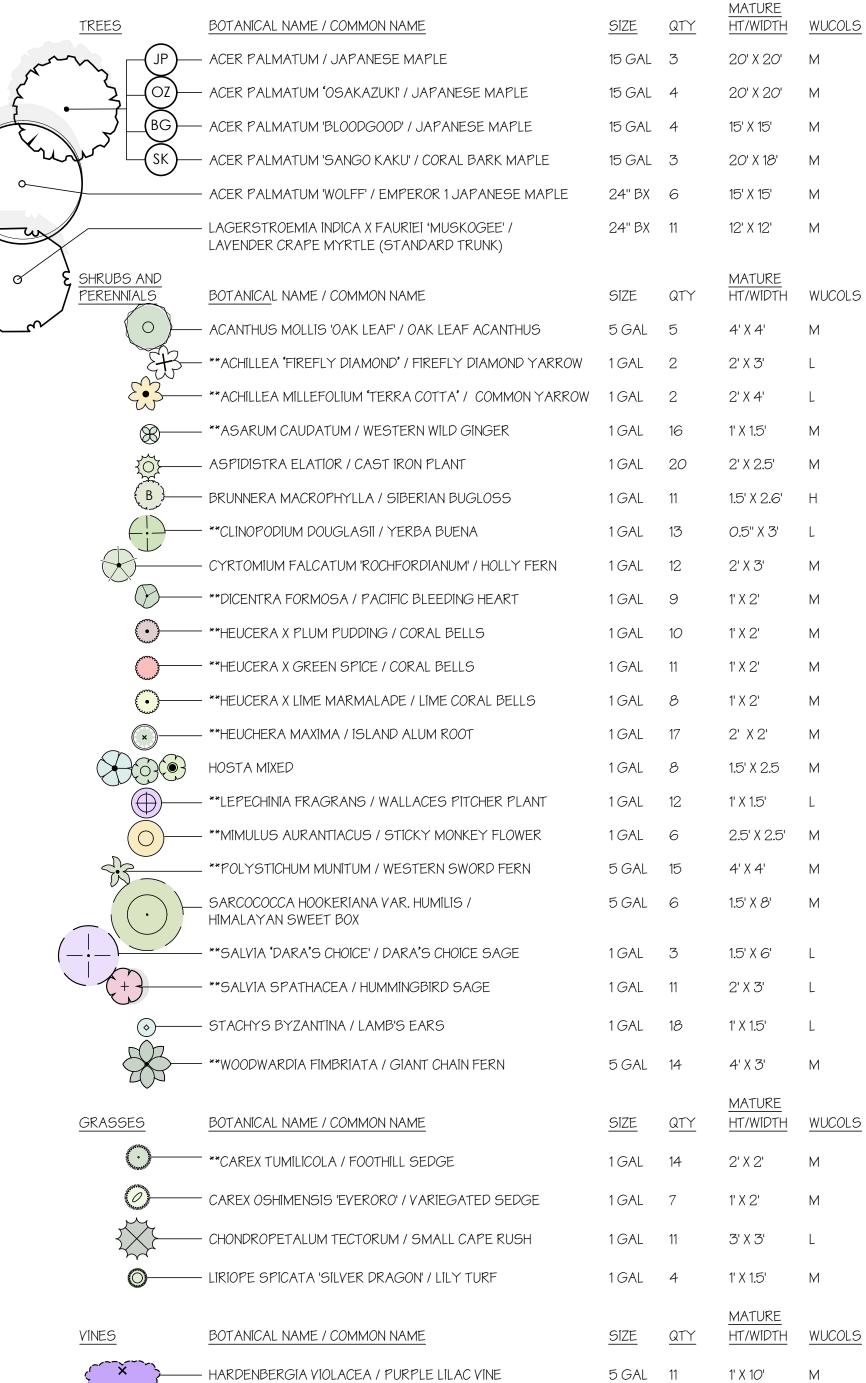
SHEET NUMBER



24" X 36"

PLANT MATERIAL - LEVELS 1&2

** = CALIFORNIA NATIVE PLAN



WUCOLS WATER USE CLASSIFICATION

- H HIGH WATER USE
- M MODERATE WATER USE
- L LOW WATER USE VL - VERY LOW WATER USE

PLANTING NOTES

- 1. ALL PLANT MATERIAL IN BIORETENTION PLANTERS PER CENTRAL CALIFORNIA COAST, TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION. SOIL MIXTURE PER CIVIL PLANS. MULCH LAYER TO BE 1-2" THICK COMPOST MULCH THAT WILL NOT FLOAT.
- 2. ALL PLANTING AREAS (EXCEPT BIORETENTION PLANTERS) ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
- 3. MATURE PLANT SIZES DO NOT ACCOUNT FOR SMALLER GROWTH HABIT WHEN GROWN IN CONTAINERS
- 4. ALL PLANTERS TO BE FILLED WITH CLEAN TOPSOIL.
- 5. THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

PRELIMINARY IRRIGATION NOTES

- 1. FULL IRRIGATION PLAN AND PRODUCT LIST WILL BE PROVIDED UPON BUILDING SUBMITTAL.
- 2. THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT
- 3. ALL NEW PLANT MATERIAL IN GROUND AND RAISED PLANTERS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
- 4. NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
- 5. IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES, BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
- 6. LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.

LANDSCAPE ARCHITECTURE

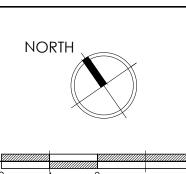
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WATER EFFICIENT LANDSCAP ORDINANCE COMPLIANCE UPON BUILDING SUBMITTAL PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH THE CITY OF SANTA CRUZ, MUNICIPAL CODE CHAPTER 16.16

1815 MISSION STREET

1811, 1815, 1819 MISSION SREET SANTA CRUZ, CA 95060



SCALE: 1/8" = 1'-0" PLAN REVISIONS

2\ 4/8/2025 PLANNING REV-02

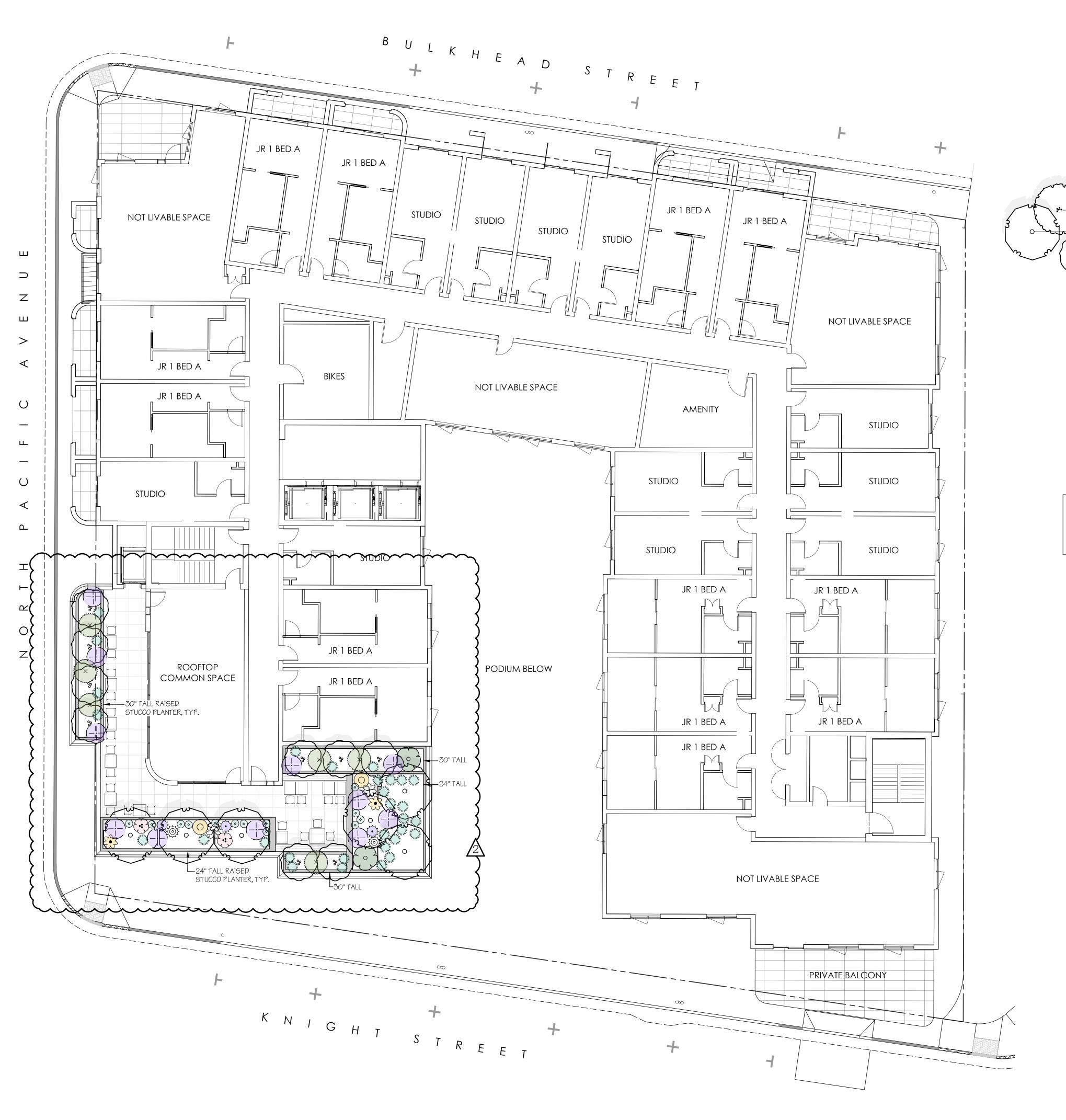
DATE • 7/12/2025 JOB • 2412

SHEET TITLE

LANDSCAPE PLAN LEVEL 2 PODIUM

SHEET NUMBER

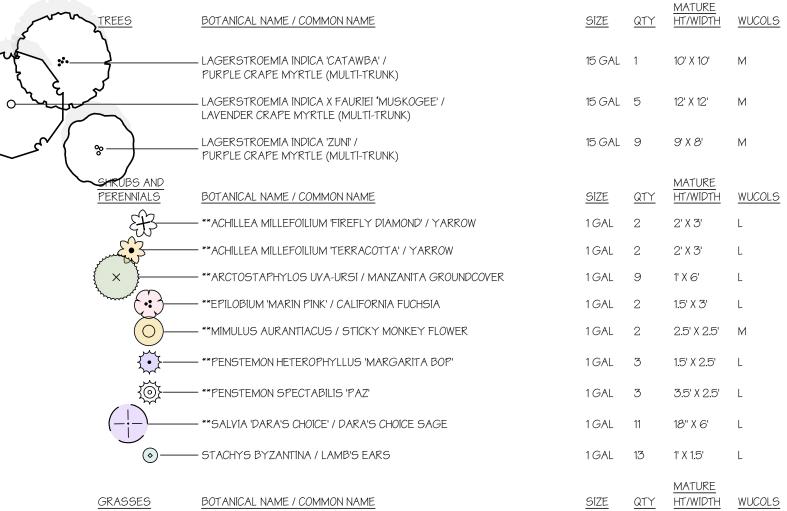
L1.2



24" X 36"

PLANT MATERIAL - LEVEL 8 ONLY

** = CALIFORNIA NATIVE PLANT



WUCOLS WATER USE CLASSIFICATION

- H HIGH WATER USE
- M MODERATE WATER USE
- L LOW WATER USE VL - VERY LOW WATER USE

PLANTING NOTES

- 1. ALL PLANT MATERIAL IN BIORETENTION PLANTERS PER CENTRAL CALIFORNIA COAST, TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION. SOIL MIXTURE PER CIVIL PLANS. MULCH LAYER TO BE 1-2" THICK COMPOST MULCH THAT WILL NOT FLOAT.
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- 5. THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

**FESTUCA CALFORNICA / CALIFORNIA FESCUE 1 GAL 33 2' X 2' L

PRELIMINARY IRRIGATION NOTES

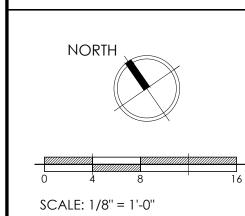
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- 6. LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.



WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE UPON BUILDING SUBMITTAL, PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH THE CITY OF SANTA CRUZ, MUNICIPAL CODE CHAPTER 16.16

1815 MISSION STREET

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PLAN REVISIONS

2 4/8/2025 PLANNING REV-02

DATE • 7/12/2025

JOB • 2412

SHEET TITLE

LANDSCAPE PLAN LEVEL 8

SHEET NUMBER

L1.3