

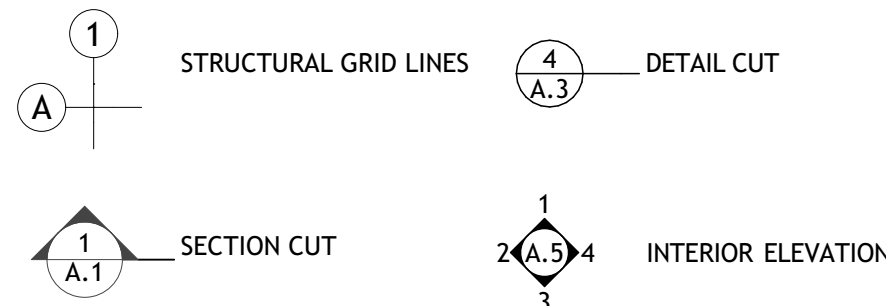
DELAVEAGA ROOFING REPAIRS

401 UPPER PARK RD. SANTA CRUZ, CA 95060

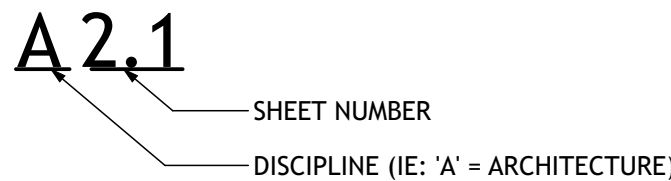
HATCH LEGEND

	ALUMINUM		CONTINUOUS LUMBER
	STEEL		PLYWOOD
	BATT INSULATION		GRANULAR MATERIAL
	RIGID INSULATION		EARTH
	CMU		CONCRETE
	BRICK		CMU GROUTED SOLID
	EIFS		GYPSUM BOARD

SYMBOLS



SHEET NUMBER LEGEND



ABBREVIATIONS

BLKG	BLOCKING	PT.	PRESSURE TREATED
BOT.	BOTTOM	PLWD	PLYWOOD
CONC.	CONCRETE	REF.	REFER
CONT.	CONTINUOUS	REQD	REQUIRED
CU FT.	CUBIC FEET	SCHED	SCHEDULE
DIA.	DIAMETER	S.F.	SQUARE FEET
DWGS	DRAWINGS	S.S.	STAINLESS STEEL
(E)	EXISTING	STD	STANDARD
EA.	EACH	STL	STEEL
EN	END NAIL	SQ.	SQUARE
EQ.	EQUAL	T&B	TOP & BOTTOM
EXT.	EXTERIOR	TBD	TO BE DETERMINED
FDTN	FOUNDATION	TYP.	TYPICAL
FT.	FEET OR FOOT	U.N.O.	UNLESS NOTED OTHERWISE
GYPBD	GYPSUM WALLBOARD	VERT.	VERTICAL
IN.	INCH	VIF	VERIFY IN FIELD
INT.	INTERIOR	WD	WOOD
LG	LONG	W/	WITH
MAX.	MAXIMUM		
MIN.	MINIMUM		
MTL	METAL		
(N)	NEW		
O/	OVER		
O.C.	ON CENTER		

GENERAL NOTES

1.01 ALL CONSTRUCTION WORK SHALL MEET OR EXCEED THE LATEST EDITION OF THE FOLLOWING CODES AS APPLICABLE AND AS ADOPTED BY THE LOCAL GOVERNING AGENCIES:

2022 CALIFORNIA BUILDING CODE (2021 IBC)
2022 CALIFORNIA RESIDENTIAL CODE (2021 IRC)
2022 CALIFORNIA FIRE CODE (2021 IFC)
2022 CALIFORNIA MECHANICAL CODE (2021 UMC)
2022 CALIFORNIA PLUMBING CODE (2021 UPC)
2022 CALIFORNIA ELECTRICAL CODE (2020 NEC)
2022 ENERGY EFFICIENCY STANDARD (TITLE 24)
2022 GREEN BUILDING CODE (TITLE 24)
AND ALL ORDINANCES ADOPTED BY THE GOVERNING AGENCIES.

1.02 THE GENERAL CONTRACTOR SHALL MAINTAIN THE CURRENT AND COMPLETE SET OF APPROVED CONSTRUCTION DOCUMENTS ON THE SITE AT ALL TIMES IN A SECURE LOCATION.

1.03 THE GENERAL CONTRACTOR SHALL PROVIDE COPIES OF THE APPROVED CONSTRUCTION DOCUMENTS FOR THE USE OF ALL TRADES AND SHALL PROVIDE THEM TO ALL SUBCONTRACTORS, WITH UPDATES AND APPROVED CHANGES AS REQUIRED AND NECESSARY.

1.04 THE GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL.

1.05 PROJECT DIMENSIONING STANDARDS:
1. ALL DIMENSIONS ARE MEASURED FROM THE FACE OF THE EXISTING FINISH FOR EXISTING WALLS;
2. FACE OF EXTERIOR PLYWOOD FOR NEW EXTERIOR WALLS;
3. FACE OF STUD FOR NEW INTERIOR WALLS; AND
4. CENTER OF COLUMN OR OPENING, FACE OF CABINET, OR GRIDLINES.

MAINTAIN DIMENSIONS MARKED AS CLEAR, ALLOWING FOR THICKNESS OR MOUNTING OF FINISHES.

WHEN TIEING INTO (E) CONDITIONS, (N) AND (E) FINISHES SHOULD ALIGN, WHICH GOVERN ACTUAL DIMENSIONS.

GC TO CONFIRM LOCATION OF GRIDLINES IN FIELD AND ADVISE ARCHITECT OF ANY VARIANCE.

1.06 DO NOT SCALE THE DRAWINGS. THE DIMENSIONS SHOWN SHALL SUPERSEDE THE SCALE OF THE DRAWINGS.

1.07 ANY DISCREPANCY IN DIMENSIONS OR CONFLICT IN PLANS OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONTINUANCE OF THE WORK IN THE AFFECTED AREA. IF THE WORK IS CONTINUED IN THE AFFECTED AREA, WITHOUT INSTRUCTION OR CLARIFICATION BY THE ARCHITECT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTANT DEFECT, DAMAGE OR CHANGE REQUIRED.

1.08 AT JOB COMPLETION, PRIOR TO SUBMITTING THE REQUISITION FOR FINAL PAYMENT, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A REDLINED SET OF PRINTS SHOWING AS-CONSTRUCTED CONDITIONS.

1.09 THE GENERAL CONTRACTOR SHALL PROVIDE PROPER CONTAINERS ON THE JOB SITE TO ASSURE CONTINUOUS RECYCLING OF MATERIALS.

1.10 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUBCONTRACTORS AND ASSUMING THEIR COMPLIANCE WITH THE RECYCLING PROGRAM.

1.11 NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL THE INSULATION INSPECTION BY PROPER AUTHORITIES IS COMPLETED.

GREEN BUILDING NOTES

2.01 CONTRACTOR SHALL RETAIN ALL WASTE HAULING RECEIPTS FOR INSPECTOR. RECEIPTS MUST INDICATE 65% SEPARATED, RECYCLABLE MATERIALS. ALL CREDITED WASTE HAULING RECEIPTS MUST INDICATE THE MATERIAL RECYCLED, AND CANNOT INDICATE "PUBLIC REFUSE" or "UNPROCESSED C&D"

2.02 INVENTORY, DECLARE, AND OBTAIN DOCUMENTATION OF PROPER HAZARDOUS WASTE DISPOSAL FOR ANY UNIVERSAL WASTE MATERIALS WITH THE SCOPE OF WORK AREA. RETAIN DOCUMENTATION FOR INSPECTOR.

2.03 PROHIBITED UNIVERSAL WASTE MATERIAL AS DEFINED IN CAL GREEN SECTION 202 INCLUDING BATTERIES, ELECTRONIC DEVICES, MERCURY-CONTAINING EQUIPMENT, LAMPS, CATHODE RAY TUBES, CATHODE RAY TUBE GLASS, AND AEROSOL CANS.

2.04 ALL PAINT, COATINGS, SEALANTS, CAULKINGS, ADHESIVES, COMPOSITE WOOD PRODUCTS, AND ANY OTHER MATERIALS COVERED IN CAL GREEN REQUIREMENTS MUST CONFORM TO CAL GREEN MANDATORY MEASURES. CONTRACTOR TO PROVIDE DOCUMENTATION AS REQUIRED BY INSPECTOR.

2.05 PRIOR TO PERMIT ISSUANCE CONTRACTOR TO COMPLETE AND SUBMIT THE RELEVANT CONSTRUCTION WASTE MANAGEMENT PLAN WHERE APPLICABLE.

2.06 FOR HOMES BUILT PRIOR TO 1994, CA CIVIL CODE SECTION 1101.4 REQUIRES ALL NON-COMPLIANT PLUMBING FIXTURES TO BE UPGRADED TO MEET CURRENT GREEN BUILDING CODE SECTION 4.303 WATER EFFICIENCIES WHEN ANY APPLICABLE BUILDING PERMIT IS OBTAINED. THEREFORE, EXISTING NON-COMPLIANT FIXTURES THROUGHOUT THE HOME EVEN WHERE NO OTHER WORK IS PROPOSED MUST HAVE WATER EFFICIENT FIXTURES INSTALLED TO FINAL THIS PERMIT. NON-COMPLIANT FIXTURES WOULD BE DEFINED AS: TOILETS > 1.6 GAL/ FLUSH, SHOWER HEADS > 2.5 GAL/MIN, AND ANY FAUCETS > 2.2 GAL/MIN.

PROJECT DIRECTORY

OWNER / CLIENT CITY OF SANTA CRUZ
809 CENTER STREET
SANTA CRUZ, CA 95060
CONTACT: DAN HILLMAN
PH: 510.816.4411
EMAIL: DHillman@santacruzca.gov

ARCHITECT NIELSEN STUDIOS
1509 SEABRIGHT AVE, SUITE 2B SANTA CRUZ, 95062
CONTACT: CHRISTIAN NIELSEN
PH: (831) 621-3926
FAX: (925) 287-0666
EMAIL: cn Nielsen@nielsenarchitects.com

STRUCTURAL ENGINEER BOB RILEY
MESITI-MILLER ENGINEERING INC.
224 WALNUT AVE., SUITE B
SANTA CRUZ, CA, 95060
PHONE: 831-4263186
bob@mm-me.com

SHEET INDEX

G0.1	COVER SHEET
G0.2	CALGREEN
G0.3	CALGREEN
G0.4	CALGREEN
A0.1	SITE PLAN
A1.1	EXISTING-DEMO FIRST FLOOR PLAN
A1.2	EXISTING-DEMO ROOF PLAN
A1.3	PROPOSED ROOF PLAN
A2.1	EXISTING-DEMO ELEVATIONS
A2.2	EXISTING-DEMO ELEVATIONS
A2.3	PROPOSED ELEVATIONS
A2.4	PROPOSED ELEVATIONS
A3.1	PROPOSED SECTIONS
A3.2	PROPOSED SECTIONS
A4.1	ELEVATOR ENLARGED PLAN
A5.1	CONSTRUCTION DETAILS
S1	STRUCTURAL SPECIFICATIONS
S2	ROOF FRAMING PLAN
S3.0	DETAILS

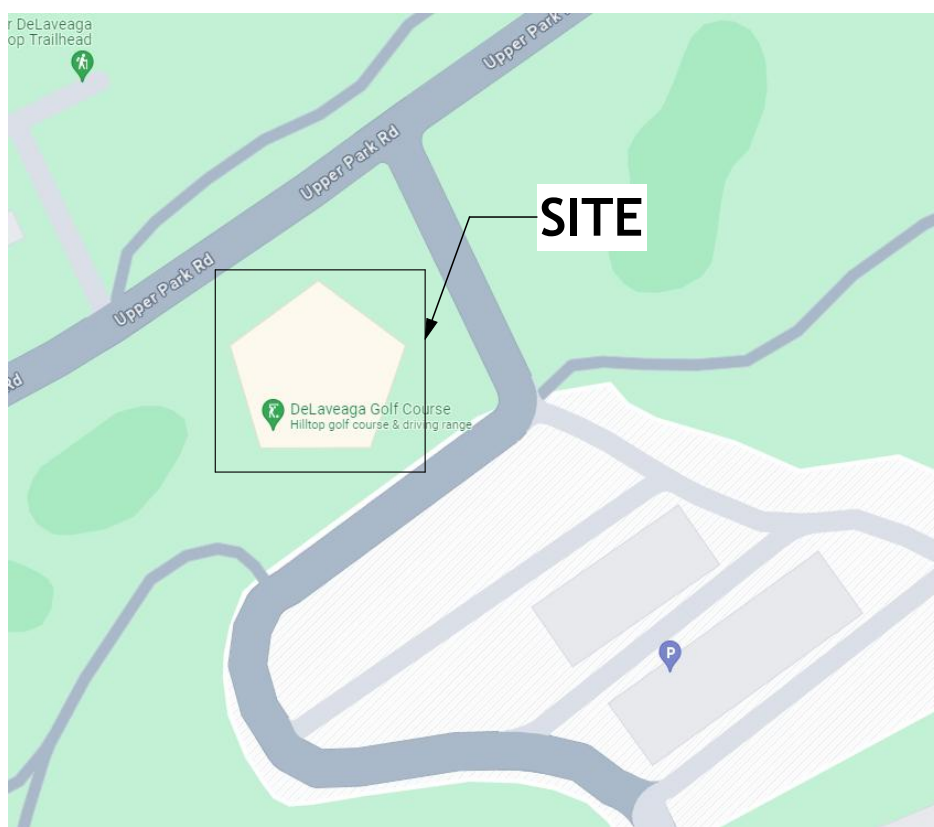
PROJECT DATA

APN: 009-47-101
ZONING DISTRICT: PK- PARKS
CONSTRUCTION TYPE: V-B NON-SPRINKLERED
PROJECT AREA: 9164
OCCUPANCY: B & M

PROJECT DESCRIPTION

PROVIDE ARCHITECTURAL DESIGN SERVICES FOR REROOFING, ALTERATIONS TO THE RAIN WATER COLLECTION SCUPPERS, REPLACEMENT OF FASCIA AND REPAIRS TO EXISTING STRUCTURAL BEAMS AND JOISTS. EXISTING ROOF IS APPROXIMATELY 4,500 SF. THE BUILDING AREAS OF THE EXISTING TWO STORY GOLF CLUBHOUSE WITH A SECOND FLOOR RESTAURANT ARE APPROXIMATELY 9,164 SF TOTAL AND 3,100 SF OF RESTAURANT. EXTERIOR REMODEL TO INCLUDE DEMOLITION OF PORTIONS OF EXISTING ROOF AND STRUCTURAL BEAMS AS NEEDED FOR THE REPLACEMENTS AND ENVELOPE UPGRADES TO RETURN THE INTEGRITY OF THE DAMAGED ELEMENTS AS IDENTIFIED BY THE STRUCTURAL ENGINEERING CONSULTANT.

VICINITY MAP



CODE REVIEW		PROJECT: DE LAVEAGA G.C.		401 UPPER PARK RD., SANTA CRUZ, CA 95060	
1 BUILDING CODES					
2016 CALIFORNIA BUILDING CODE (BASED ON THE 2015 IBC)					
2 BUILDING DATA		REQUIRED	REFERENCE	COMMENTS	
TOTAL BUILDING AREA		9,164			
FIRST FLOOR AREA		3,063			
SECOND FLOOR AREA		3,146			
SECOND FLOOR BALCONY/DECK ARAS				6,101 SF TOTAL 2ND FLOOR AREA (INCLUDING DECKS)	
ROOF AREA		5,134			
NUMBER OF STORIES		2			
BUILDING HEIGHT		32' - 3"			
FIRE SPRINKLER SYSTEM TYPE		NONE			
CONSTRUCTION TYPE		V-B			
3 OCCUPANCY GROUP					
FIRST FLOOR		B & M AREAS	CBC 303.3 OCCUPY	BUSINESS & MERCHANTILE	
• GOLF SHOP					
• BATHROOMS					
• OFFICE/ STORAGE					
TOTAL 2ND FLR RESTAURANT OCCUPANCY		0.0			
SECOND FLOOR					
		A-2 AREAS	CBC 303.3 OCCUPY	RESTAURANT	
• KITCHEN/FOOD PREP/ KITCHEN		1279	6.4 1 OCC/ 200 SF		
DINING/LOUNGE/ BAR		1867	124.5 1 OCC/15 SF		
TOTAL 2ND FLOOR INTERIOR OCCUPANCY			130.9		
BALCONY/ DECKS					
• DECK AREA A		800	53.3 1 OCC/15 SF		
• DECK AREA B, C & D		1097	73.1 1 OCC/15 SF		
• BALCONY AREA E & F		532	35.5 OCC/ LOAD FACTOR FOR EGRESS BALCONY @ 3/15		
TOTAL 2ND FLR EXTERIOR OCCUPANCY			161.9		
TOTAL 2ND FLR RESTAURANT OCCUPANCY			292.8		
4 CONSTRUCTION TYPE					
TYPE OF CONSTRUCTION		REQUIRED V-B	REFERENCE CBC 602.5		
5 MIXED USE OCCUPANCY					
ASSEMBLY SPACES CONSIDERED AS BUSINESS USE		NONE	903.2		
6 SPECIAL USE & OCCUPANCY					
NUMBER OF BUILDINGS ON SITE		1			
7 ALLOWABLE AREA & HEIGHT					
ALLOWABLE HEIGHT IN FT.		9000 SF/ 2 STORIES	TABLE 503		
ACTUAL FLOOR AREA / STORY		151 FLR - 3063 SF			
2ND FLR - 6101 SF					
ALLOWABLE AREA/STORY		9000 SF/ 2 STORIES/ 40'	TABLE 503		
SPRINKLER INCREASE			504.2		
FRONTAGE INCREASE			506.2		
INCIDENTAL USE		298 SF	303.1.2 (1)		
8 OCCUPANT LOAD					
		Area SF	Occupancy		
Total Occupancy (Second Floor)			292.8		
Total Occupancy (First Floor)			0.0		
Egress Distribution (non stairway)		293 x0.2"	58.559	58" Width Required/ 5 doors x 36" =180" Provided	
Number of Exits or Exit Access Doorways			5 CBC table		

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave, 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS

CITY OF SANTA CRUZ

401 UPPER PARK RD. SANTA CRUZ, CA

95060

009-47-101

THE QUALITY OF A BUILDING
PERMIT SHALL NOT BE
CONSIDERED AS A GUARANTEE
THAT ALL REQUIREMENTS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR SHALL BE
RESPONSIBLE FOR ENSURING
THAT ALL REQUIREMENTS
COMPLY WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

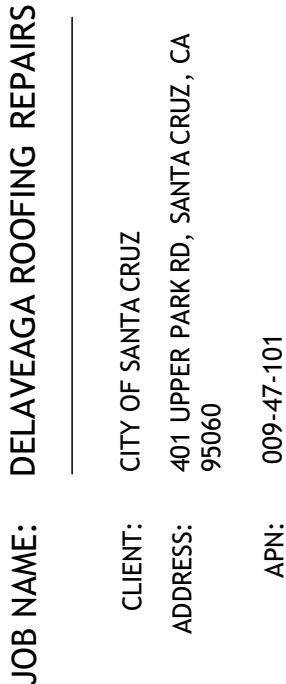
Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
G0.1

COVER SHEET

[illegible]

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set

G0.2

CALGREEN

Y	=	YES
N/A	=	NOT APPLICABLE
RESPON. PARTY	=	RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



ET 3 (January 2023)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

CALGREEN

**PREVIOUSLY APPROVED DRAWING INSERTED FOR
REFERENCE ONLY**



AREAL PHOTO VIEW (GOOGLE EARTH)
NOT TO SCALE

NIELSEN
PLAN > DESIGN > BUILD

1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS

401 UPPER PARK RD, SANTA CRUZ, CA

091

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106
107
108
109
110
111
112
113
114
115
116
117
118
119
120
121
122
123
124
125
126
127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224
225
226
227
228
229
230
231
232
233
234
235
236
237
238
239
240
241
242
243
244
245
246
247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262
263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342
343
344
345
346
347
348
349
350
351
352
353
354
355
356
357
358
359
360
361
362
363
364
365
366
367
368
369
370
371
372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419
420
421
422
423
424
425
426
427
428
429
430
431
432
433
434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494
495
496
497
498
499
500
501
502
503
504
505
506
507
508
509
510
511
512
513
514
515
516
517
518
519
520
521
522
523
524
525
526
527
528
529
530
531
532
533
534
535
536
537
538
539
540
541
542
543
544
545
546
547
548
549
550
551
552
553
554
555
556
557
558
559
560
561
562
563
564
565
566
567
568
569
570
571
572
573
574
575
576
577
578
579
580
581
582
583
584
585
586
587
588
589
590
591
592
593
594
595
596
597
598
599
600
601
602
603
604
605
606
607
608
609
610
611
612
613
614
615
616
617
618
619
620
621
622
623
624
625
626
627
628
629
630
631
632
633
634
635
636
637
638
639
640
641
642
643
644
645
646
647
648
649
650
651
652
653
654
655
656
657
658
659
660
661
662
663
664
665
666
667
668
669
670
671
672
673
674
675
676
677
678
679
680
681
682
683
684
685
686
687
688
689
690
691
692
693
694
695
696
697
698
699
700
701
702
703
704
705
706
707
708
709
710
711
712
713
714
715
716
717
718
719
720
721
722
723
724
725
726
727
728
729
730
731
732
733
734
735
736
737
738
739
740
741
742
743
744
745
746
747
748
749
750
751
752
753
754
755
756
757
758
759
760
761
762
763
764
765
766
767
768
769
770
771
772
773
774
775
776
777
778
779
780
781
782
783
784
785
786
787
788
789
790
791
792
793
794
795
796
797
798
799
800
801
802
803
804
805
806
807
808
809
810
811
812
813
814
815
816
817
818
819
820
821
822
823
824
825
826
827
828
829
830
831
832
833
834
835
836
837
838
839
840
84

THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE FINISHED PRODUCT COMPLIES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

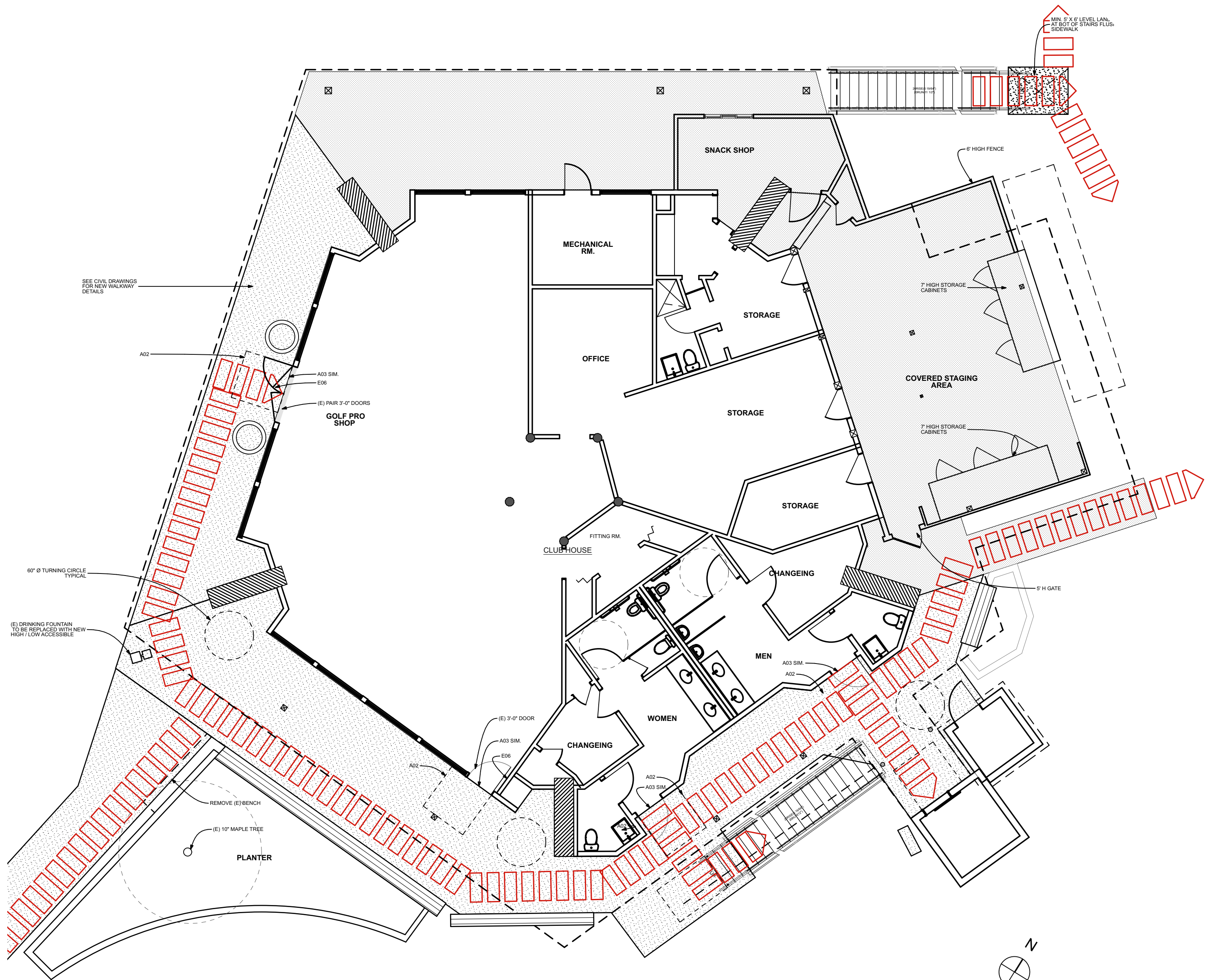
Y	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

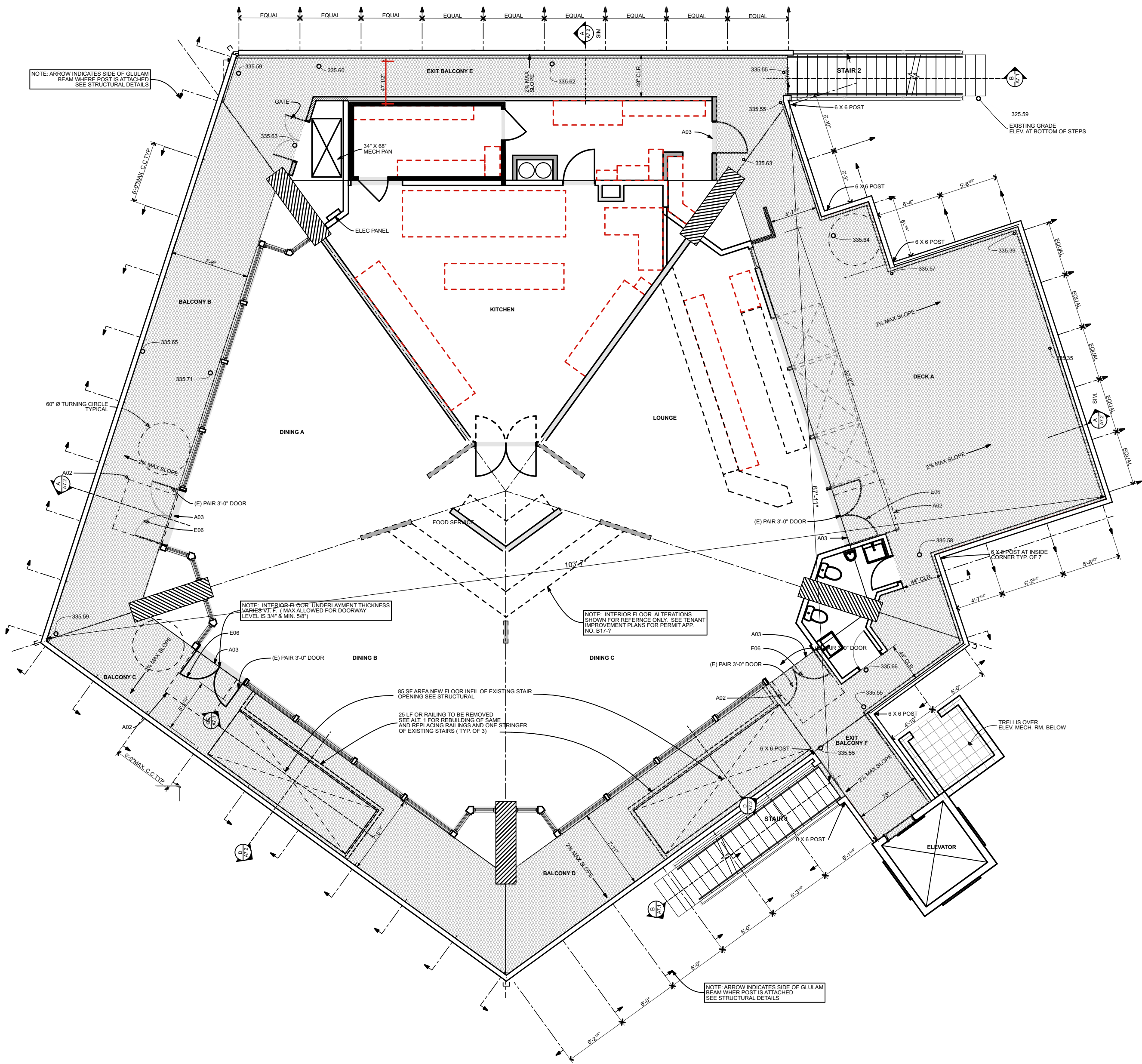
IFP Set
A0.1

SITE PLAN

PREVIOUSLY APPROVED DRAWING INSERTED FOR
REFERENCE ONLY



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR DECK PLAN

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREATIONS
THAT ARE SELECTED IN THE
DOCUMENT, THE GENERAL
CONTRACTOR SHALL BE
RESPONSIBLE FOR ENSURING
THAT ALL CREATIONS
THAT COMPLY WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

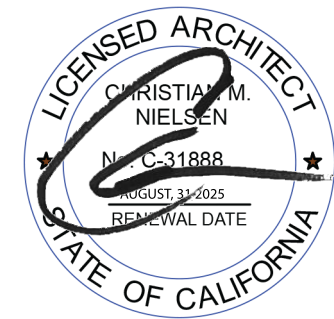
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED.
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A1.1

EXISTING-DEMO FIRST FLOOR PLAN



JOB NAME: DELAYEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREDS AND ELEMENTS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR SHALL BE RESPONSIBLE
FOR ENSURING THAT THE BUILDING
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A1.2

EXISTING-DEMO ROOF PLAN

EXIST-DEMO ROOF PLAN KEYNOTES

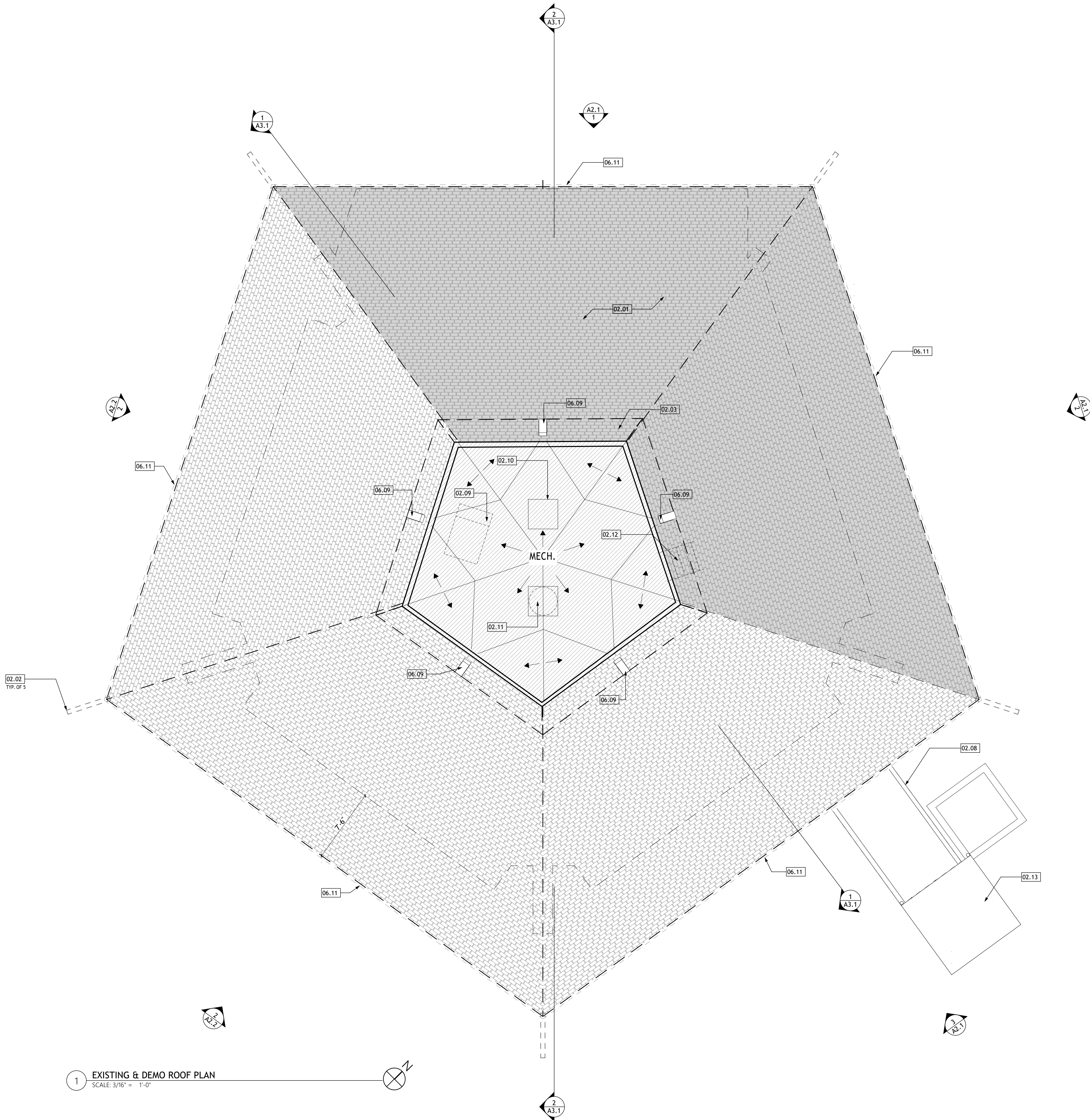
02.01	DEMO (E) COMPOSITION SHINGLE ROOFING & WATER-DAMAGED PLYWOOD UNDERLAYMENT TO BE REMOVED.
02.02	SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/ A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)
02.03	REMOVE (E) METAL PARAPET COPING. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF NEW COPING)
02.08	(E) FIRE RATED AWNING, REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (COORDINATE WITH AWNING CONTRACTOR FOR N.I.C. AWNING REPLACEMENT)
02.09	(E) ROOF TOP AIR HANDLING EQUIP TO REMAIN.
02.10	(E) ROOF HATCH DOOR TO REMAIN.
02.11	(E) TO REMAIN.
02.12	(E) ROOF ACCESS LADDER & RAILINGS TO REMAIN, PAINT TO MATCH ROOF COLOR.
02.13	EXISTING ELEVATOR TOWER ROOF - REMOVE (E) BUILT UP ROOFING MEMBRANES, COMPOSITION TO EXPOSE (E) ROOF DECK SUBSTRATE. REMOVE COPING AND FLASHING AS REQUIRED FOR INSPECTION. SEE SPECIFICATIONS FOR SELECTIVE DEMOLITION AND UNIT COSTS REQUIREMENT FOR REPLACEMENT OF ELEMENTS DEEMED DAMAGED AFTER EXPOSED FOR INSPECTION. NEW ROOF TO BE SINGLE PLY.P.V.C.MEMBRANE WITH METAL ROOF EDGE COPING.
06.09	EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.
06.11	REMOVE PORTIONS OF 2 1/2" T & G ROOF DECKING, PLYWOOD AND BLOCKING AS NECESSARY TO RESTORE ROOF EDGE TO RECEIVE NEW ROOFING, FLASHING, GUTTERS AND STRUCTURAL ELEMENTS AS SHOWN ON SHEET AS. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVAL AND REPLACEMENT OF NEW FRAMING ELEMENTS. SEE SPECIFICATIONS FOR SELECTIVE DEMOLITION AND UNIT COSTS REQUIREMENT FOR REPLACEMENT OF ELEMENTS DEEMED DAMAGED AFTER EXPOSED FOR INSPECTION.

ROOF PLAN LEGEND

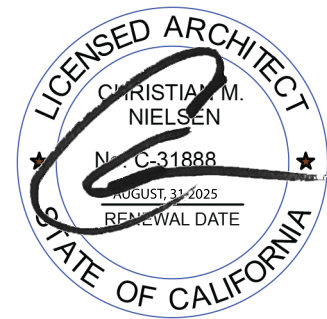
	EXTERIOR WALL OF BUILDING BELOW
	(E) ROOF AREA TO REMAIN
	(E) ROOF AREA TO BE REMOVED
	(H) ROOF AREA
	KEY NOTE

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT PORTIONS OF THE (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
- RECYCLE AND/ OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE, PER CALIFORNIA GREEN BUILDING CODE
- DOCUMENTATION DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING ASBESTOS AND PCBs. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.
- SEE GENERAL NOTES ON G0.1 FOR ADDITIONAL INFORMATION
- DURING CONSTRUCTION, SITE OR AREA MUST BE CLEANED UP AT THE END OF THE DAY IN ORDER TO PROVIDE FIREFIGHTER ACCESS IN THE BUILDING IN THE EVENT OF A FIRE
- COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDING. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT WORK PER 2022 CFC SECTION 3304.2
- MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OILY RAGS, SHALL BE STORED IN A LISTED DISPOSABLE CONTAINER PER 2022 CFC SECTION 3304.2.4



1 EXISTING & DEMO ROOF PLAN
SCALE: 3/16" = 1'-0"



JOB NAME: DELAVEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREASURES
THAT ARE REFLECTED IN THE
DOCUMENT - THE GENERAL
CONTRACTOR SHALL BE FULLY
RESPONSIBLE FOR ENSURING
THAT ALL CREASURES
THAT COMPLY WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A1.3

PROPOSED ROOF PLAN

PROPOSED ROOF PLAN KEYNOTES

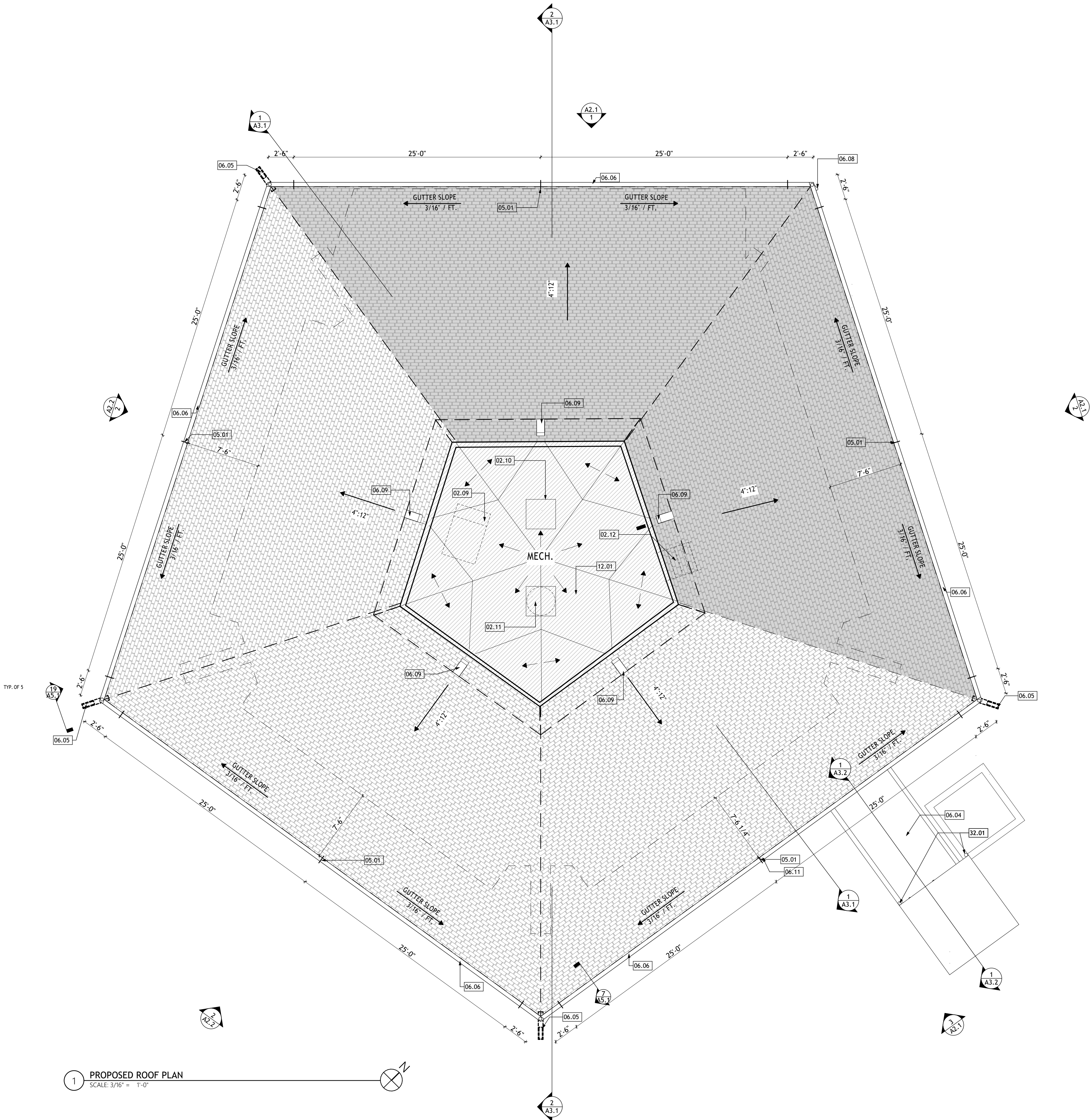
02.09	(E) ROOF TOP AIR HANDLING EQUIP TO REMAIN.
02.10	(E) ROOF HATCH DOOR TO REMAIN.
02.11	(E) TO REMAIN.
02.12	(E) ROOF ACCESS LADDER & RAILINGS TO REMAIN, PAINT TO MATCH ROOF COLOR.
05.01	THERMAL EXPANSION JOINT @ CENTER LINE OF GUTTER LENGTH
06.04	(E) FIRE RATED AWNING, REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (REPLACEMENT N.I.C.)
06.05	LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM
06.06	(N) 5'x6' BOX GUTTER W/ ROOF STRAPS @ 3'-0" C.C. MAX
06.08	(N) 3" DOWNSPOUT PIPE ATTACHED TO FACIA AND FIRST FLOOR WALL
06.09	EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.
12.01	RECOAT MEMBRANE ROOFING & SCUPPER INLETS (TYP. OF 5)
32.01	GUTTER & DS FOR AWNING ROOF BY OTHERS (SEE DEMO NOTES)

ROOF PLAN LEGEND

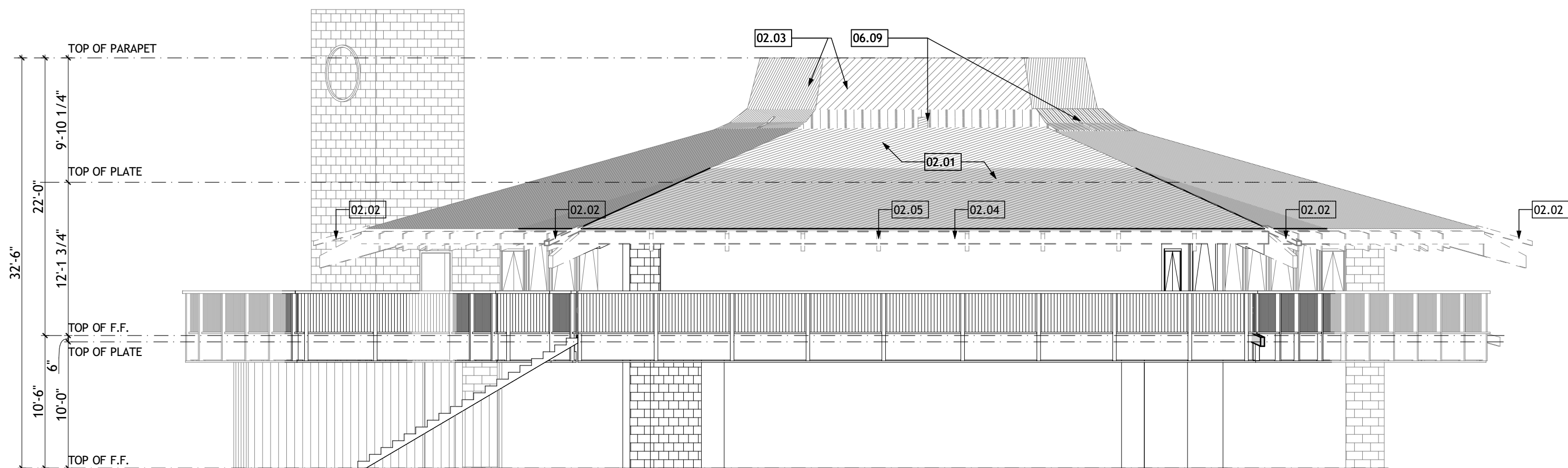
	EXTERIOR WALL OF BUILDING BELOW
	(E) ROOF AREA TO REMAIN
	(E) ROOF AREA TO BE REMOVED
	(N) ROOF AREA
	KEY NOTE

GENERAL NOTES

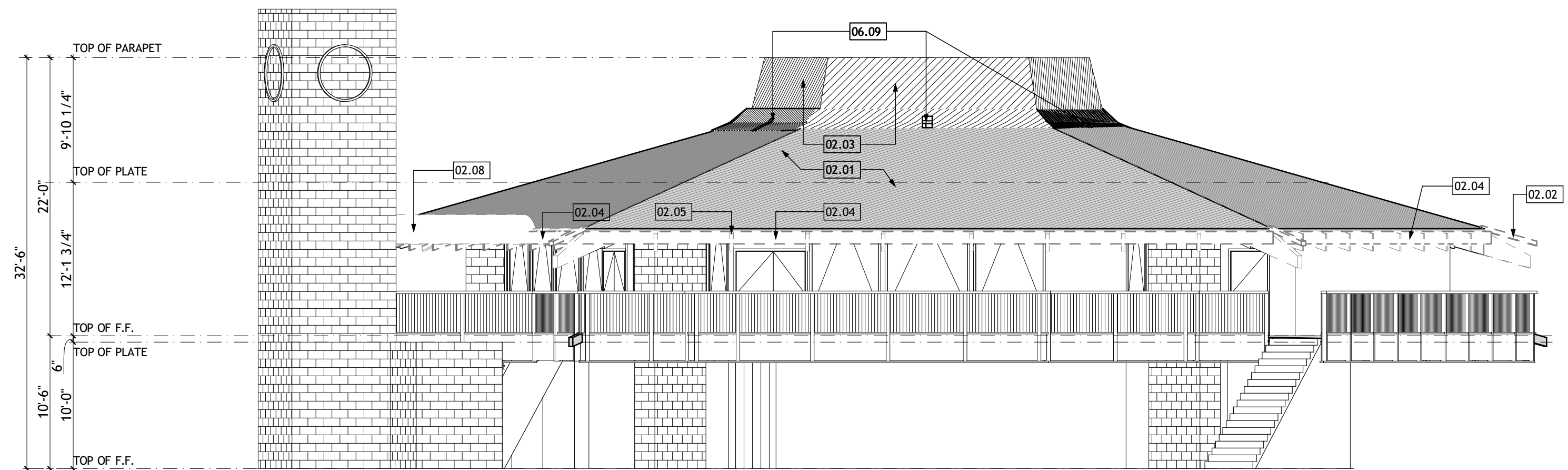
- EXISTING CONDITIONS TO REMAIN U.N.O.
- SEE CONSULTANT DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.
- REF G0.1 FOR MORE INFORMATION
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT, RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
- DOCUMENTATION DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING ASBESTOS AND PCBs. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.
- DURING CONSTRUCTION, SITE OR AREA MUST BE CLEANED UP AT THE END OF THE DAY IN ORDER TO PROVIDE FIREFIGHTER ACCESS IN THE BUILDING IN THE EVENT OF A FIRE
- COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDING. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT WORK PER CFC SECTION 3305.2
- MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OIL RAGS, SHALL BE STORED IN A LISTED DISPOSABLE CONTAINER PER CFC SECTION 3305.2.4
- REFER TO ENERGY REPORT FOR MORE INFORMATION REGARDING INSPECTION AND VERIFICATION REQUIREMENTS.
- ALL PENETRATIONS PROTRUDING THROUGH THE EXTERIOR WALLS TO HAVE QUICK FLASHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



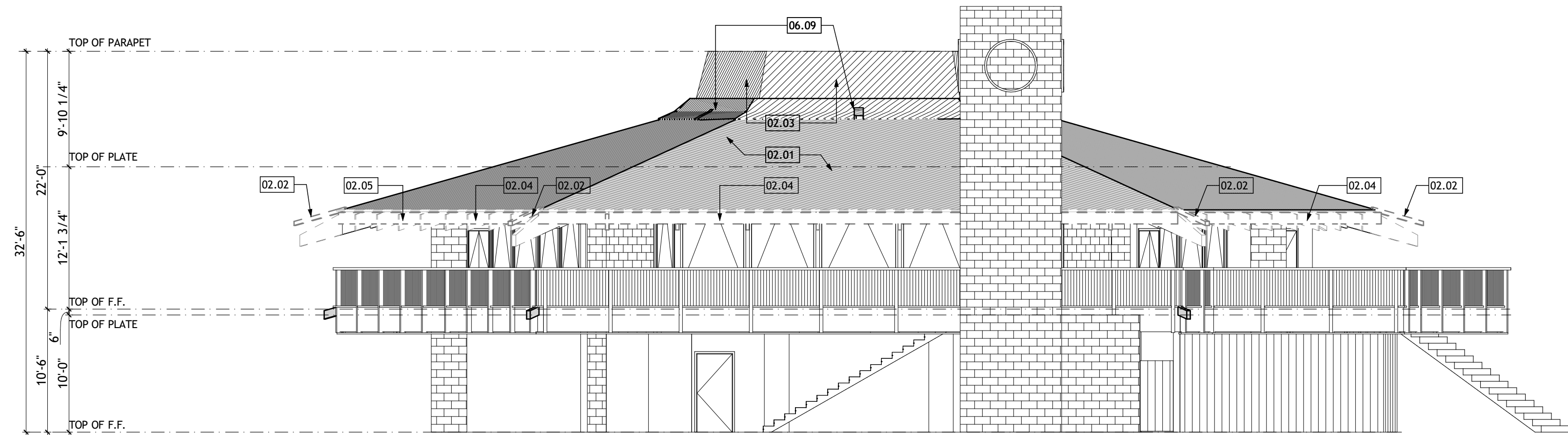
1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



1 EXISTING-DEMO NORTH WEST VIEW
SCALE: 1/8" = 1'-0"



2 EXISTING-DEMO SOUTH EAST VIEW
SCALE: 1/8" = 1'-0"



3 EXISTING-DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXIST-DEMO ELEVATION KEYNOTES

02.01	DEMO (E) COMPOSITION SHINGLE ROOFING & WATER-DAMAGED PLYWOOD UNDERLAYMENT TO BE REMOVED.
02.02	SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)
02.03	REMOVE (E) METAL PARAPET COPING. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF NEW COPING)
02.04	(E) BEAM TO BE REMOVED, REF. STRUCTURAL.
02.05	PORTION OF RAFTER TO BE REMOVED SEE DETAIL A5.1/7, TYP.
02.08	(E) FIRE RATED AWNING. REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (COORDINATE WITH AWNING CONTRACTOR FOR N.I.C. AWNING REPLACEMENT)
06.09	EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.

ELEVATION LEGEND

02.01 → KEYNOTE

GENERAL NOTES

- EXISTING CONDITIONS TO REMAIN U.N.O.
- GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
- CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEIOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS

CLIENT: CITY OF SANTA CRUZ

ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060

APN: 009-47-101

THE QUALITY OF A BUILDING REMAINS AS A GUARANTEE THAT ALL DIMENSIONS ARE RECORDED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THIS PROJECT SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT ALL DIMENSIONS COMPLY WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

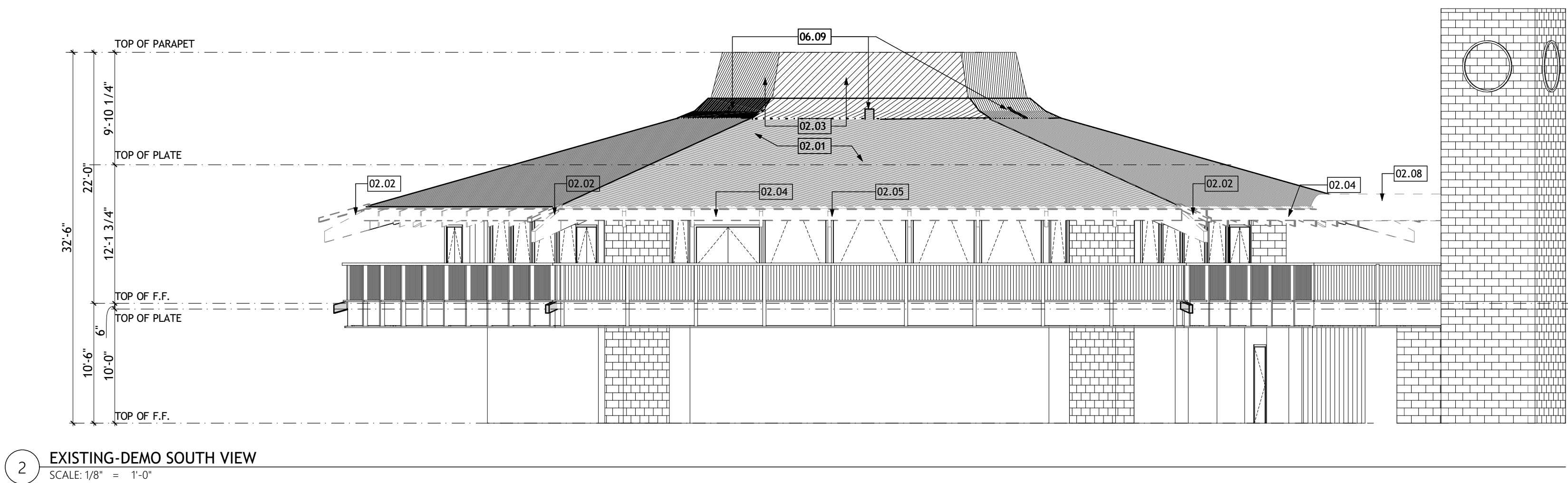
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

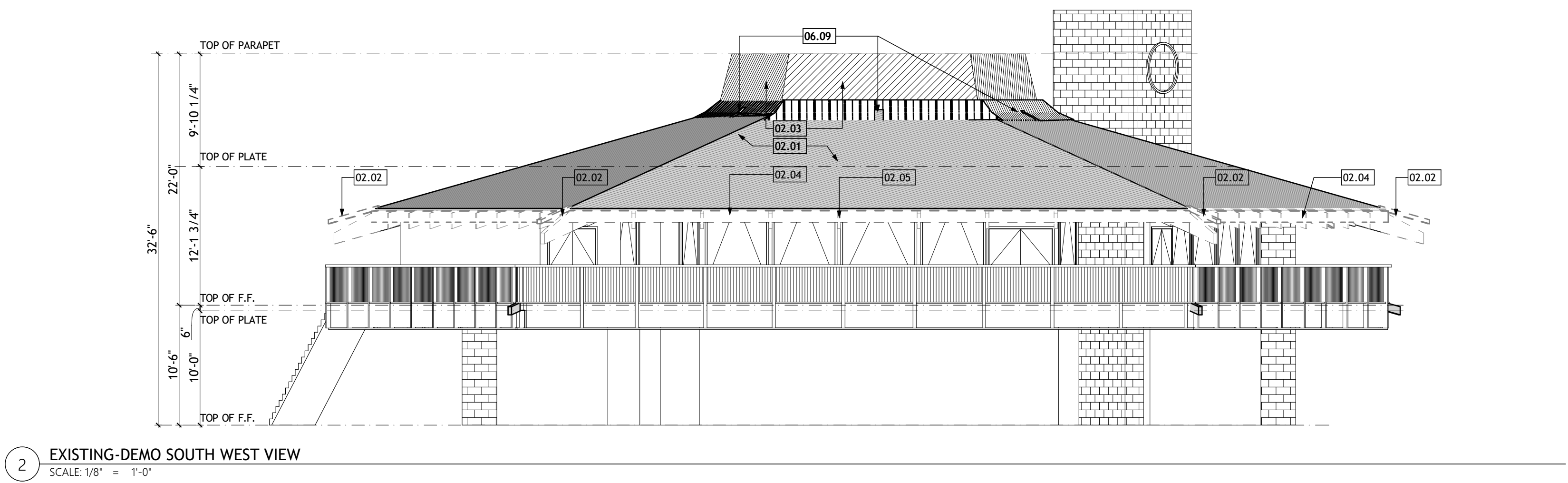
Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A2.1

EXISTING-DEMO ELEVATIONS



2 EXISTING-DEMO SOUTH VIEW
SCALE: 1/8" = 1'-0"



2 EXISTING-DEMO SOUTH WEST VIEW
SCALE: 1/8" = 1'-0"

EXIST-DEMO ELEVATION KEYNOTES

02.01	DEMO (E) COMPOSITION SHINGLE ROOFING & WATER-DAMAGED PLYWOOD UNDERLAYMENT TO BE REMOVED.
02.02	SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)
02.03	REMOVE (E) METAL PARAPET COPING. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF NEW COPING)
02.04	(E) BEAM TO BE REMOVED, REF. STRUCTURAL.
02.05	PORTION OF RAFTER TO BE REMOVED SEE DETAIL A5.1/7, TYP.
02.08	(E) FIRE RATED AWNING. REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (COORDINATE WITH AWNING CONTRACTOR FOR N.L.C. AWNING REPLACEMENT)
06.09	EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.

ELEVATION LEGEND

02.01 → KEYNOTE

GENERAL NOTES

- EXISTING CONDITIONS TO REMAIN U.N.O.
- GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
- CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEIOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREATIONS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THE PROJECT
SHALL BE FULLY RESPONSIBLE
FOR ENSURING THAT ALL
CONCRETE, MASONRY, AND
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

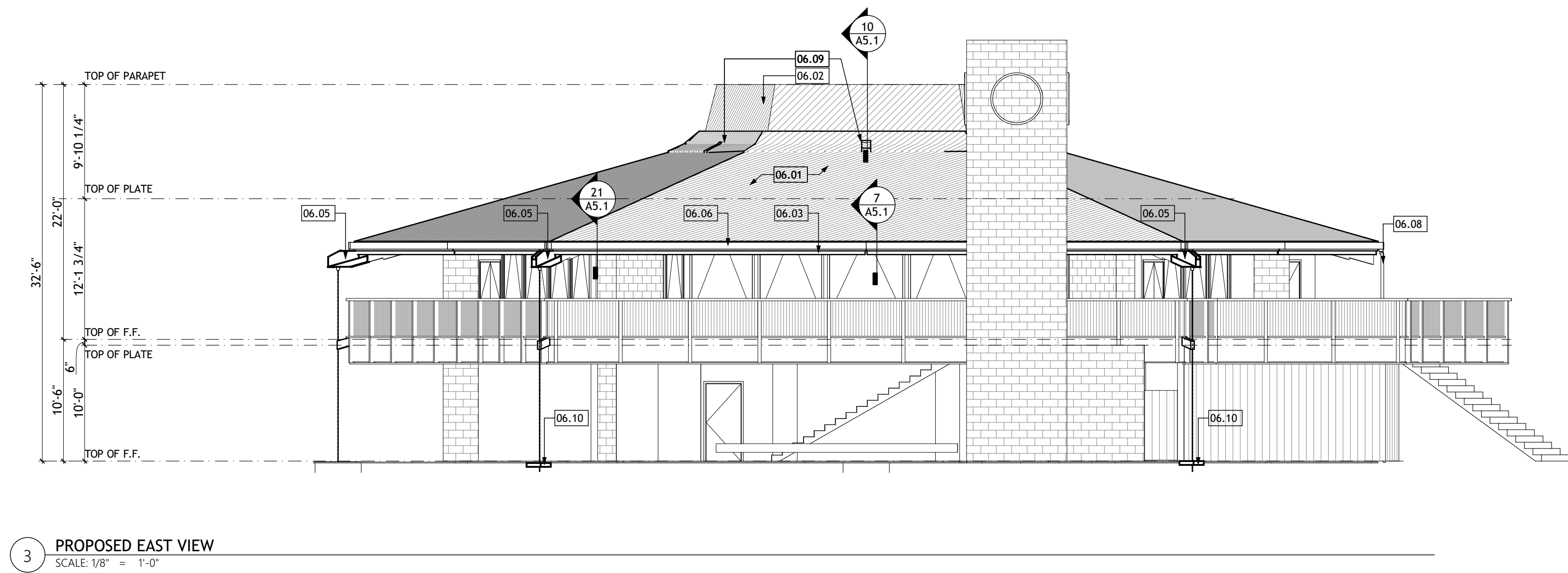
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A2.2

EXISTING-DEMO ELEVATIONS



GENERAL NOTES

1. EXISTING CONDITIONS TO REMAIN U.N.O.
2. GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING, FINISH FINISH & COLOR REF: FINISH SCHEDULE
3. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS MATERIALS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
4. CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

JOB NAME:	DELAVEAGA ROOFING REPAIRS
CLIENT:	CITY OF SANTA CRUZ
ADDRESS:	401 UPPER PARK RD, SANTA CRUZ, CA 95060
APN:	009-47-101

THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE FINISHED PRODUCT COMPLIES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

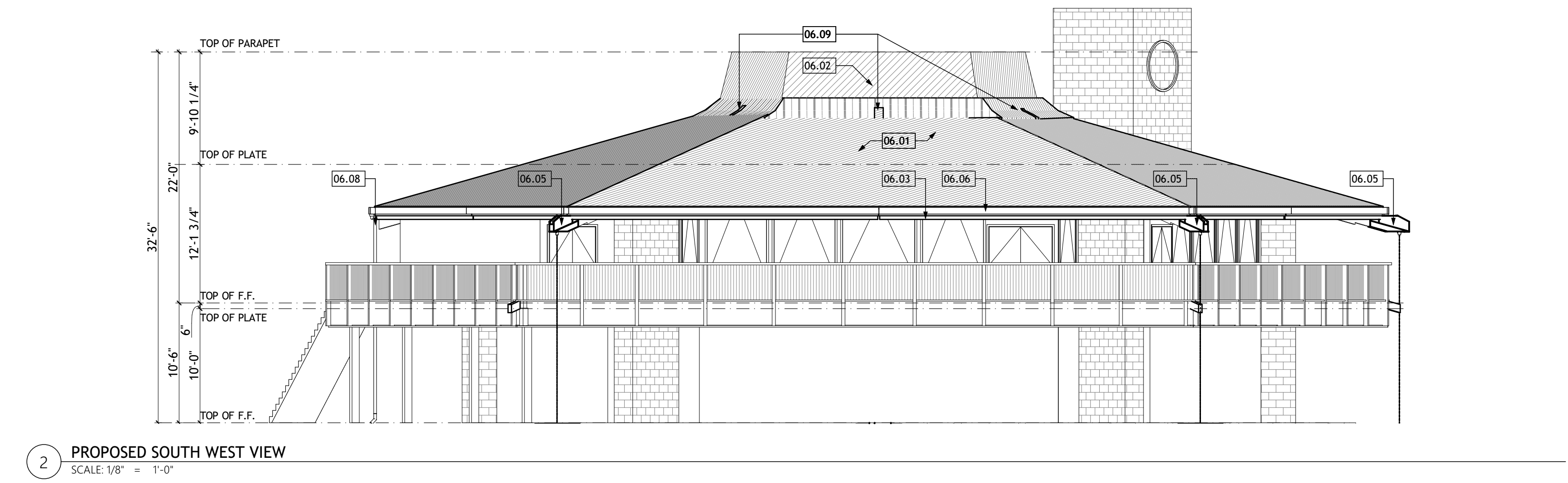
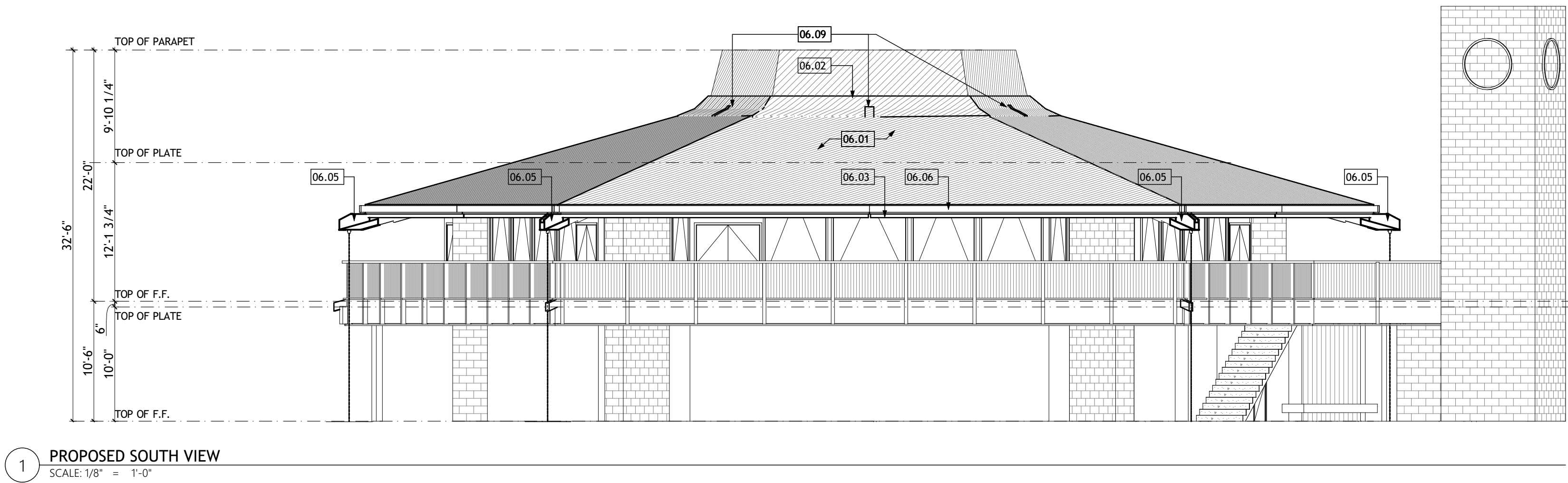
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A2.3

PROPOSED ELEVATIONS



PROPOSED ELEVATION KEYNOTES

06.01	(N) ROOFING & SHEATING (UNDERLAYMENT AS REQUIRED)
06.02	(N) SHEET METAL PARAPET COPING TYP. SEE DETAIL A5.1/11
06.03	(N) FACIA BEAM, TRIM & G.I. GUTTER SEE DETAIL A5.1/7
06.05	LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM
06.06	(N) 5'X6' BOX GUTTER W/ ROOF STRAPS @ 3'-0" C.C. MAX
06.08	(N) 3" DOWNSPOUT PIPE ATTACHED TO FACIA AND FIRST FLOOR WALL
06.09	EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.
06.10	(N) SPLASH BLOCK INTO (E) ROCK PILE IN LANDSCAPING

ELEVATION LEGEND

02.01 → KEYNOTE

GENERAL NOTES

- EXISTING CONDITIONS TO REMAIN U.N.O.
- GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
- CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEIOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
- CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING
REPAIR SHALL NOT BE
CONSIDERED AS A GUARANTEE
OF THE WORKMANSHIP
OR THE DURABILITY OF THE
REPAIRS. THE GENERAL
CONTRACTOR SHALL BE
RESPONSIBLE FOR ENSURING
THAT THE REPAIRS COMPLY
WITH ALL APPLICABLE
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

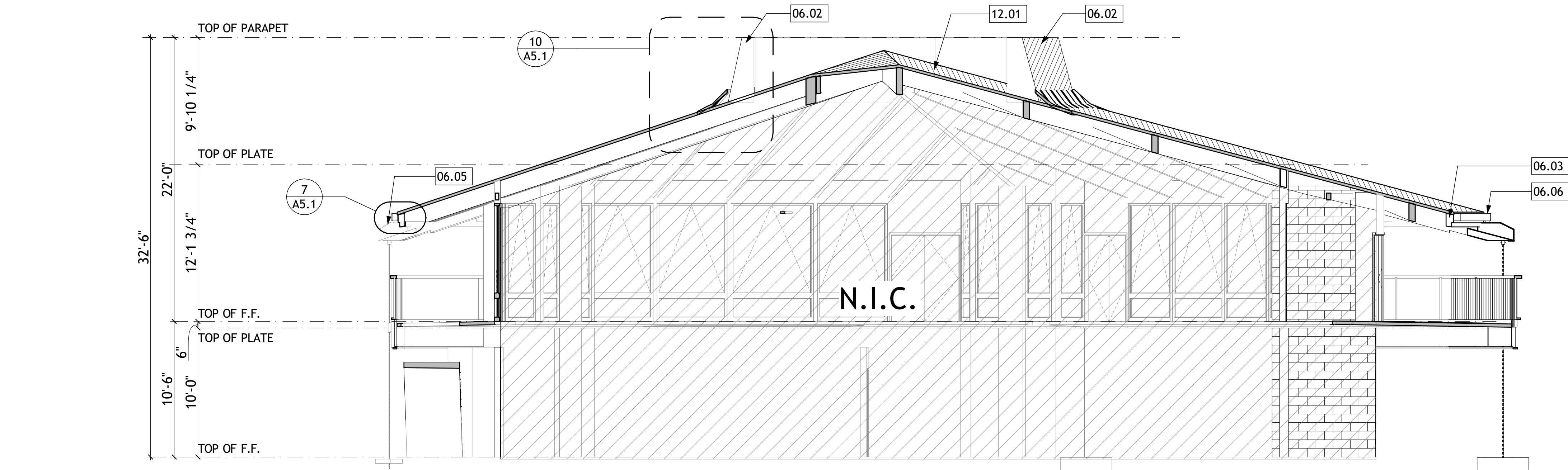
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

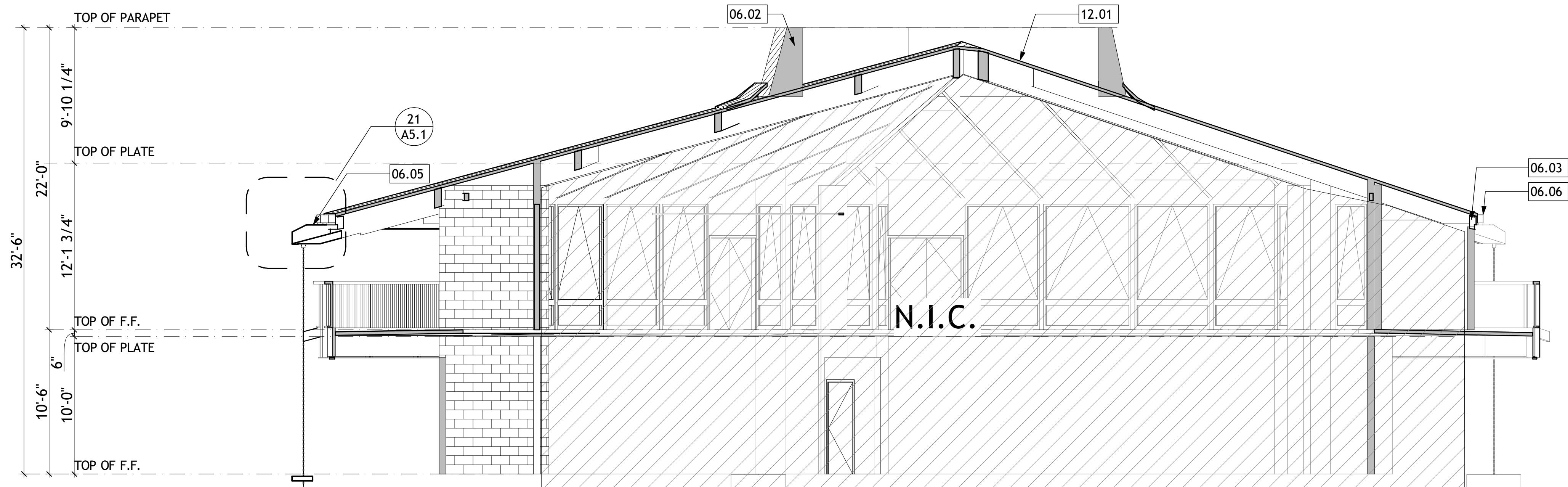
Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A2.4

PROPOSED ELEVATIONS



1 SECTION 1
SCALE: 3/16" = 1'-0"



2 SECTION 2
SCALE: 3/16" = 1'-0"

PROPOSED SECTION KEYNOTES

06.02	(N) SHEET METAL PARAPET COPING TYP. SEE DETAIL A5.1/11
06.03	(N) FACIA BEAM, TRIM & G.I. GUTTER SEE DETAIL A5.1/7
06.05	LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM
06.06	(N) 5'X6" BOX GUTTER W/ ROOF STRAPS @ 3'-0" C.C. MAX
06.10	(N) SPLASH BLOCK INTO (E) ROCK PILE IN LANDSCAPING
12.01	RECOAT MEMBRANE ROOFING & SCUPPER INLETS (TYP. OF 5)

SECTION LEGEND

02.01 → KEYNOTE

GENERAL NOTES

- EXISTING CONDITIONS TO REMAIN U.N.O.
- GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
- CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
- CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS

CLIENT: CITY OF SANTA CRUZ

ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060

APN: 009-47-101

THE QUALITY OF A BUILDING
REMAINS AS A GUARANTEE
THAT ALL CREATIONS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THE PROJECT
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT ALL CREATIONS
COMPLY WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

← ACTUAL →

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

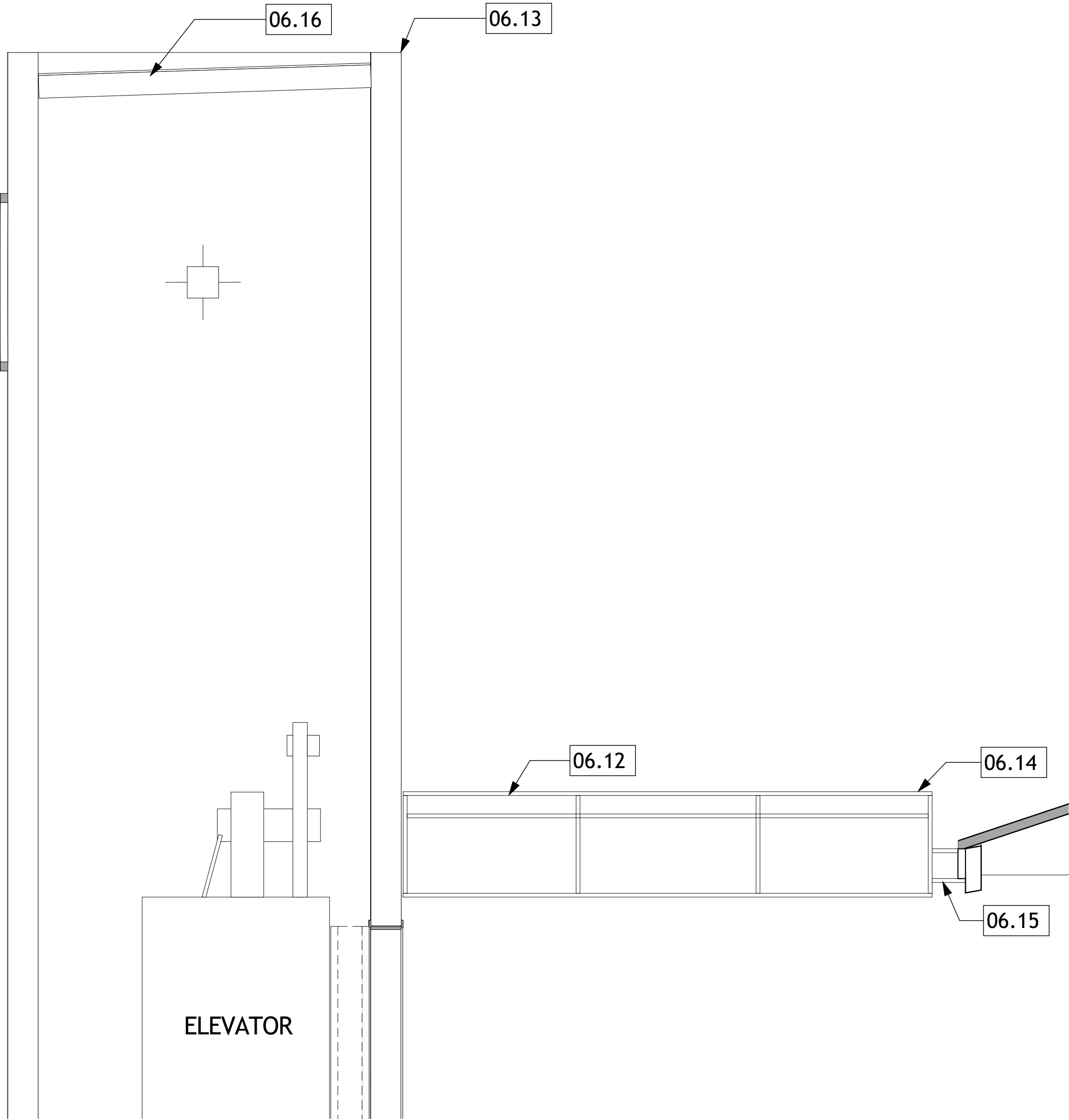
BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A3.1

PROPOSED SECTIONS

1 ELEVATOR ROOF DETAIL
SCALE: 1/2" = 1'-0"



ELEVATOR ROOF KEYNOTES

06.12	EXISTING AWNING PIPE FRAME ATTACHED TO BLK. ELEV. SHAFT & REMODELED FACIA SHOP DRAWINGS AND ATTACHMENT DETAIL TO BE SUPPLIED BY AWNING CONTRACTOR
06.13	MEMBRANE ROOFING TO LAP UNDER WALL CAP SEE A5.1/6
06.14	AWNING PIPE FRAME TO BE REMOVED, MODIFIED & REINSTALLED TO SUIT NEW ROOF EDGE CONDITION AND FIELD MEASURE & INSTALLED BY AWNING CONTRACTOR. SHOP DRAWINGS & CONNECTION DETAILS TO BE SUPPLIED BY THE AWNING CONTRACTOR. ATTENTION TO THE WEATHER SEAL @ THE BLOCK WALL & AT THE WOOD FASCIA MUST BE APPROVED BY THE ARCHITECT. ATTACHMENT TO STRUCTURE MUST BE APPROVED BY STRUCTURAL ENGINEER
06.15	ATTACH AWNING TO NEW ROOF EDGE FRAMING
06.16	VERIFY CONDITION OF ROOF FRAMING: 2X6 JOIST 24" O.C. W/ 1/2" CDX PLYWD NAILED 6" O.C. @ THE LEDGER & ALL EDGES & 12" IN THE FIELD W/ 8D COMMON NAILS. LEDGERS ARE HELD WITH W/ MIN. OF 3 ANCHOR BOLTS / SIDE

SECTION LEGEND

02.01	KEYNOTE
-------	---------

GENERAL NOTES

- EXISTING CONDITIONS TO REMAIN U.N.O.
- GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
- CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH/SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
- CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

NIELSEN
PLAN > DESIGN > BUILD
1509 Seabright Ave. 2B • Santa Cruz • CA • 95062
info@nielsen.team (831) 621-3926



JOB NAME: DELAVEAGA ROOFING REPAIRS

CLIENT: CITY OF SANTA CRUZ

ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060

APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREATIONS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THIS PROJECT
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT ALL CREATIONS
COMPLY WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

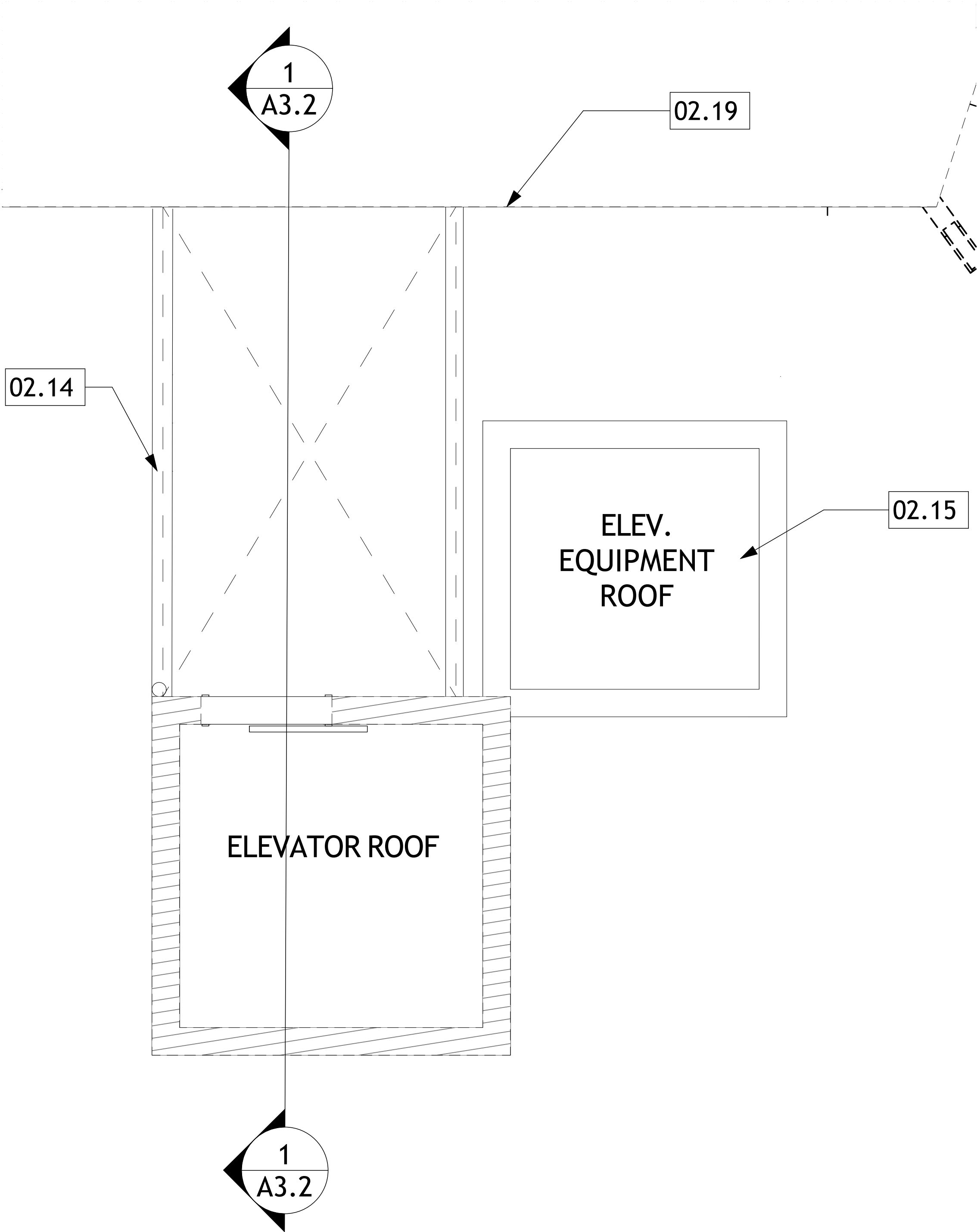
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

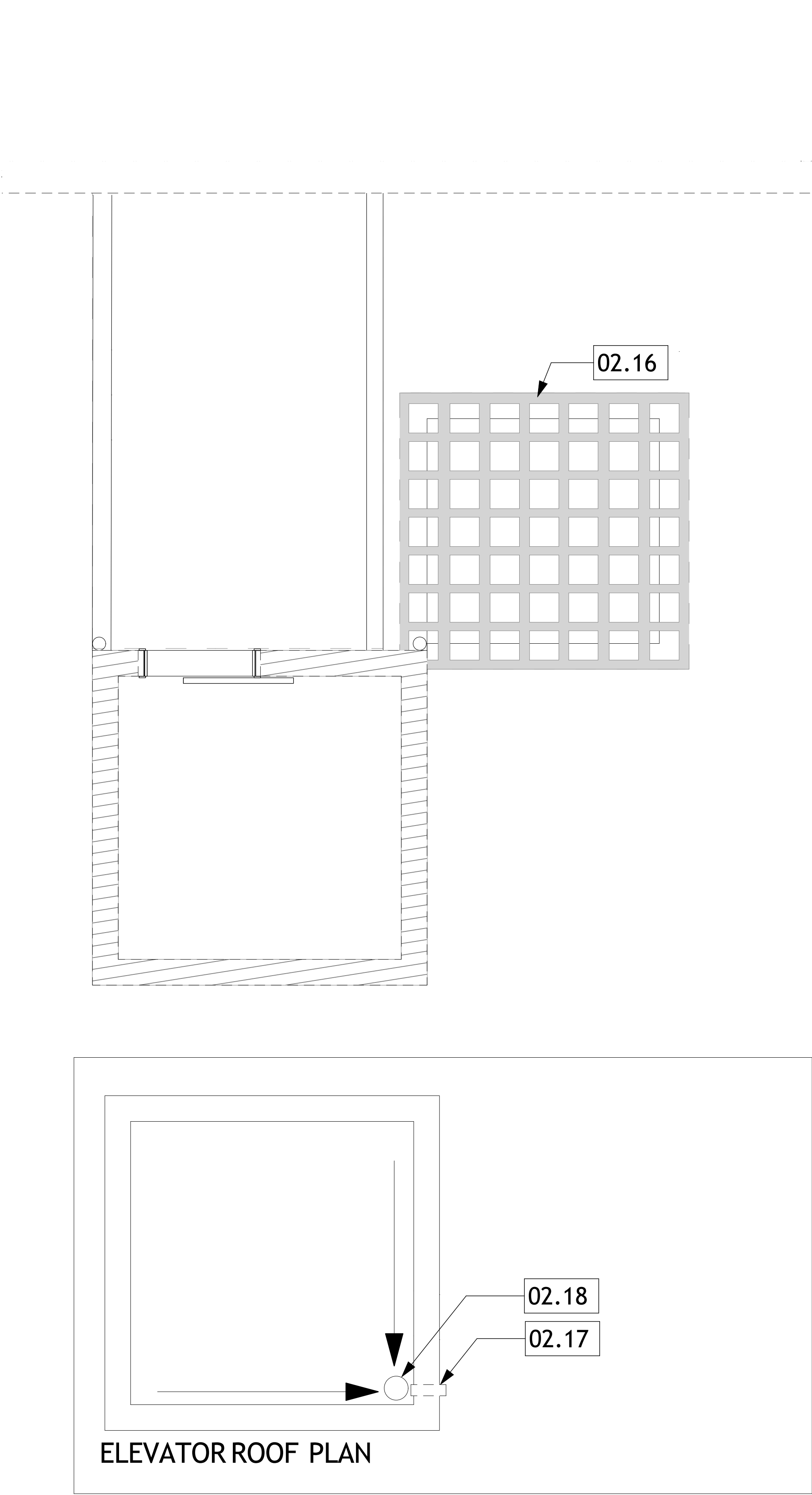
Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A3.2

PROPOSED SECTIONS



1 ENLARGED ELEVATOR PLAN
SCALE: 1/2" = 1'-0"



1 MECH ROOF PLAN
SCALE: 1/2" = 1'-0"

ELEVATOR ROOF KEYNOTES

02.14	(E) AWNING TO BE REMOVED & REPLACED BY AWNING FAB. & REINSTALLED AFTER MODIFICATION FOR NEW ROOF EDGE DETAIL (COORDINATE W/SUB CONTRACTOR FOR AWNING FRAME MODIFICATION AS REQUIRED)
02.15	(E) EQUIPMENT ROOM ROOF, DRAIN TO EAST RE ROOF W/E.P.D.M. .060" RETURN MIN, 4" DN V.I.F.
02.16	REMOVE WOOD GRID & REINSTALL AFTER ROOFING WORK IS COMPLETED
02.17	(E) SCUPPER LOCATION SEE A5.1/12
02.18	(E) ROOF DRAIN SEE A5.1/17
02.19	EDGE OF NEW ROOF FACIA AND GUTTER

ENLARGED PLAN LEGEND

02.01 → KEYNOTE



JOB NAME: DELAVEAGA ROOFING REPAIRS

CITY OF SANTA CRUZ

401 UPPER PARK RD. SANTA CRUZ, CA

95060

APN: 009-47-101

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL CREDS AND
REQUIREMENTS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THE PROJECT
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT THE PROJECT COMPLETION
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

← ACTUAL →

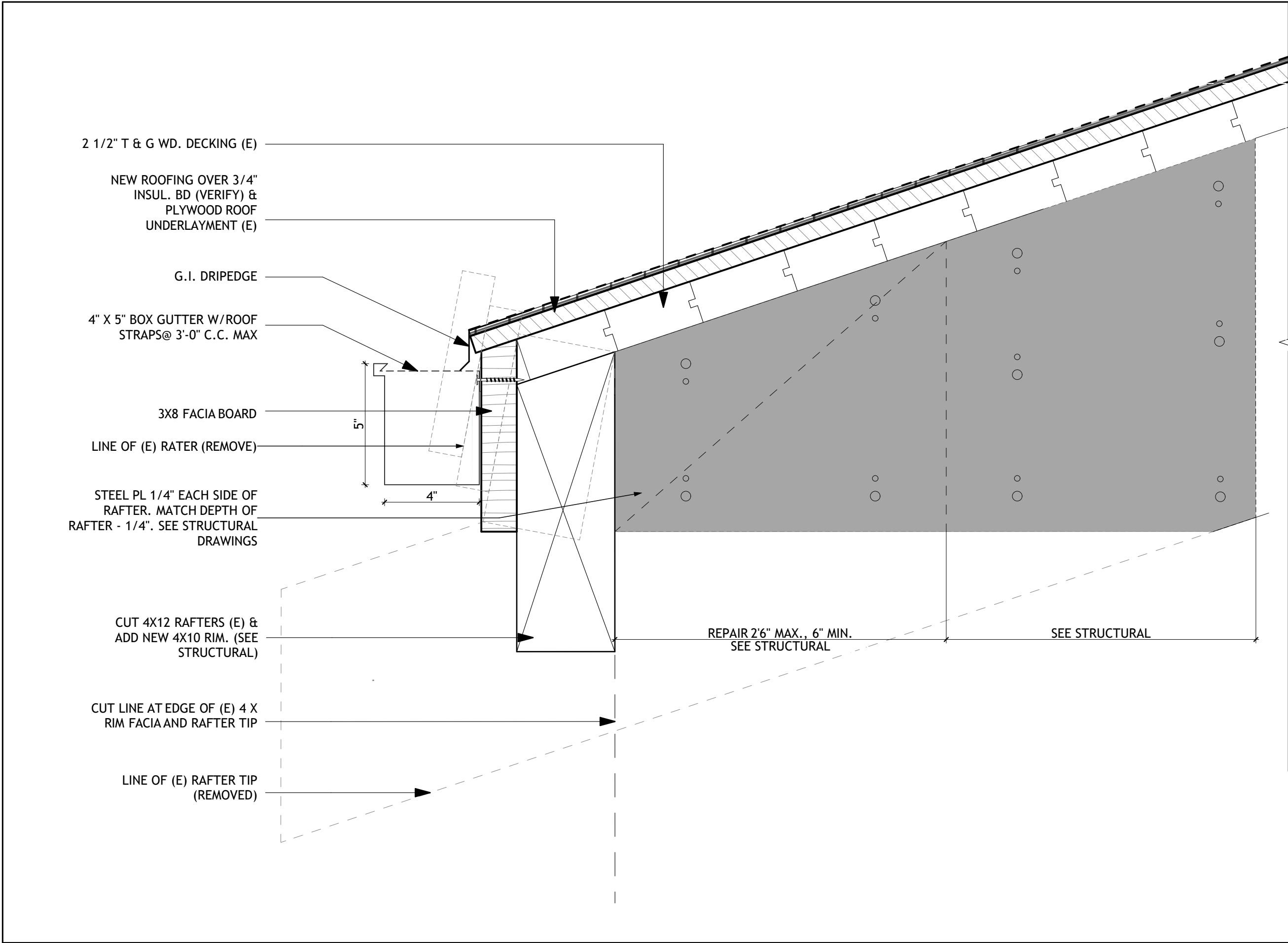
IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	01/15/2025
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

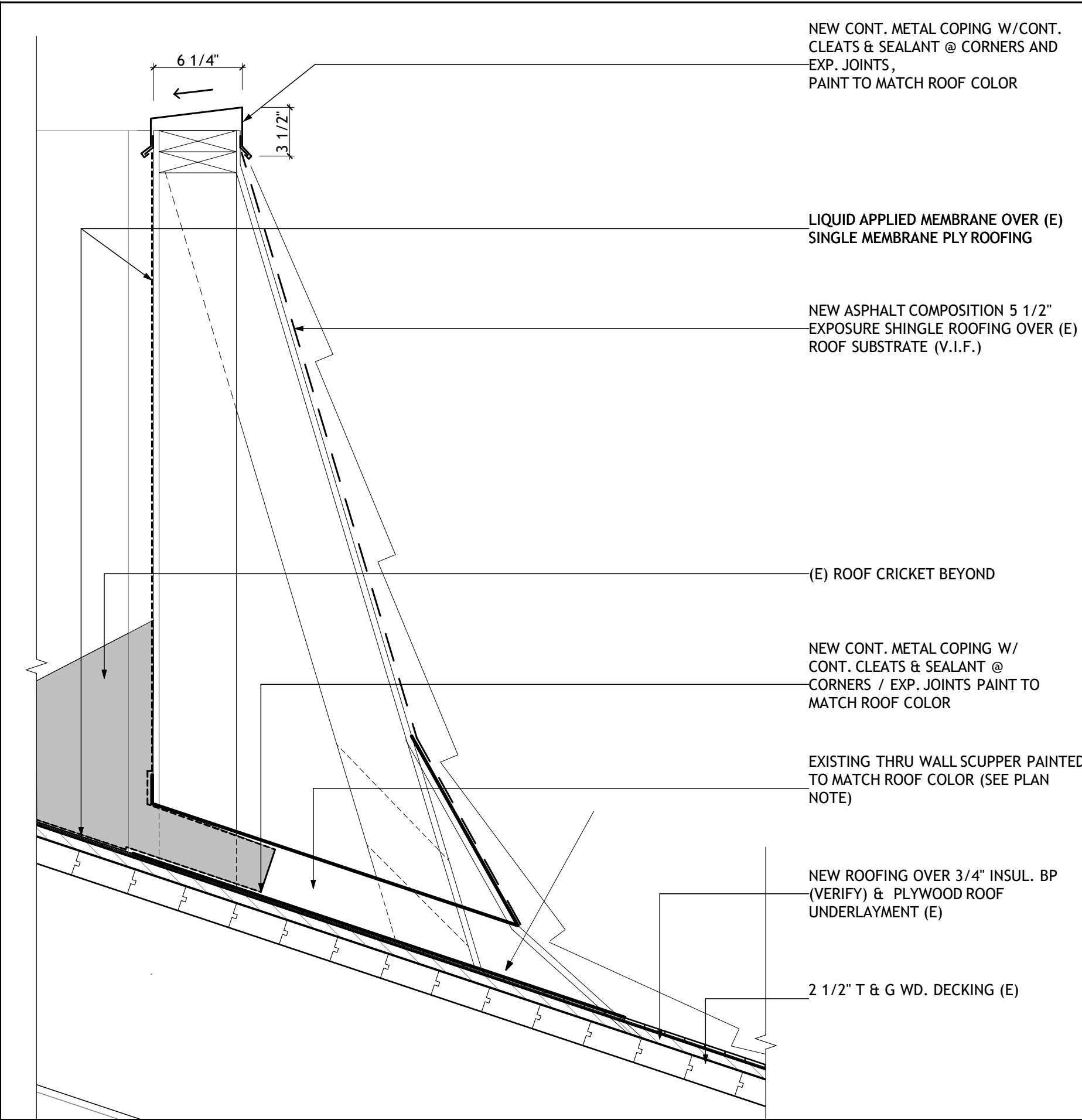
IFP Set

A4.1



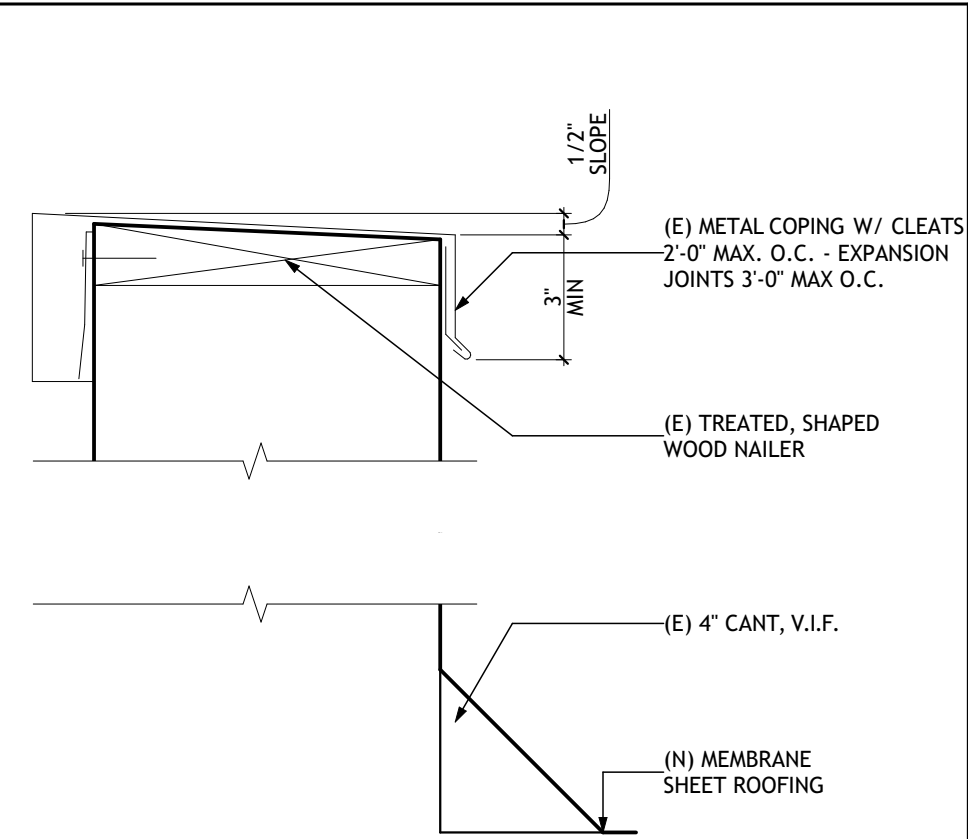
7 ROOF EAVE

SCALE: 3" = 1'-0"



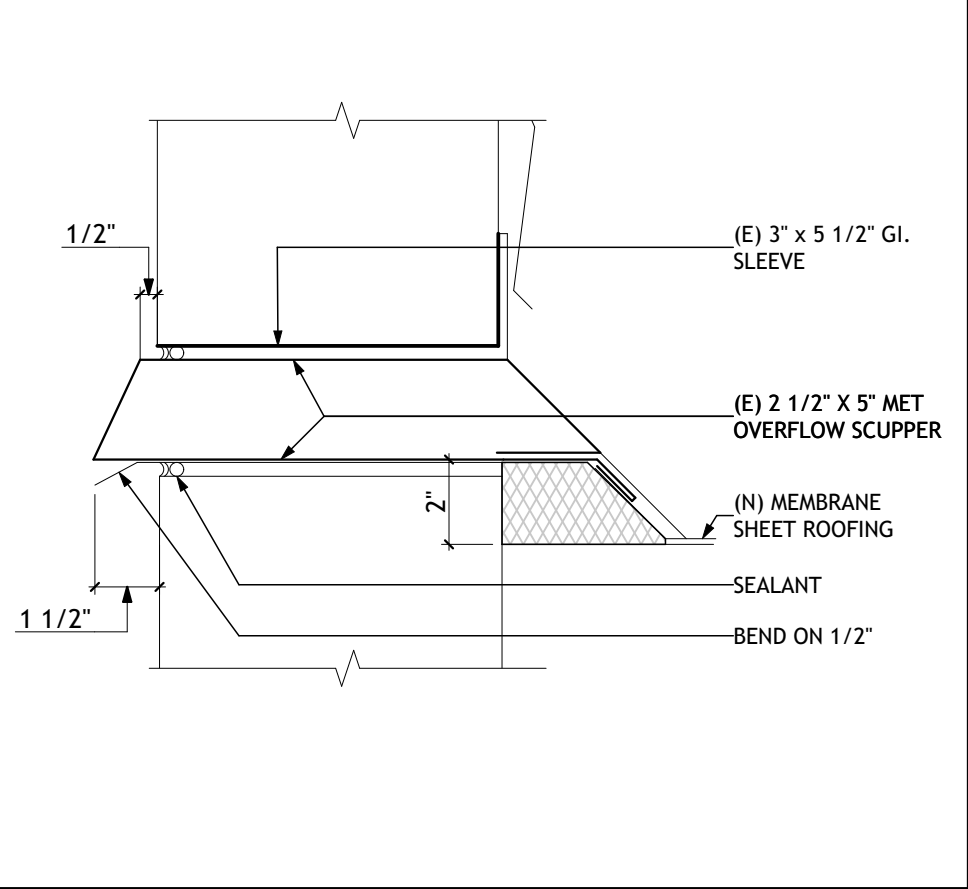
10 COPING/ THRU WALL SCUPPER DETAIL

SCALE: 1 1/2" = 1'-0"



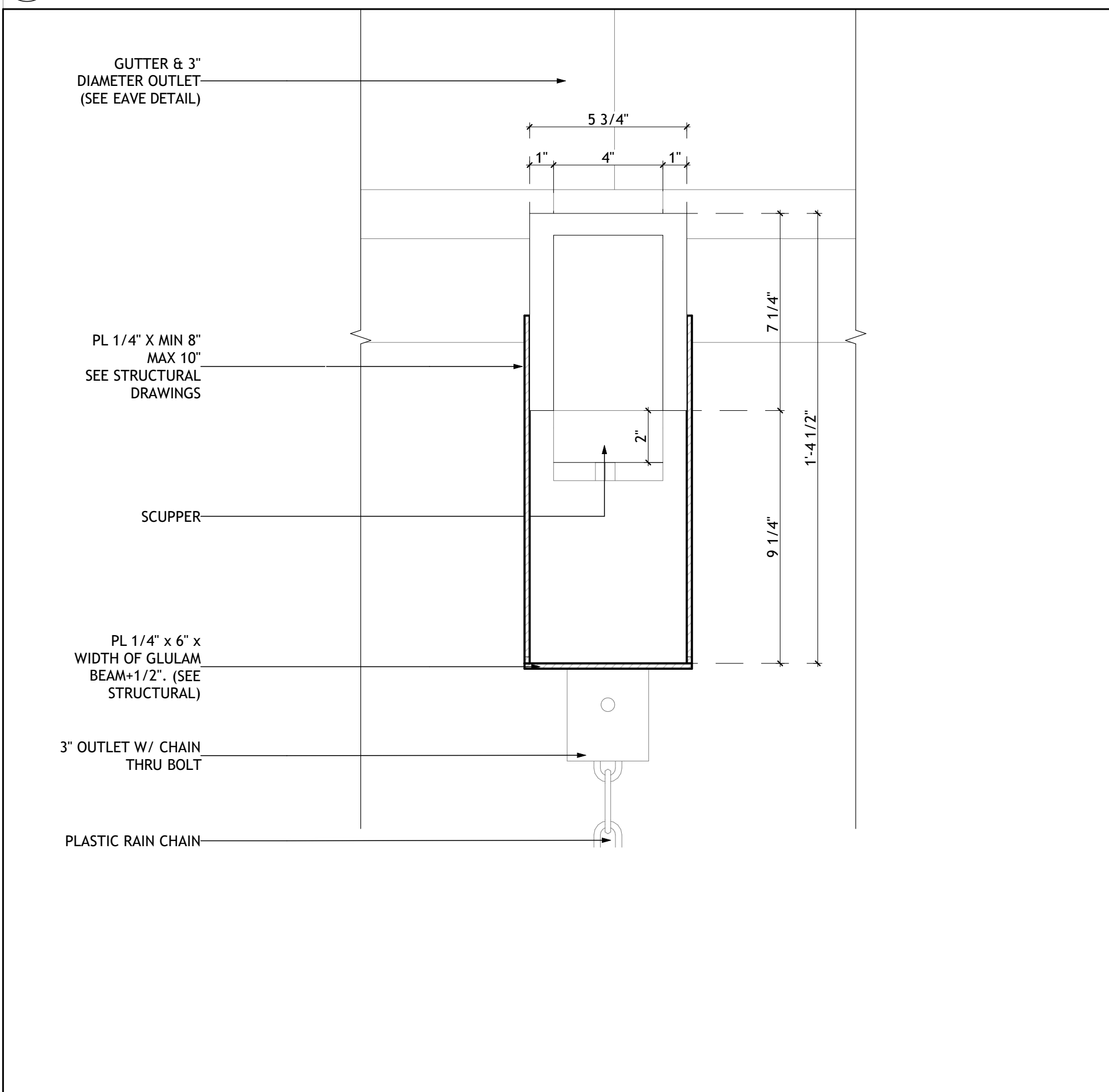
6 COPING AND CANT

SCALE: 3" = 1'-0"



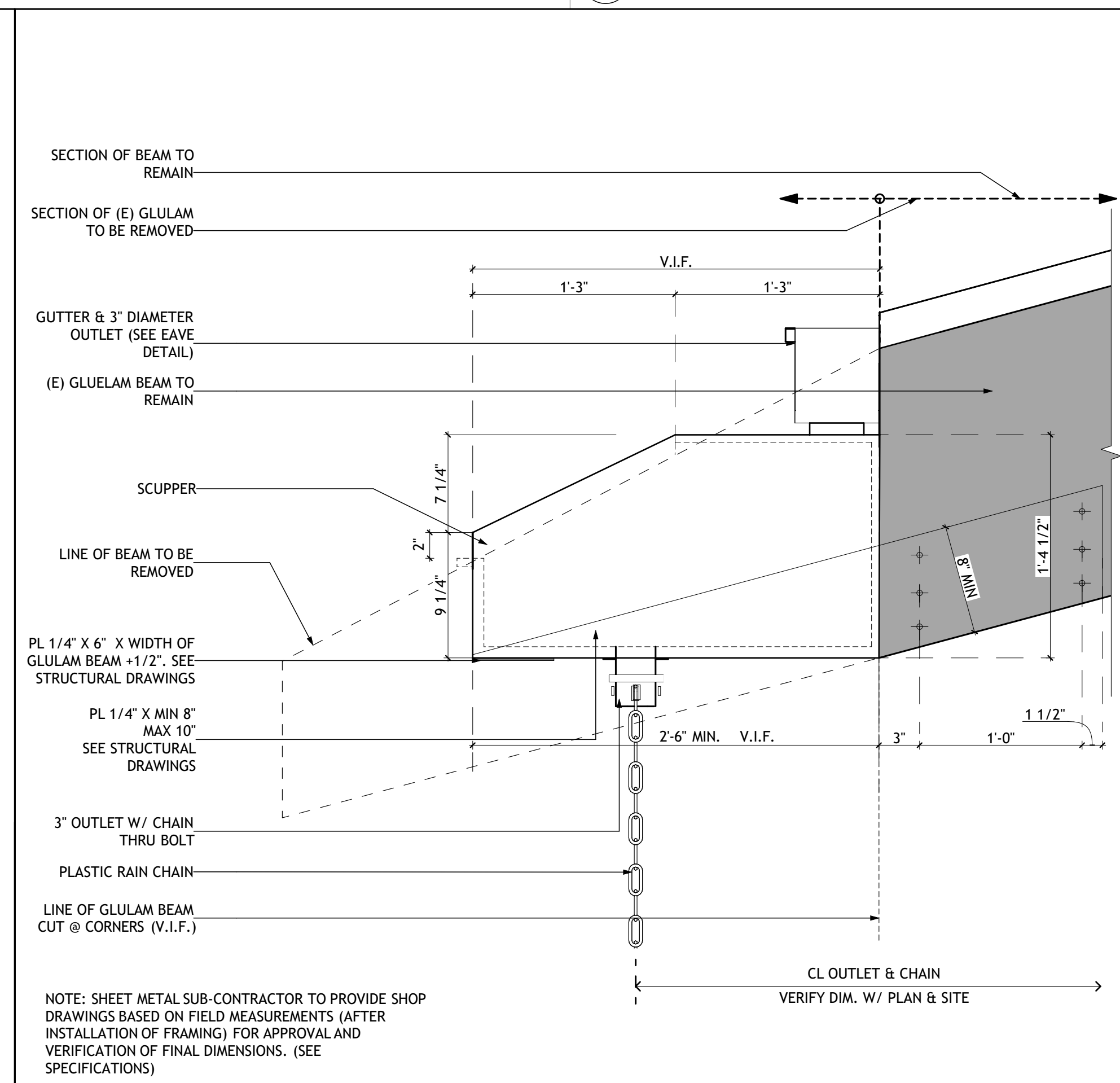
12 THRU - WALL SCUPPER

SCALE: 3" = 1'-0"



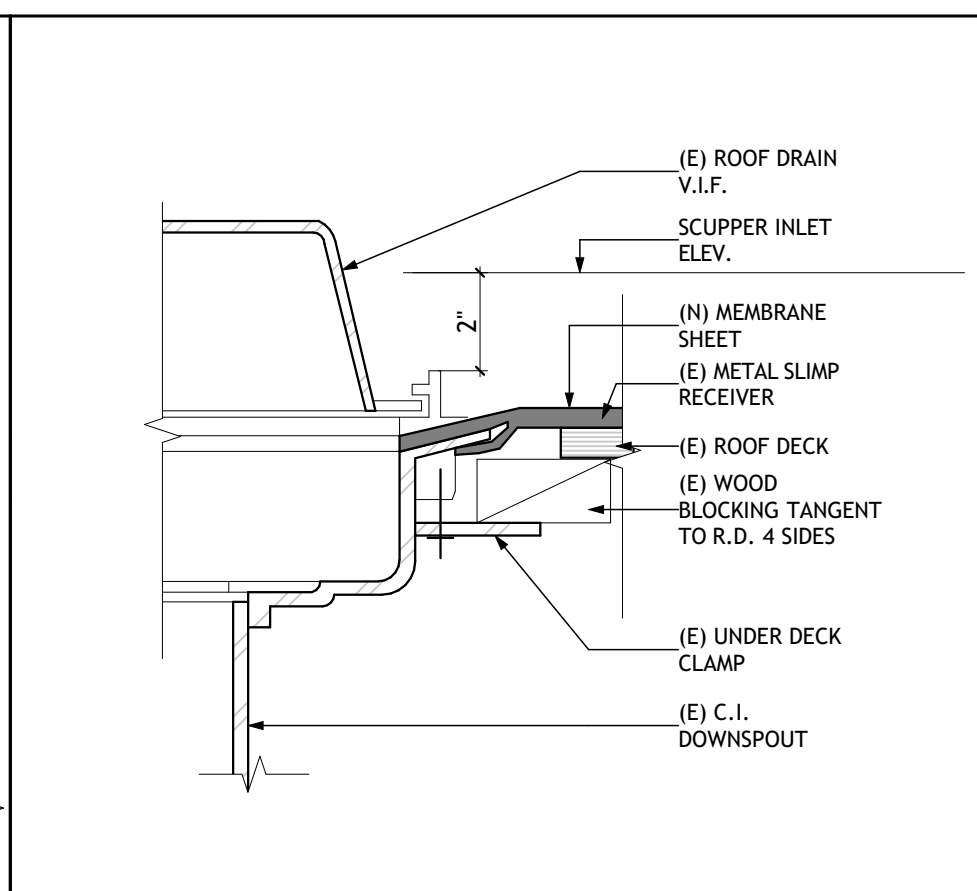
19 LEADER BOX @GLULAM BEAM FRONT VIEW

SCALE: 3" = 1'-0"



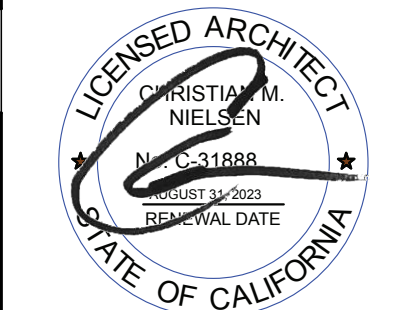
21 LEADER BOX @GLULAM BEAM

SCALE: 1 1/2" = 1'-0"



17 THRU - WALL SCUPPER

SCALE: 3" = 1'-0"



JOB NAME: DELAVEAGA ROOFING REPAIRS
CLIENT: CITY OF SANTA CRUZ
ADDRESS: 401 UPPER PARK RD. SANTA CRUZ, CA 95060
APN: 009-47-101

THE QUALITY OF A BUILDING CONSTRUCTED AS A GUARANTEE THAT ALL CREATIONS THAT ARE REFLECTED IN THE DOCUMENT, THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL CREATIONS MEET THE COMPLEXITY OF ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	MM/DD/YYYY
Scale:	AS NOTED
Drawn:	RS, BE
Checked:	CN
Job:	24-13

IFP Set
A5.1

STRUCTURAL NOTES & SPECIFICATIONS

GENERAL

The Contractor shall examine carefully the site of work contemplated, the Plans and Specifications therefore. The submission of a bid shall be conclusive evidence that the contractor has investigated and is satisfied as to the conditions to be encountered, as to the character, quality, and scope of work to be performed, the quantities of materials to be furnished and as to the requirements of the Plans and these Specifications.

The job site shall be maintained in a clean, orderly condition free of debris and litter, shall not be unreasonably encumbered with any materials or equipment and shall be cleaned at the end of each working day.

Construction and materials shall be as specified and as required by the latest edition of the California Building Code (CBC), the California Building Code Standards, locally enforced codes and authorities. All articles, materials and equipment shall be installed, applied and connected as directed by the manufacturer's latest written specifications except where otherwise noted. Material notes on the drawings shall take precedence over these Specifications.

In the event certain features of the construction are not fully shown, their construction shall be as shown for similar features. All dimensions shall take precedence over scale shown on the Plans.

It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, formwork, etc., as required for the protection of life and property during construction.

The Contractor shall examine and check all existing conditions, dimensions, levels and materials and notify the Engineer of any discrepancies before proceeding with the work. Should a discrepancy appear in the Specifications or Drawings, or in the work done by others from the contract documents that affect any work, notify the Engineer or Engineer at once for instruction on how to proceed. If the Contractor proceeds with the work affected without instructions from the Engineer, the Contractor shall make good any resulting damage or defect to the satisfaction of the Engineer. Should a conflict occur in or between Drawings and Specifications, or where detail references on the Drawings have been omitted, the Contractor is deemed to have estimated the most expensive materials and construction method involved, unless a written decision of the Engineer has been obtained which describes an alternate method and/or materials.

Materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

The Contractor shall do all cutting, fitting, or patching of his work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, or otherwise altering the total work or any part of it. Contractor shall exercise care to protect any existing construction so that integrity and finish are not impaired. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with appropriate materials so the surfaces replaced will, upon completion match surrounding similar surfaces.

Provide all necessary blocking, backing and framing for accessories, equipment and all other items requiring support.

See architectural, electrical and mechanical drawings for size and location of pipe, vent, duct and other openings and details not shown on the structural drawings. Structural drawings, details, dimensions, etc. shall be checked and verified, by the Contractor, with the architectural drawings. Discrepancies shall be brought to the attention of the Engineer for resolution before proceeding with the work.

STRUCTURAL STEEL & MISCELLANEOUS IRON

Work done under this section shall conform to the requirements of the AISC Specifications and Code of Standard Practice, latest edition. Steel shall conform to the following requirements:

Plates	ASTM A36
Fasteners - attachment to wood	Simson Products specified on plans
Weld Metal	FEX=70 ksi

All steel material, assemblies and fasteners exposed to earth or weather in the completed structure shall be hot dipped galvanized after fabrication or have Simpsons Double Barrier system. Paint per Architectural Specifications.

A fabricator approved by the Building Department shall perform all shop welds.

Welding shall be done by welders certified for the welds to be made using E70XX electrodes in conformance with the requirements of AISC Specifications and Code of Standard Practice or AWS "Structural Welding Code." Full penetration welds are to be inspected during welding by a special inspector approved by the building department having jurisdiction over this project.

To assure the proper amperage and voltage of the welding process, the use of a hand held calibrated amp and voltmeter shall be used. The fabricator, erector and the inspectors shall use this equipment. Amperage and voltage shall be measured at the arc with this equipment. Travel speed and electrode stick out shall be verified to be in compliance with the electrode manufacturer's recommendations.

Where minimum AISC fillet weld thickness requirement exceeds welds shown on details, provide minimum AISC weld.

After fabrication, all steel shall be cleaned free of rust, loose mill, scale and oil.

The Contractor shall be responsible for the control of all erection procedures and sequences with relation to temperature differentials and weld shrinkage.

Contractor shall submit shop drawings to the Engineer for approval prior to the fabrication of any parts or assemblies.

WOOD

Wood construction shall conform to Section 2304, "General Construction Requirements" of Chapter 23 of the CBC unless noted otherwise in the plans or these specifications.

No structural member shall be cut or notched unless specifically shown, noted, or approved by the Engineer. Holes in wood sills or plates of shear or bearing walls shall be placed in the center of the piece. Holes in excess of 1 inch diameter are not permitted in any member of a shear wall nor in any 2x4 double top plates. 2x6 double top plates may have up to two-inch diameter holes unless noted otherwise. Holes larger than noted above may be bored in sills providing the sill is considered cut in two and anchor bolts placed accordingly.

Wood species for all framing members shall be of Douglas Fir unless noted otherwise and shall be of the grade specified in these specifications unless noted otherwise in the plans, manufactured and graded per WWPA Grading Rules, latest edition. Solid sawn lumber shall have a maximum of 19% moisture content at time of installation.

Rafters up to 4x - DF No. 1, 6x - DF No. 1
Blocking - DF #1
Exposed Beams - Glulam (as noted on plans)

Glulam (Glued-laminated) beams and columns shall conform to the requirements of American National Standard ANSI/AITC Standard A190.1 and ASTM 3737, Structural Glued Laminated Timber. Provide Douglas Fir with combination symbol 24F-V8 where members are continuous or cantilever over supports and 24F-V4 otherwise U.N.O. on the plans. Furnish glulam beams with standard camber U.N.O. Moisture content to be per section 2303 in the 2022 California Building Code. Provide AITC certificate for all glulams to the Engineer. Glulam beams shall bear on an approved column cap or hanger unless noted otherwise on plans.

Use common type nails where nails are indicated on our details or plans. Nails shall be hot dipped galvanized where exposed to the weather. The minimum nailing requirements of CBC Table 2304.9.1 (latest edition) apply wherever fasteners for connecting wood members have not been specified. Fasteners for pressure-preservative treated or fire retardant treated wood shall be hot-dipped galvanized or stainless steel.

WOOD PRESERVATIVES

All new wood at exterior, except wood naturally resistant to decay, shall be pressure-treated with a water-borne preservative of the Contractor's choice subject to the Owner's approval. All treatment shall be in accordance with the latest edition of the American Wood Preservers Association standards for ground and human contact. Cutting, notching or boring of any wood to be buried in the earth is not permitted.

All field cuts, notches or holes in preservative treated wood shall receive at least three brush or dip applications of Jasco Termin-8 copper naphthenate wood preservative.

REMOVAL AND REPLACEMENT OF EX LUMBER AND PLYWOOD

All lumber and plywood exposed during selective demolition shall be observed by the Structural Engineer prior to removal or application of obscuring finishes.

Damaged or deteriorated wood framing or sheathing shall be replaced in kind, unless noted otherwise on the plans. Repair of existing framing will be at the discretion of the engineer.

Deteriorated structural framing to remain and be repaired in place shall be repaired with a borate/epoxy system (End Rot by System Three, ph: 800-333-5514) or equal with prior approval by the engineer. All deteriorated wood shall be removed to sound substrate. Dry rot inhibiting compounds and repair products shall be installed per manufacturer's recommendations.

Lumber and plywood shall be carefully removed in such a way as to not damage the adjacent framing to remain. Any beams, studs, plates, posts, plywood or other framing damaged during removal shall be replaced in like kind at the contractor's expense.

Contractor is required to provide additional nailing or removal and replacement of damaged plywood in areas of overdriven nails as directed by Structural Engineer.

Contractor is required to provide additional framing where existing framing does not match the expected framing as shown in details and plans or as directed by Structural Engineer.

Existing plywood nailing to be field verified and brought into conformance with similar adjacent nailing or 8d @ ½' as minimum.

Plywood shall be removed and replaced in sheets no smaller than 2' X 4'.

STRUCTURAL OBSERVATIONS

Structural observation is required by the Engineer at the following construction milestones:

- Wood Construction: Repair of existing wood framing as indicated on the plans
- Project Completion: At completion of all work indicated on the structural drawings, prior to placement of obscuring finishes.

SUBMITTALS

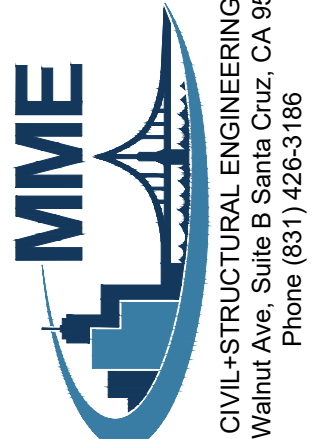
- Submittals shall be sent to the Engineer for review in the following areas of work:
 - Structural Steel - Steel fabrications shown on the structural drawings
 - For all substitutions
- Substitution of Alternative manufactured items shall be submitted to the Engineer and to the Authority Having Jurisdiction for approval prior to commencing work. The contractor shall prepare and provide the engineering design for all alternatives and substitutions.
- The submittal documents shall include calculations and drawings as required to verify the adequacy of the submittal item.
- Alternatives and substitution submittals shall be signed and sealed by a Professional Engineer who is licensed in the State of California.
- All submittals shall be reviewed and checked by the Contractor prior to submittal to Engineer for review. Contractor shall stamp and sign each submittal indicating they have reviewed, checked and approved the submittal for compliance with all the requirements of the plans and specifications.

STRUCTURAL DESIGN CRITERIA

<u>CODES USED:</u>	ASCE 7-16, 2022 CBC
<u>GRAVITY DESIGN CRITERIA:</u>	
ROOF DEAD LOAD	21 PSF
ROOF LIVE LOAD	20 PSF, 300 LB POINT LOAD

ABBREVIATIONS

AB	Anchor Bolt	HDR	Header
ACI	American Concrete Institute	HORIZ	Horizontal
AISC	American Institute of Steel Construction	ID	Inside Diameter
AITC	American Institute of Timber Constr.	IN	Inch
ALT	Alternate	JST(S)	Joist(s)
APA	American Plywood Association	KP	King Post
APPROX	Approximately	L	Angle
ARCH	Architect	LB	Pound
ASTM	American Society for Testing & Materials	LL	Live Load
AVG	Average	LTWT	Light Weight
BLDG	Building	MAX	Maximum
BLK(G)	Block(ing)	MB	Machine Bolt
BM	Beam	MECH	Mechanical
BN	Boundary nailing	MISC	Miscellaneous
BOT	Bottom	MIN	Minimum
BTWN	Between	MTL	Metal
BVL	Bevel	NS&FS	Near Side And Far Side
C	Channel	NTS	Not To Scale
CANT	Cantilever	OC	On Center
CB	Carriage Bolt	OD	Outside Diameter
CBC	California Building Code	P	Post
CC	Center to Center	PERT	Pre-Engineered Roof Truss
CJ	Control Joint	PJP	Partial Joint Penetration
CL	Center Line	PL	Plate
CLG	Ceiling	PLY	Plywood
CLR	Clear, Clearance	PMR	Per Manufacturers Recommendations
CMU	Concrete Masonry Unit	PSF	Pounds per Square Foot
COL	Column	PSI	Pounds per Square Inch
CJP	Complete Joint Penetration	PTDF	Preservative Treated Douglas Fir
CONC	Concrete	R	Radius
CONN	Connection	RC	Relative Compaction
CONT	Continuous	REINF	Reinforcement
CTR	Center	REQD	Required
CVR	Cover	RET	Retaining
DBL	Double	R&R	Remove And Replace
DEG	Degree	RR	Roof Rafter
DET	Detail	RS	Rough Sawn
DF	Douglas Fir	RWD	Redwood
DIA	Diameter	SAD	See Architectural Drawings
DIAG	Diagonal	SCH	Schedule
DIM	Dimension	SECT	Section
DL	Dead Load	SEL	Select
DN	Down	SF	Square Foot
DWG	Drawing	SHRWL	Shear wall
EA	Each	SHTG	Sheathing
EF	Each Face	SIM	Similar
EL	Elevation	SPEC	Specifications
ELEV	Elevation	SQR	Square
EN	Edge Nail	STD	Standard
ENGR	Engineer	STL	Steel
EOR	Engineer Of Record	STRUCT	Structural
ES	Each Side	T	Tee Section
EW	Each Way	T&G	Tongue And Groove
EX	Existing	T&B	Top And Bottom
EXT	Exterior	TN	Toe Nail
FG	Finish Grade	TOC	Top Of Concrete
FJ	Floor Joist	TOF	Top Of Footing
FLR	Floor	TOS	Top Of Steel
FN	Field nailing	TOW	Top Of Wall
FDN	Foundation	TYP	Typical
FOC	Face Of Concrete	UNO	Unless Noted Otherwise
FOS	Face Of Steel/Stud	VERT	Vertical
FRMG	Framing	VIF	Verify In Field
FT	Foot or Feet	W	Wide flange steel beam
FTG	Footing	WI	With
GA	Gauge	WO	Without
GALV	Galvanized	WP	Work Point
GLB	Glulam Beam	WWF	Welded Wire Fabric
HD	Holdown		

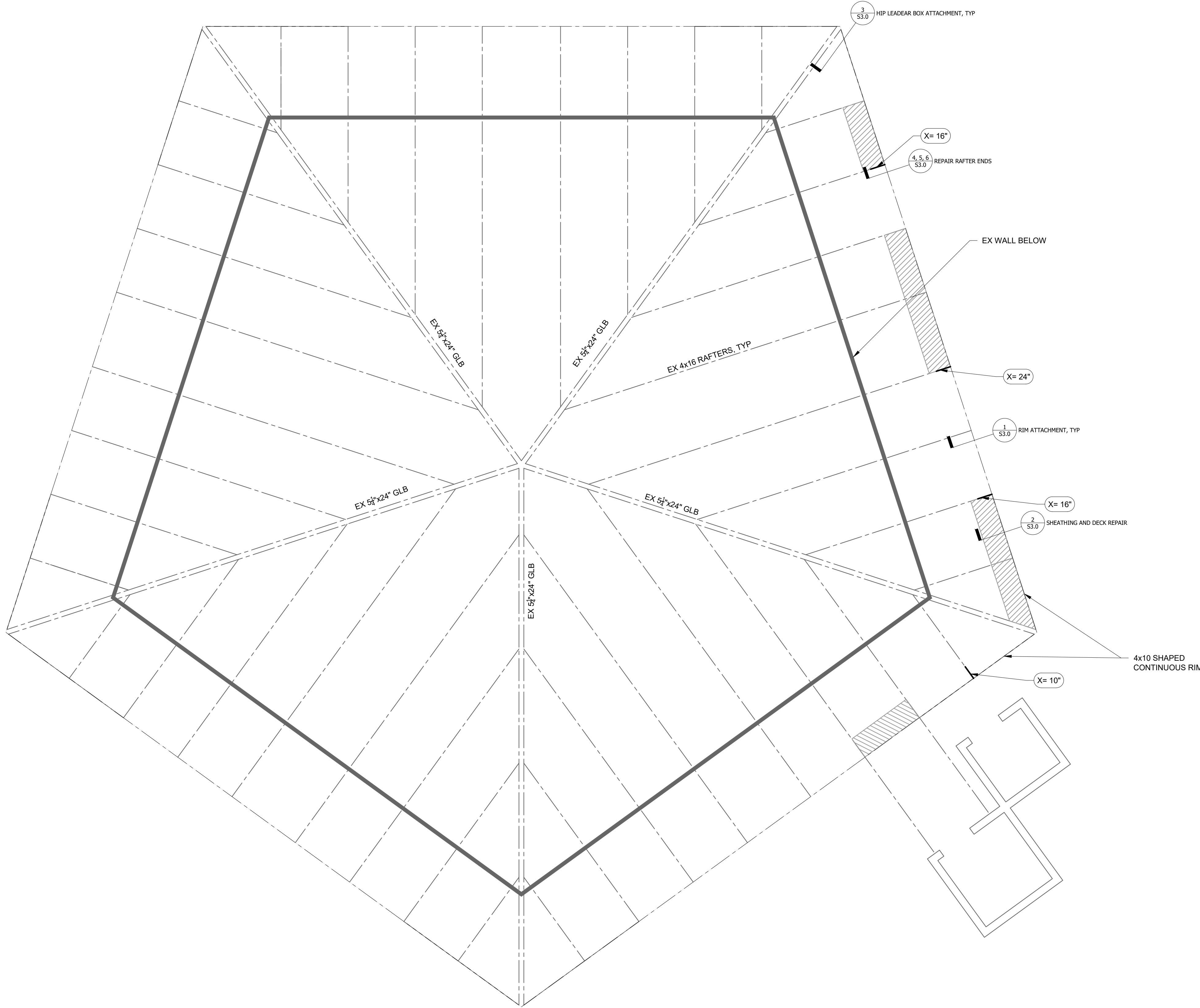
DATE	11/26/2024			
	12/18/2024			
BY	BR	BR		
DESCRIPTION				
COORDINATION SET				
PERMIT SUBMITTAL				
REV.	A	A	A	A
 CIVIL+STRUCTURAL ENGINEERING 224 Walnut Ave. Suite B San Marcos, CA 95060 Phone (857) 425-3168				
				
DELAVEAGA ROOF REPAIR				
PREPARED AT THE REQUEST OF DANIEL HIMAN CITY OF SANTA CRUZ SANTA CRUZ, CA 95060				
STRUCTURAL SPECIFICATIONS				
DRAWN BY: NS				
CHECKED BY: BR				
JOB NUMBER: 23152				
SHEET				
S1				

- NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
 - NOTIFY ENGINEER IF REPAIR LENGTHS EXCEED THOSE PROVIDED ON THE PLAN. DO NOT PROCEED WITH FABRICATION OF REPAIR PLATES IF REPAIR LENGTHS EXCEED THOSE GIVEN IN THE DETAILS.
 - MEMBERS BEING REMOVED SHALL BE REPLACED ONLY WITH MEMBERS OF EQUAL LIKE AND KIND, UNO.
 - SEE SPECIFICATIONS SHEET S1.0 FOR ADDITIONAL INFORMATION

LEGEND

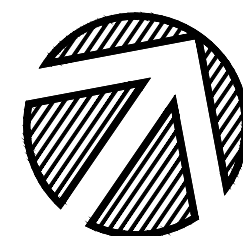
-  DAMAGED ROOF DECKING AND SHEATHING, REPLACE PER DETAIL 2/S3.0
-

REPAIR RAFTER END PER DETAIL 4/S3.0.
"X" = 16" IS THE RAFTER REPAIR LENGTH.
VIF, BEFORE FABRICATION

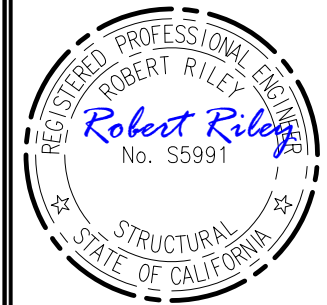
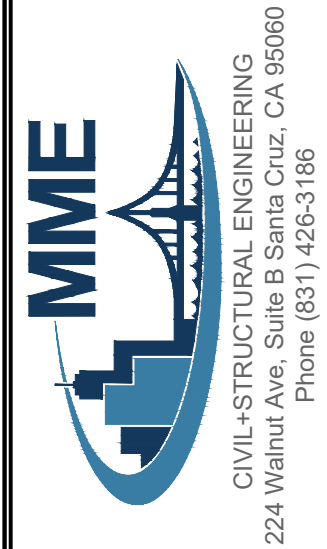


ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"



REV.	DESCRIPTION	BY	DATE
1	COORDINATION SET	BR	11/26/2024
2	PERMIT SUBMITTAL	BR	12/18/2024
3			
4			
5			



DELAVEAGA ROOF REPAIR

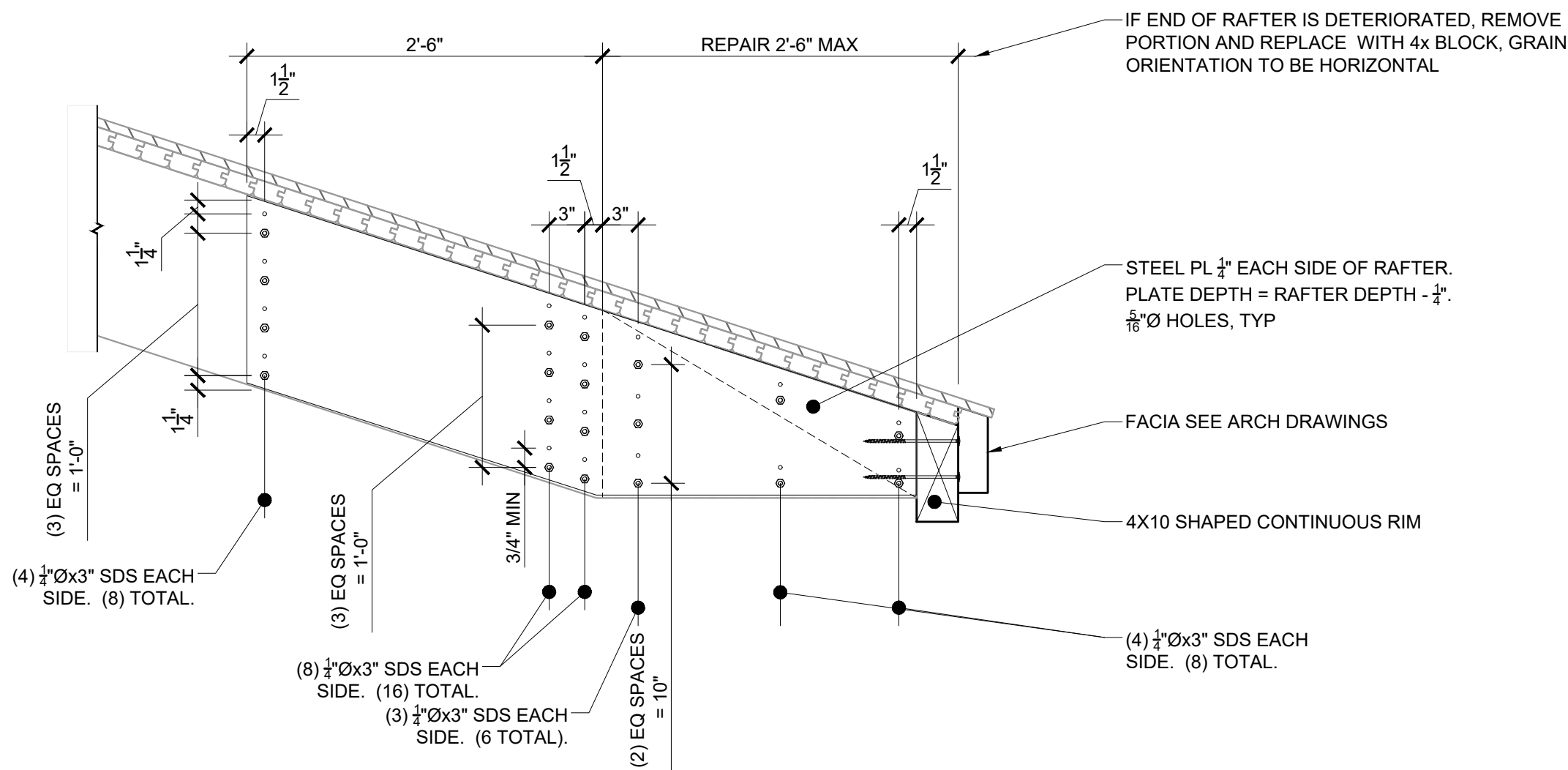
PREPARED AT THE REQUEST OF
DANIEL HIMAN
CITY OF SANTA CRUZ
SANTA CRUZ, CA 95060

ROOF FRAMING PLAN

DRAWN BY: NS
CHECKED BY: BR
JOB NUMBER: 23152

SHEET

S2

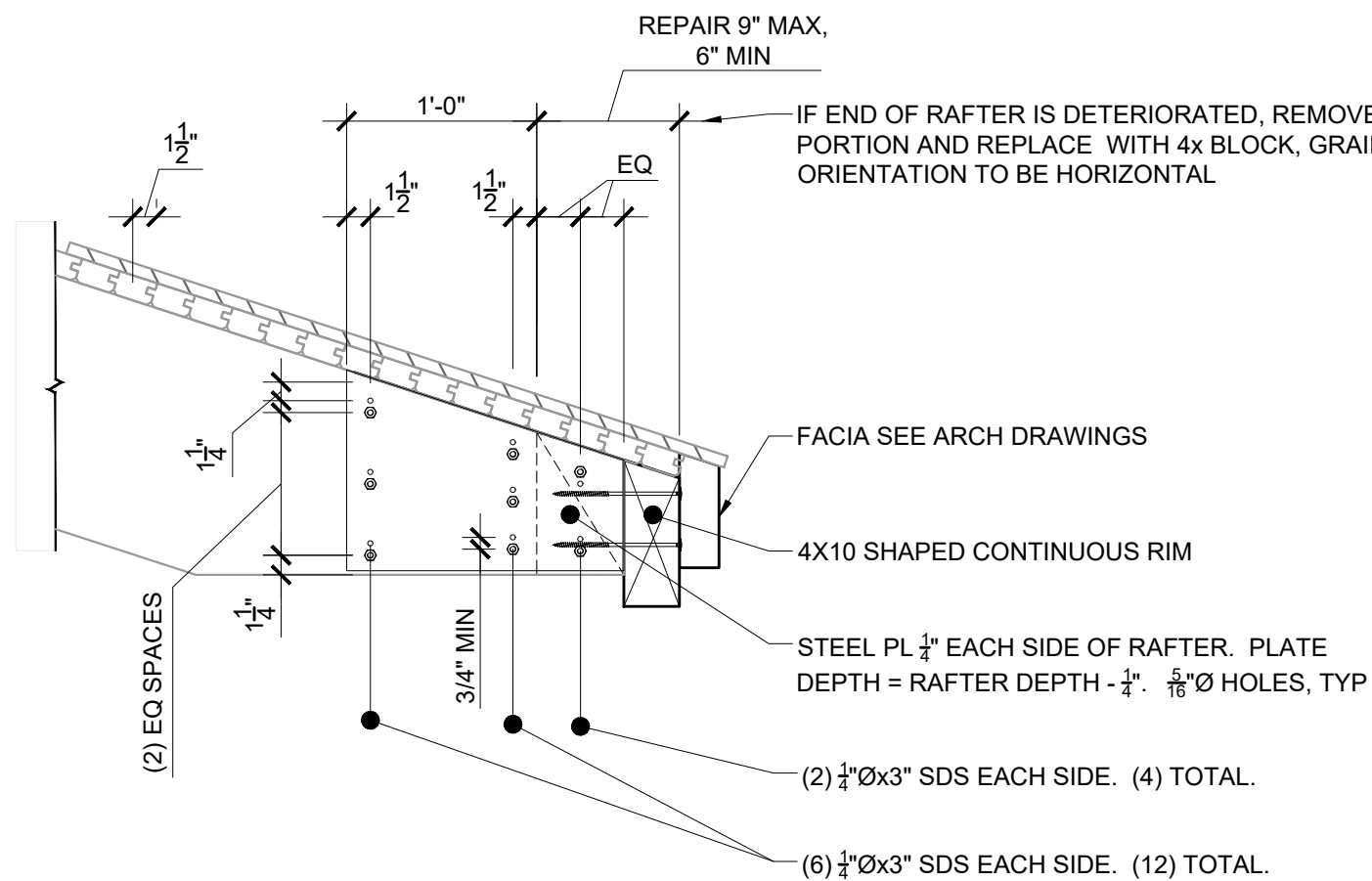


- NOTE:
- SEE DETAIL 1 FOR INFO NOT SHOWN
 - OFFSET OPPOSITE SIDE SCREWS TO AVOID INTERFERENCE, TYP

RAFTER REPAIR (30" MAX)

SCALE: 1" = 1'-0"

6

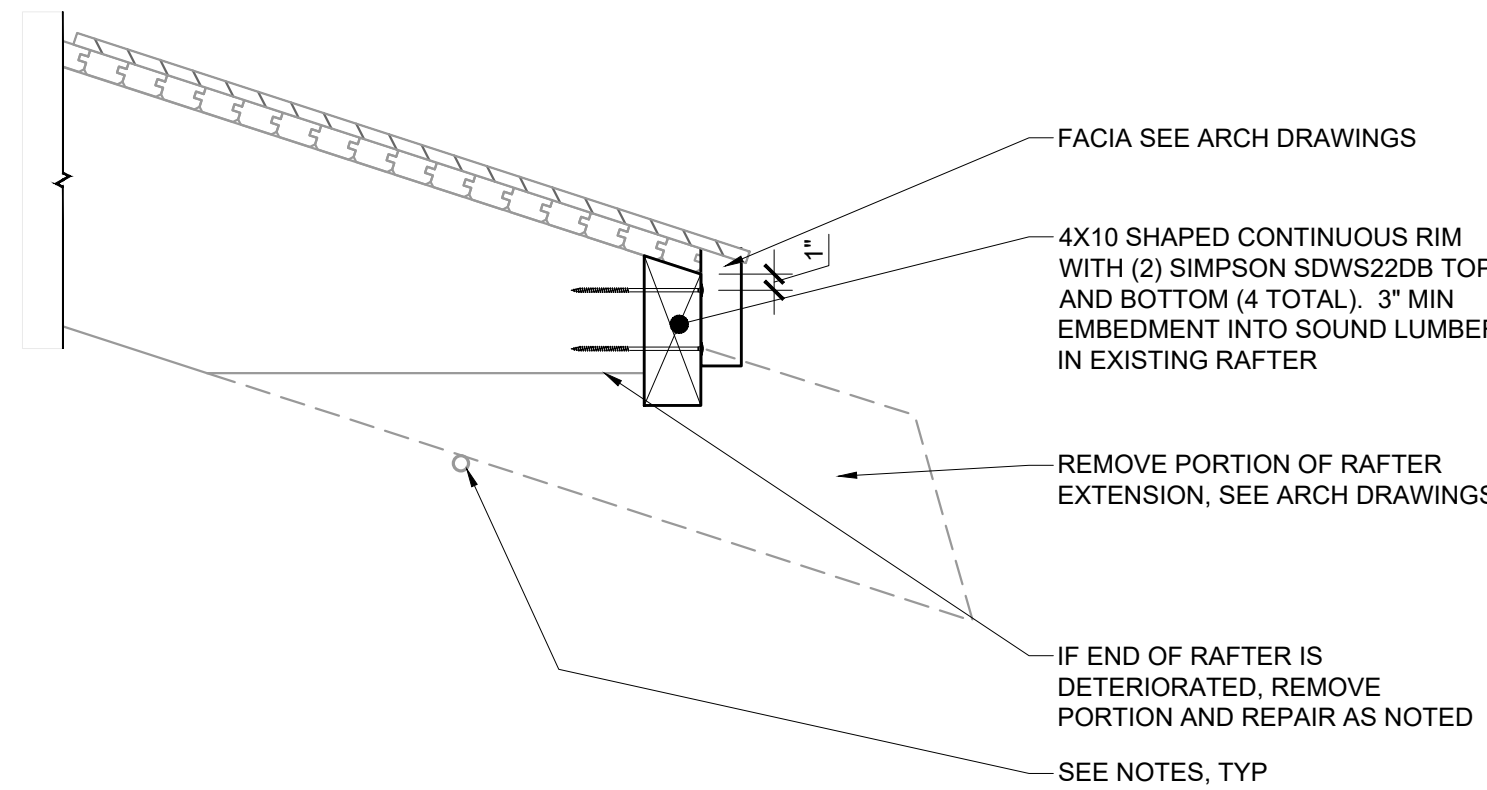


- NOTE:
- SEE DETAIL 1 FOR INFO NOT SHOWN
 - OFFSET OPPOSITE SIDE SCREWS TO AVOID INTERFERENCE, TYP

RAFTER REPAIR (9" MAX)

SCALE: 1" = 1'-0"

4

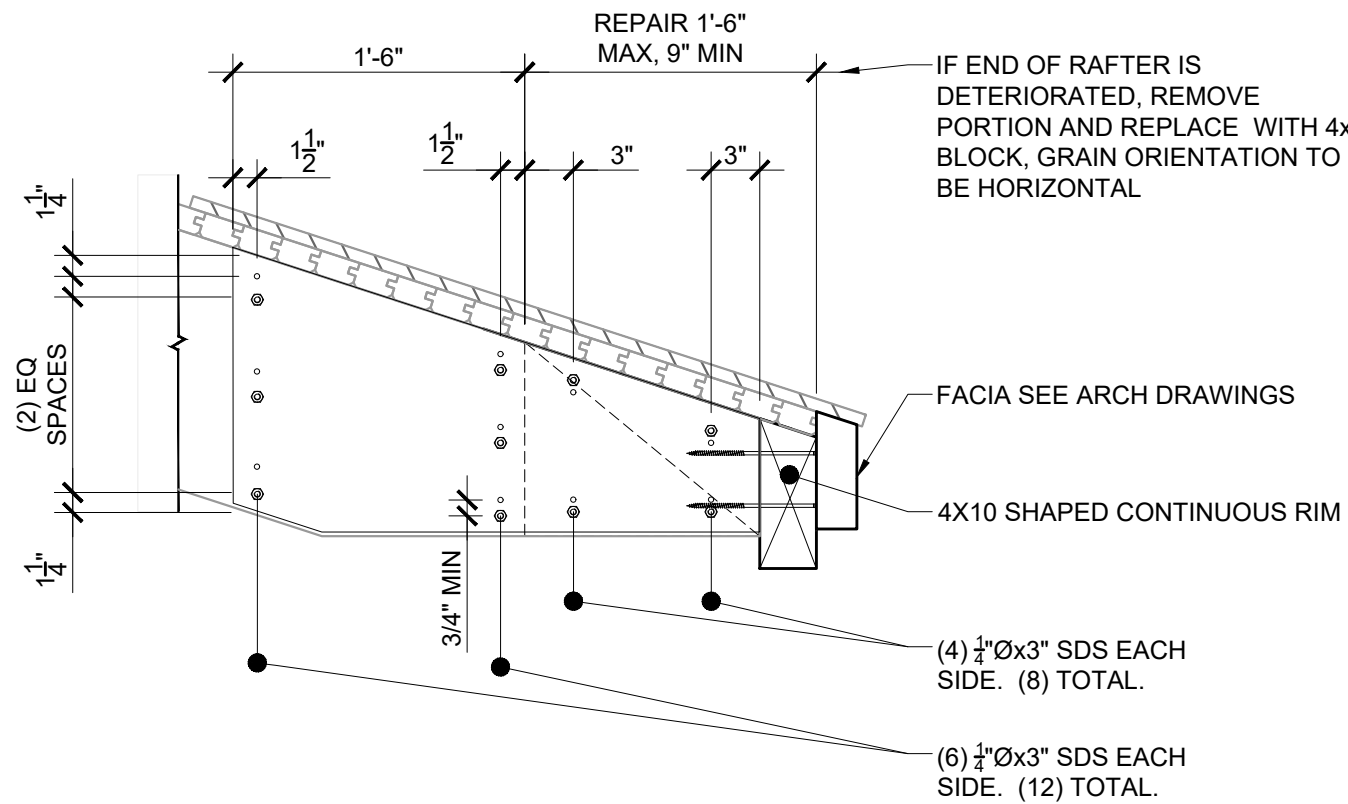


- NOTE:
- CONTRACTOR TO REMOVE AND REPLACE ELECTRICAL CONDUIT, LIGHTING, AND PIPING AS REQUIRED TO PERFORM WORK.

RIM ATTACHMENT

SCALE: 1" = 1'-0"

1

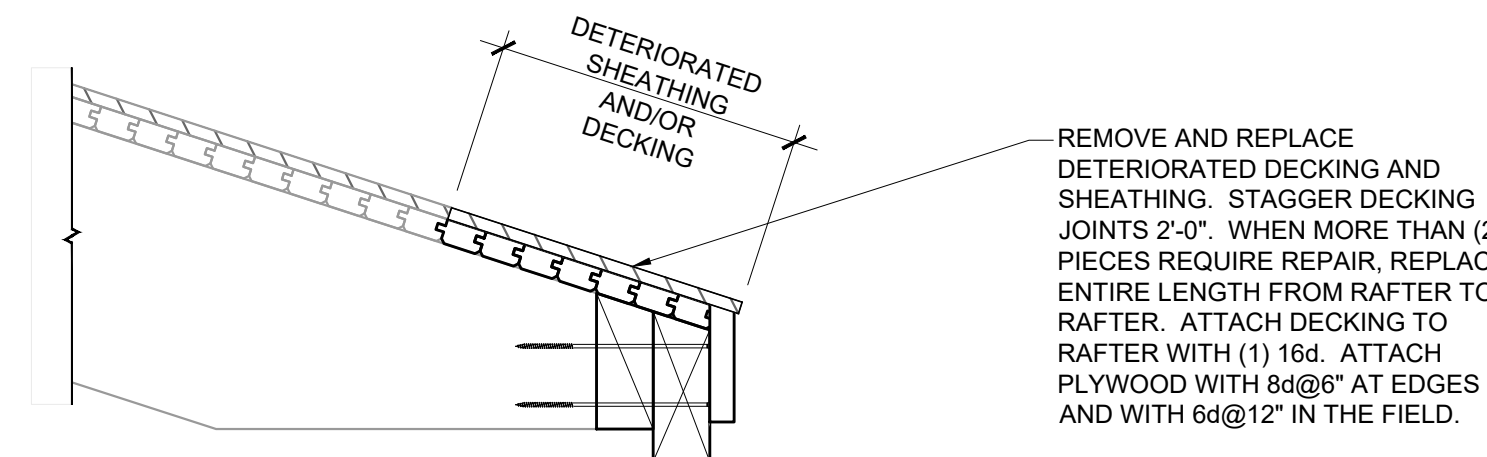


- NOTE:
- SEE DETAIL 1 FOR INFO NOT SHOWN
 - OFFSET OPPOSITE SIDE SCREWS TO AVOID INTERFERENCE, TYP

RAFTER REPAIR (18" MAX)

SCALE: 1" = 1'-0"

5

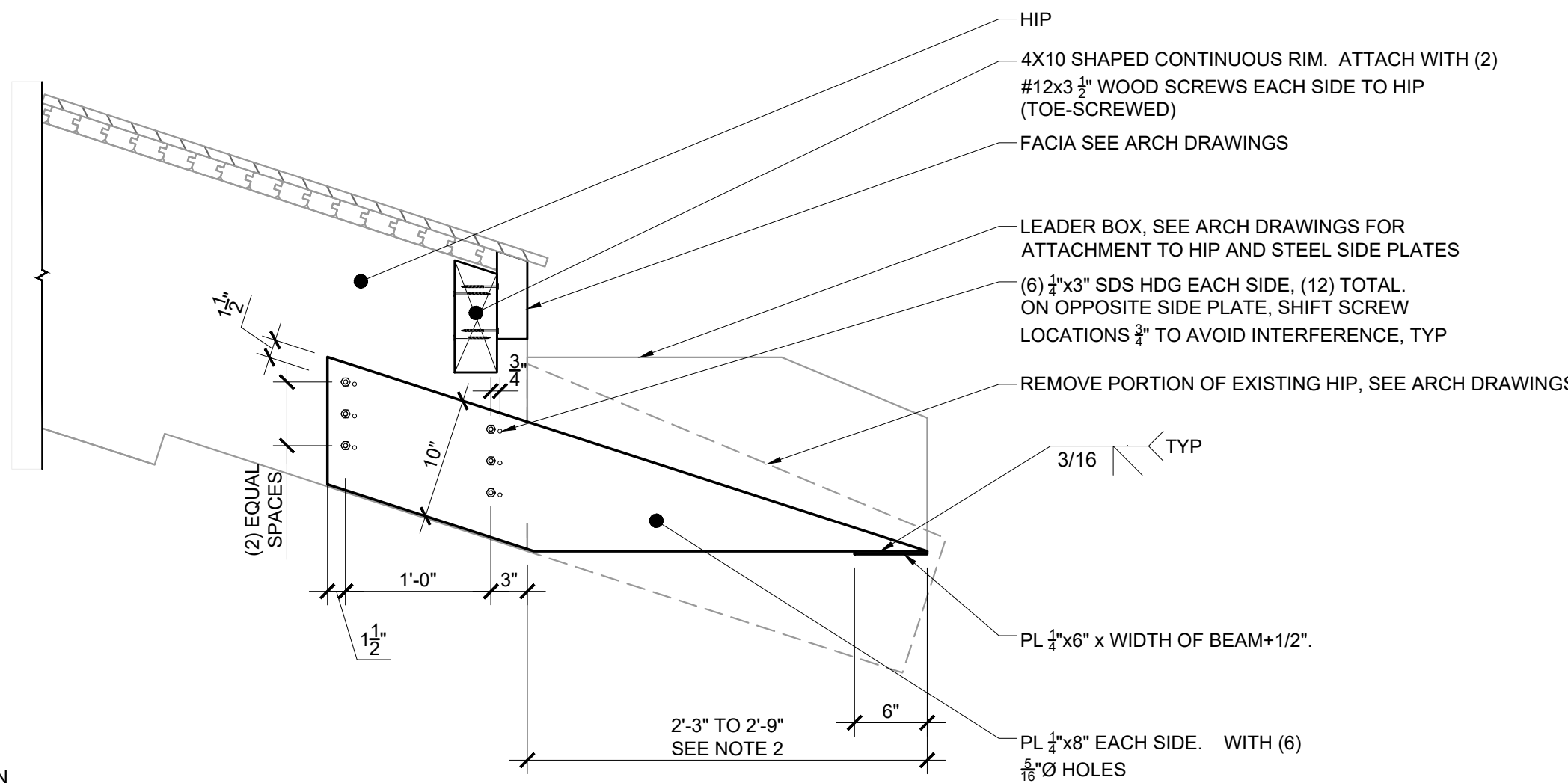


- REMOVE AND REPLACE DETERIORATED DECKING AND SHEATHING. STAGGER DECKING JOINTS 2'-0". WHEN MORE THAN (2) PIECES REQUIRE REPAIR, REPLACE ENTIRE LENGTH FROM RAFTER TO RAFTER. ATTACH DECKING TO RAFTER WITH (1) 16d. ATTACH PLYWOOD WITH 8d@6" AT EDGES AND WITH 6d@12" IN THE FIELD.

SHEATHING & DECKING REPAIR

SCALE: 1" = 1'-0"

2



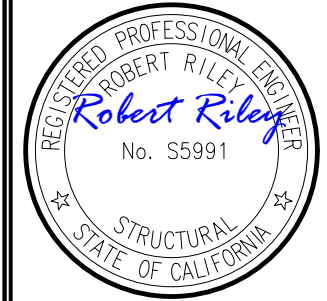
- NOTE:
- SEE DETAIL 1 FOR INFO NOT SHOWN
 - DIMENSION WILL DEPEND ON ACTUAL CUT LENGTH OF HIP RAFTER.
 - SEE SPECIFICATIONS FOR STEEL FABRICATIONS SUBMITTAL
 - SEE ARCH DRAWINGS FOR INFO NOT SHOWN

HIP LEADER BOX ATTACHMENT

SCALE: 1" = 1'-0"

3

REV.	DESCRIPTION	DATE
1	COORDINATION SET	11/26/2024
2	PERMIT SUBMITTAL	12/18/2024
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		



DELAVEAGA ROOF REPAIR

PREPARED AT THE REQUEST OF
DANIEL HIMAN
CITY OF SANTA CRUZ
SANTA CRUZ, CA 95060

DETAILS

DRAWN BY: NS
CHECKED BY: BR
JOB NUMBER: 23152

SHEET

S3.0