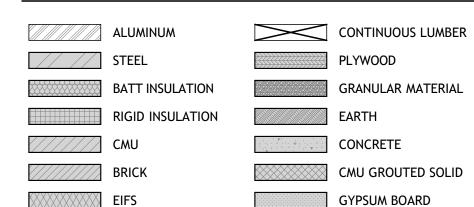
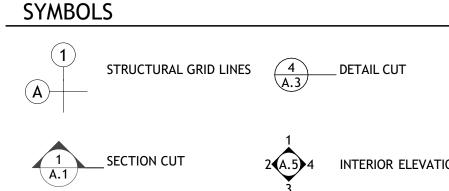
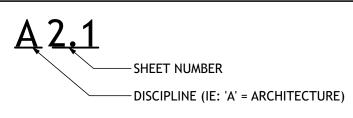
HATCH LEGEND





SHEET NUMBER LEGEND



ARRREVIATIONS

NEW

OVER ON CENTER

ADDREVIA I IUNS				
BLKG	BLOCKING	PT.	PRESSURE TREATED	
BOT.	BOTTOM	PLWD	PLYWOOD	
CONC.	CONCRETE	REF.	REFER	
CONT.	CONTINUOUS	REQ'D	REQUIRED	
CU.FT.	CUBIC FEET	SCHED	SCHEDULE	
DIA.	DIAMETER	S.F.	SQUARE FEET	
DWGS	DRAWINGS	S.S.	STAINLESS STEEL	
(E)	EXISTING	STD	STANDARD	
EA.	EACH	STL	STEEL	
EN EN	END NAIL	SQ.	SQUARE	
EQ.	EQUAL	T&B	TOP & BOTTOM	
EXT.	EXTERIOR	TBD	TO BE DETERMINED	
FDTN	FOUNDATION	TYP.	TYPICAL	
FT.	FEET OR FOOT	U.N.O.	UNLESS NOTED OTHER	
GYPBD	GYPSUM WALLBOARD	VERT.	VERTICAL	
IN.	INCH	VIF	VERIFY IN FIELD	
INT.	INTERIOR	WD	WOOD	
LG	LONG	W/	WITH	
MAX.	MAXIMUM			
MIN.	MINIMUM			
MTL	METAL			

GENERAL NOTES

- 1.01 ALL CONSTRUCTION WORK SHALL MEET OR EXCEED THE LATEST EDITION OF THE FOLLOWING CODES AS APPLICABLE AND AS ADOPTED BY THE LOCAL GOVERNING AGENCIES:
- 2022 CALIFORNIA BUILDING CODE (2021 IBC) 2022 CALIFORNIA RESIDENTIAL CODE (2021 IRC) 2022 CALIFORNIA FIRE CODE (2021 IFC) 2022 CALIFORNIA MECHANICAL CODE (2021 UMC) 2022 CALIFORNIA PLUMBING CODE (2021 UPC) 2022 CALIFORNIA ELECTRICAL CODE (2020 NEC) 2022 ENERGY EFFICIENCY STANDARD (TITLE 24) 2022 GREEN BUILDING CODE (TITLE 24) AND ALL ORDINANCES ADOPTED BY THE GOVERNING
- 1.02 THE GENERAL CONTRACTOR SHALL MAINTAIN THE CURRENT AND COMPLETE SET OF APPROVED CONSTRUCTION DOCUMENTS ON THE SITE AT ALL TIMES IN A SECURE LOCATION.
- 1.03 THE GENERAL CONTRACTOR SHALL PROVIDE COPIES OF THE APPROVED CONSTRUCTION DOCUMENTS FOR THE USE OF ALL TRADES AND SHALL PROVIDE THEM TO ALL SUBCONTRACTORS. WITH UPDATES AND APPROVED CHANGES AS REQUIRED AND NECESSARY.
- 1.04 THE GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL.
- 1.05 PROJECT DIMENSIONING STANDARDS: 1. ALL DIMENSIONS ARE MEASURED FROM THE FACE OF THE EXISTING FINISH FOR EXISTING WALLS;
- 2. FACE OF EXTERIOR PLYWOOD FOR NEW EXTERIOR WALLS; 3. FACE OF STUD FOR NEW INTERIOR WALLS; AND
- 4. CENTER OF COLUMN OR OPENING, FACE OF CABINET, OR GRIDLINES.

MAINTAIN DIMENSIONS MARKED AS CLEAR, ALLOWING FOR THICKNESS OR MOUNTING OF FINISHES.

WHEN TIEING INTO (E) CONDITIONS, (N) AND (E) FINISHES SHOULD ALIGN, WHICH GOVERN ACTUAL DIMENSIONS.

GC TO CONFIRM LOCATION OF GRIDLINES IN FIELD AND ADVISE ARCHITECT OF

1.06 DO NOT SCALE THE DRAWINGS. THE DIMENSIONS SHOWN SHALL SUPERSEDE THE SCALE OF THE DRAWINGS.

- 1.07 ANY DISCREPANCY IN DIMENSIONS OR CONFLICT IN PLANS OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONTINUANCE OF THE WORK IN THE AFFECTED AREA. IF THE WORK IS CONTINUED IN THE AFFECTED AREA, WITHOUT INSTRUCTION OR CLARIFICATION BY THE ARCHITECT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTANT DEFECT, DAMAGE OR CHANGE REQUIRED.
- 1.08 AT JOB COMPLETION, PRIOR TO SUBMITTING THE REQUISITION FOR FINAL PAYMENT, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A REDLINED SET OF PRINTS SHOWING AS-CONSTRUCTED CONDITIONS.
- 1.09 THE GENERAL CONTRACTOR SHALL PROVIDE PROPER CONTAINERS ON THE JOB SITE TO ASSURE CONTINUOUS RECYCLING OF MATERIALS.
- 1.10 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUBCONTRACTORS AND ASSUMING THEIR COMPLIANCE WITH THE RECYCLING
- 1.11 NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL THE INSULATION INSPECTION BY PROPER AUTHORITIES IS COMPLETED.

GREEN BUILDING NOTES

2.01 CONTRACTOR SHALL RETAIN ALL WASTE HAULING RECEIPTS FOR INSPECTOR. RECEIPTS MUST INDICATE 65% SEPARATED. RECYCLABLE MATERIALS. ALL CREDITED WASTE HAULING RECEIPTS MUST INDICATE THE MATERIAL RECYCLED, AND CANNOT INDICATE "PUBLIC REFUSE" or "UNPROCESSED C&D"

2.02 INVENTORY, DECLARE, AND OBTAIN DOCUMENTATION OF PROPER HAZARDOUS WASTE DISPOSAL FOR ANY UNIVERSAL WASTE MATERIALS WITH THE SCOPE OF WORK AREA. RETAIN DOCUMENTATION FOR INSPECTOR.

2.03 PROHIBITED UNIVERSAL WASTE MATERIAL AS DEFINED IN CALGREEN SECTION 202 INCLUDING BATTERIES, ELECTRONIC DEVICES, MERCURY-CONTAINING EQUIPMENT, LAMPS, CATHODE RAY TUBES, CATHODE RAY TUBE

2.04 ALL PAINT, COATINGS, SEALANTS, CAULKINGS, ADHESIVES, COMPOSITE WOOD PRODUCTS, AND ANY OTHER MATERIALS COVERED IN CAL GREEN REQUIREMENTS MUST CONFORM TO CAL GREEN MANDATORY MEASURES. CONTRACTOR TO PROVIDE DOCUMENTATION AS REQUIRED BY INSPECTOR.

2.05 PRIOR TO PERMIT ISSUANCE CONTRACTOR TO COMPLETE AND SUBMIT THE RELEVANT CONSTRUCTION WASTE MANAGEMENT PLAN WHERE

2.06 FOR HOMES BUILT PRIOR TO 1994, CA CIVIL CODE SECTION 1101.4 REQUIRES ALL NON-COMPLIANT PLUMBING FIXTURES TO BE UPGRADED TO MEET CURRENT GREEN BUILDING CODE SECTION 4.303 WATER EFFICIENCIES WHEN ANY APPLICABLE BUILDING PERMIT IS OBTAINED. THEREFORE, EXISTING NON-COMPLIANT FIXTURES THROUGHOUT THE HOME EVEN WHERE NO OTHER WORK IS PROPOSED MUST HAVE WATER EFFICIENT FIXTURES INSTALLED TO FINAL THIS PERMIT. NON-COMPLIANT FIXTURES WOULD BE DEFINED AS: TOILETS > 1.6 GAL/ FLUSH, SHOWER HEADS > 2.5 GAL/MIN, AND ANY FAUCETS > 2.2 GAL/MIN.

DELAVEAGA ROOFING REPAIRS

401 UPPER PARK RD. SANTA CRUZ, CA 95060

SHEET INDEX PROJECT DATA PROJECT DIRECTORY OWNER / CLIENT CITY OF SANTA CRUZ G0.1 COVER SHEET **809 CENTER STREET** G0.2 CALGREEN SANTA CRUZ, CA 95060 CONTACT: DAN HILLMAN G0.3 CALGREEN PH: 510.816.4411 EMAIL: DHiman@santacruzca.gov G0.4 CALGREEN A0.1 SITE PLAN PROJECT DESCRIPTION ARCHITECT NIELSEN STUDIOS A1.1 EXISTING-DEMO FIRST FLOOR PLAN 1509 SEABRIGHT AVE, SUITE 2B SANTA CRUZ, 95062 A1.2 EXISTING-DEMO ROOF PLAN CONTACT: CHRISTIAN NIELSEN PH: (831) 621-3926 A1.3 PROPOSED ROOF PLAN FAX: (925) 287-0666 EMAIL: cnielsen@nielsenarchitects.com A2.1 EXISTING-DEMO ELEVATIONS A2.2 EXISTING-DEMO ELEVATIONS STRUCTURAL ENGINEER BOB RILEY PROPOSED ELEVATIONS MESITI-MILLER ENGINEERING INC. 224 WALNUT AVE., SUITE B A2.4 PROPOSED ELEVATIONS SANTA CRUZ, CA. 95060 A3.1 PROPOSED SECTIONS PHONE: 831-4263186

A3.2 PROPOSED SECTIONS

A4.1 ELEVATOR ENLARGED PLAN

ROOF FRAMING PLAN

S3.0 DETAILS

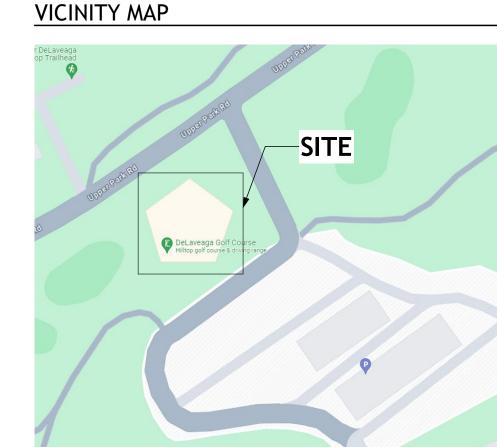
CONSTRUCTION DETAILS

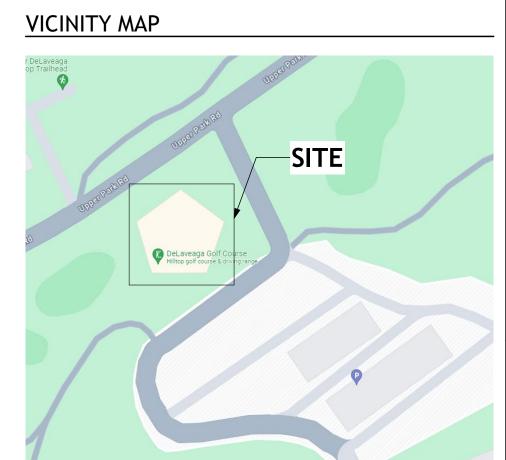
STRUCTURAL SPECIFICATIONS

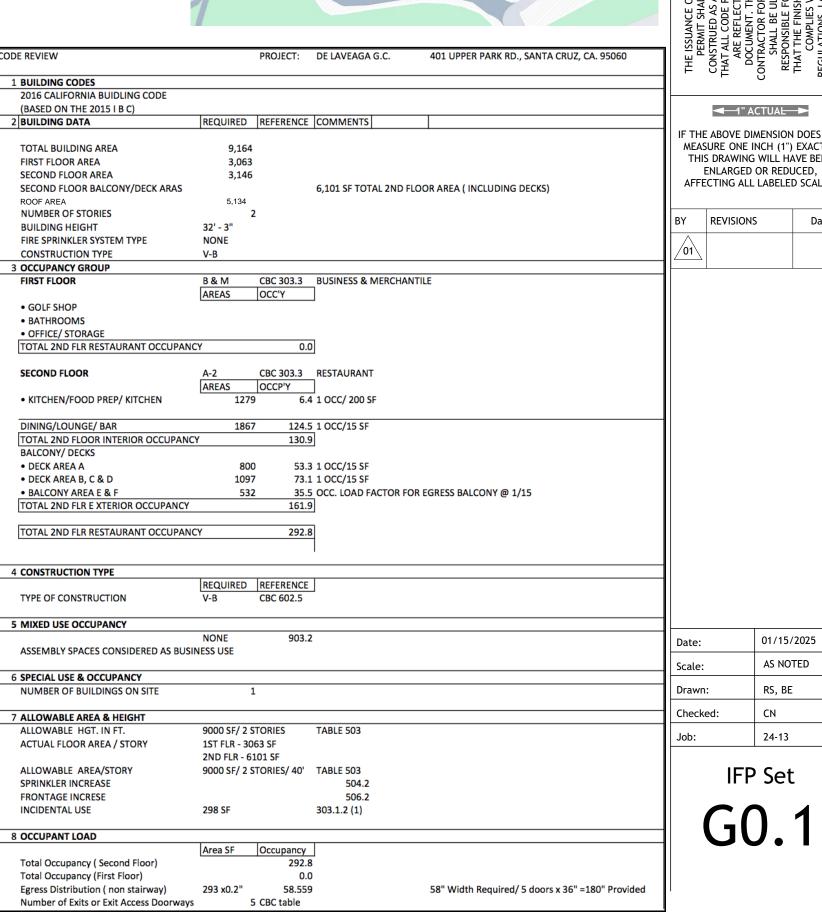
bob@m-me.com

APN: 009-47-101 ZONING DISTRICT: PK- PARKS CONSTRUCTION TYPE: V-B NON-SPRINKLERED PROJECT AREA: 9164 OCCUPANCY: B & M

PROVIDE ARCHITECTURAL DESIGN SERVICES FOR REROOFING, ALTERATIONS TO THE RAIN WATER COLLECTION SCUPPERS, REPLACEMENT OF FASCIA AND REPAIRS TO EXISTING STRUCTURAL BEAMS AND JOISTS. EXISTING ROOF IS APPROXIMATELY 4,500 SF. THE BUILDING AREAS OF THE EXISTING TWO STORY GOLF CLUBHOUSE WITH A SECOND FLOOR RESTAURANT ARE APPROXIMATELY 9,164 SF TOTALAND 3,100 SF OF RESTAURANT. EXTERIOR REMODEL TO INCLUDE DEMOLITION OF PORTIONS OF EXISTING ROOF AND STRUCTURAL BEAMS AS NEEDED FOR THE REPLACEMENTS AND ENVELOPE UPGRADES TO RETURN THE INTEGRITY OF THE DAMAGED ELEMENTS AS IDENTIFIED BY THE STRUCTURAL ENGINEERING CONSULTANT.









→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

REVISIONS Date

RS, BE

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no 301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only: Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for 301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work. 301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC) **SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. **SECTION 303 PHASED PROJECTS 303.1 PHASED PROJECTS.** For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply. 303.1.1 Initial Tenant improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations. ABBREVIATION DEFINITIONS: Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development Additions and Alterations CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES **DIVISION 5.1 PLANNING AND DESIGN SECTION 5.101 GENERAL** The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties. SECTION 5.102 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire. LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following: 1. Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962. 2. High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating od 9 oe 10 as regulated under 40 CFR Section 600 Subpart D. NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors. VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing. **Note:** Source: Vehicle Code, Division 1, Section 668 **ZEV.** Any vehicle certified to zero-emission standards. SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by

implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, a. Scheduling construction activity during dry weather, when possible.

b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined ditches to control stormwater flow.

d. Mulching or hydroseeding to stabilize disturbed soils.

Protection of storm drain inlets (gravel bags or catch basin inserts).

Perimeter sediment control (perimeter silt fence, fiber rolls). Sediment trap or sediment basin to retain sediment on site.

Stabilized construction exits. Wind erosion control.

Other soil loss BMPs acceptable to the enforcing agency. 2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges

and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:

a. Dewatering activities. b. Material handling and waste management.

c. Building materials stockpile management.

d. Management of washout areas (concrete, paints, stucco, etc.).

e. Control of vehicle/equipment fueling to contractor's staging area. f. Vehicle and equipment cleaning performed off site.

g Spill prevention and control. . Other housekeeping BMPs acceptable to the enforcing agency. 5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF **LAND.** Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency.

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack. **Exception:** Additions or alterations which add nine or less visitor vehicular parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a

5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:

1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. 5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed

with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.

1. On a case-by-case basis where the local enforcing agency has determined compliance with

this section is not feasible based upon one of the following conditions: a. Where there is no local utility power supply

b. Where the local utility is unable to supply adequate power.

c. Where there is evidence suitable to the local enforcement agency substantiating the local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. 2. Parking spaces accessible only by automated mechanical car parking systems are not

5.106.5.3.1 EV capable spaces.

required to comply with this code section

minimum of one bicycle parking facility

[N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following

1. Raceways complying with the California Electrical Code and no less that 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable and into a suitable listed cabinet, box,enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces.

2. A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt. 40-ampere minimum branch circuit for each EV capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS.

3. The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space.

4. The service panel or subpanel circuit directory shall identify the reserved overcurrent protective devices space(s) as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Note: A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 22511.2 for further details.

TABLE 5.106.5.3.1		
TOTAL NUMBER OF ACTUAL NUMBER OF REQUIRED EV CAPABLE SPACES		NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)^2
0-9	0	0
10-25	2	0
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20% of total ¹	25% of EV capable spaces ¹

1. Where there is insufficient electrical supply.

2. The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count towards the total number of required EV capable spaces shown in column 2.

5.106.5.3.2 Electric vehicle charging stations (EVCS)

EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 may be provided with EVSE in any combination of Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 EVSE shall be

One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the 5.106.5.3.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity 5.106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle

and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

5.106.5.3.4 Accessible EVCS. When EVSE is installed, accessible EVSC shall be provided in accordance with the California Building Code. Chapter 11B. Section 11B-228.3.

Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s). 5.106.5.4 Electric Vehicle (EV) charging: medium-duty and heavy-duty. [N]

Construction shall comply with section 5.106.5.4.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street loading spaces shall also comply with Section 5.106.5.4.1 for future installation of medium- and heavy-duty EVSE.

1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:

 Where there is no local utility power supply. b. Where the local utility is unable to supply adequate power. c. Where there is evidence suitable to the local enforcing agency substantiating that

additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.4.1 Electric vehicle charging readiness requirements for warehouse, grocery stores and retail stores

with planned off-street loading spaces. [N] In order to avoid future demolition when adding EV charging supply and distribution equipment, spare raceways(s) or busway(s) and adequate capacity for transformers(s), service panels(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include but are not limited to, the following:

1. The transformer, main service equipment and subpanel shall meet the minimum power requirement in Table 5.106.5.4.1 to accommodate the dedicated branch circuits for the future installation of FVSF.

2. The construction documents shall indicate on or more location(s) convenient to the planned offstreet loading space(s) reserved for medium-and heavy-duty ZEV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispenser(s) as shown in Table

3. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium-and heavy-duty EVSE will be located and shall terminate in close proximity to the potential future location of the charging equipments for medium- and heavy-duty

4. The raceway(s) or busway(s) shall be sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table

TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL POWER REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE [N]

BUILDING TYPE	BUILDING SIZE (SQ. FT.) NUMBER OF OFF-STREET LOADING SPACES		ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & BUSWAY AND TRANSFORMER & PANEL
	10,000 to 90,000	1 or 2	200
Grocery	10,000 to 90,000	3 or Greater	400
	Greater than 90,000	1 or Greater	400
	10,000 to 135,000	1 or 2	200
Retail	10,000 to 133,000	3 or Greater	400
	Greater than 135,000	1 or Greater	400
		1 or 2	200
Warehouse	20,000 to 256,000	3 or Greater	400
	Greater than 256,000	1 or Greater	400

5.106.8 LIGHT POLLUTION REDUCTION. [N]. I Outdoor lighting systems shall be designed and installed to comply

1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10,

Section 10-114 of the California Administrative Code; and 2. Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);

3. Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in

4. Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code

Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.

4. Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8

Alternate materials, designs and methods of construction. 5. Luminaires with less than 6,200 initial luminaire lumens.

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS 1,2					
ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTIN ZONE L
MAXIMUM ALLOWABLE BACKLIGHT RATING 3					
Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limi
Luminaire back hemisphere is 1-2 MH from property line	N/A	B2	В3	B4	B4
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	В3	В3
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	В0	В0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
For area lighting 3	N/A	U0	U0	U0	U0
For all other outdoor lighting,including decorative luminaires	N/A	U1	U2	U3	UR

				OWNER	, CONTRACTOR, INSPE	ECTOR ETC.)
Ŋ.	MAXIMUM ALLOWABLE GLARE RATING 5 (G)					
	MAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G1	G2	G3	G4
l	MAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G0	G1	G1	G2
I	MAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G0	G0	G1	G1
	MAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G0	G0	G0	G1

. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the *California Energy* Code and Chapter 10 of the Callifornia Administrative Code.

2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this

3. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaries located in these areas shall meet *U*-value limits for "all other outdoor lighting"

5.106.8.1 Facing- Backlight

Luminaries within 2MH of a property line shall be oriented so that the nearest property line is behind the fixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to

the nearest point of that property line. Exception: Corners. If two property lines (or two segments of the same property line) have equidistant point to the luminaire, then the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall still use the distance to the nearest points(s) on the property lines to determine the required backlight rating.

5.106.8.2 Facing-Glare.

For luminaires covered by 5.106.8.1, if a property line also exists within or extends into the front hemisphere within 2MH of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front

1.See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.

2.Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B. 3. Refer to the California Building Code for requirements for additions and alterations.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

2. Water collection and disposal systems.

French drains

4. Water retention gardens.

5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. **Exception:** Additions and alterations not altering the drainage path.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.

Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing

materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in 5.106.12.2 Landscape areas. Shade tress plantings, minimum #10 container size or equal shall be installed to

provide shade of 20% of the landscape area within 15 years. **Exceptions:** Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

1. Walks, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing

materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu 2. Designated and marked play areas of organized sport activity are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL

5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors

SECTION 5.302 DEFINITIONS

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference) EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to

the amount of water that needs to be applied to the landscape. FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.

reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which ae two major influences on

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that

has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5. POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the

U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water

reated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. [HCD 1] A secondary device beyond a meter that measures water consumption of an individual rental unit within a multiunit residential structure or mixed-use residential and commercial structure. (See Civic Code Section 1954.202 (g) and Water code Section 517 for additional details.)

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).



→ 1" ACTUAL →

IF THE ABOVE DIMENSION DOES NO MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

REVISIONS

01/15/2025 RS, BE

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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE

efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of

5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource

echniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

EFFICIENCY

SECTION 5.401 GENERAL

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

OWNER, CONTRACTOR, INSPECTOR ETC.) 5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet **SECTION 5.303 INDOOR WATER USE 5.410.4.4 Reporting.** After completion of testing, adjusting and balancing, provide a final report of testing and over, building commissioning shall be included in the design and construction processes of the building project to **5.303.1 METERS.** Separate submeters or metering devices shall be installed for the uses described in Sections signed by the individual responsible for performing these services. verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of **5.410.4.5 Operation and maintenance (O & M) manual.** Provide the building owner or representative with **SECTION 5.402 DEFINITIONS** comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and **5.303.1.1 Buildings in excess of 50,000 square feet.** Separate submeters shall be installed as follows: detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O & M **5.402.1 DEFINITIONS.** The following terms are defined in Chapter 2 (and are included here for reference) -occupancies that are not regulated y the California Energy Code Section 100.0 Scope, all requirements in Sections instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related 5.410.2 through 5.410.2.6 shall apply. 1. For each individual leased, rented or other tenant space within the building projected to consume ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. **5.410.4.5.1 Inspections and reports.** Include a copy of all inspection verifications and reports required ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, following subsystems: according to design quantities Commissioning requirements shall include: a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s). **DIVISION 5.5 ENVIRONMENTAL QUALITY** b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW). 1. Owner's or Owner representative's project requirements. process, including verifying and documenting that building systems and components are planned, designed, installed **SECTION 5.501 GENERAL** Basis of design. tested, operated and maintained to meet the owner's project requirements. **5.501.1 SCOPE.** The provisions of this chapter shall outline means of reducing the quantity of air contaminants that **5.303.1.2 Excess consumption.** A separate submeter or metering device shall be provided for any tenant 3. Commissioning measures shown in the construction documents. are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. within a new building or within an addition that is projected to consume more than 1,000 gal/day. ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food 4. Commissioning plan. Functional performance testing. soiled paper waste that is mixed in with food waste. SECTION 5.502 DEFINITIONS Documentation and training. 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and **5.502.1 DEFINITIONS.** The following terms are defined in Chapter 2 (and are included here for reference) **TEST.** A procedure to determine quantitative performance of a system or equipment Commissioning report. urinals) and fittings (faucets and showerheads) shall comply with the following: **ARTERIAL HIGHWAY.** A general term denoting a highway primarily for through traffic usually on a continuous route. SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT **5.303.3.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local Specification for Tank-Type toilets. using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within adjustments have been made. unconditioned warehouses Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of 5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. two reduced flushes and one full flush. **1 BTU/HOUR.** British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures. the amount of heat required to melt a ton (2,000 pounds) of ice at 32⁰ Fahrenheit. Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not 5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed **5.407.2.2 Entries and openings**. Design exterior entries and/or openings subject to foot traffic or wind-driven provide heating and or air conditioning. COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), rain to prevent water intrusion into buildings as follows: except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm Informational Notes: 5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn. 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water not exceed 0.5 gallons per flush. intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium such openings plus at least one of the following: commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for 5.303.3.3 Showerheads. [BSC-CG] density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional **5.303.3.3.1 Single showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or 1. An installed awning at least 4 feet in depth. performance tests or to adjust and balance systems. gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a). 2. The door is protected by a roof overhang at least 4 feet in depth. WaterSense Specification for Showerheads. 3. The door is recessed at least 4 feet. 2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls Note: See CCR, Title 17, Section 93120.1. 4. Other methods which provide equivalent protection must be performed in compliance with the California Energy Code. **5.303.3.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a **5.407.2.2.2 Flashing.** Install flashings integrated with a drainage plane. single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and allow only one shower outlet to be in operation at a time. requirements of the building appropriate to its phase shall be documented before the design phase of the **Note:** A hand-held shower shall be considered a showerhead DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, project begins. This documentation shall include the following: SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND sound power, sound intensity) with respect to a reference quantity. Environmental and sustainability goals. RECYCLING . Building sustainable goals. **ELECTRIC VEHICLE (EV).** An automotive-type vehicle for on-road use, such as passenger automobiles, buses, 5.303.3.4 Faucets and fountains. . Indoor environmental quality requirements. **5.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65% of the trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor 4. Project program, including facility functions and hours of operation, and need for after hours non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. **5.303.3.4.1 Nonresidential Lavatory faucets.** Lavatory faucets shall have a maximum flow rate of not meet a local construction and demolition waste management ordinance, whichever is more stringent. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, more than 0.5 gallons per minute at 60 psi. off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground 6. Building occupant and operation and maintenance (O&M) personnel expectations. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and **5.303.3.4.2 Kitchen faucets.** Kitchen faucets shall have a maximum flow rate of not more than 1.8 support equipment, tractors, boats, and the like, are not included. demolition waste management ordinance, submit a construction waste management plan that: gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles. the OPR shall be completed at the design phase of the building project. The Basis of Design document shall 1. Identifies the construction and demolition waste materials to be diverted from disposal by efficient cover the following systems: usage, recycling, reuse on the project or salvage for future use or sale. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and Determines if construction and demolition waste materials will be sorted on-site (source-separated) of equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, **5.303.3.4.3 Wash fountains.** Wash fountains shall have a maximum flow rate of not more than 1.8 Renewable energy systems. power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring gallons per minute/20 [rim space (inches) at 60 psi]. Landscape irrigation systems. Identifies diversion facilities where construction and demolition waste material collected will be taken Water reuse system. 4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated **5.303.3.4.4 Metering faucets.** Metering faucets shall not deliver more than 0.20 gallons per cycle. by weight or volume, but not by both. ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as **5.410.2.3 Commissioning plan. [N]** Prior to permit issuance a commissioning plan shall be completed to 5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a the fluctuating noise level integrated over the time of period of interest. document how the project will be commissioned. The commissioning plan shall include the following: **5.408.1.2 Waste Management Company.** Utilize a waste management company that can provide verifiable maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi]. General project information. documentation that the percentage of construction and demolition waste material diverted from the landfill **EXPRESSWAY.** An arterial highway for through traffic which may have partial control of access, but which may or may Commissioning goals. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve not be divided or have grade separations at intersections. . Systems to be commissioned. Plans to test systems and components shall include: a. An explanation of the original design intent. Note: The owner or contractor shall make the determination if the construction and demolition waste material **FREEWAY.** A divided arterial highway with full control of access and with grade separations at intersections. b. Equipment and systems to be tested, including the extent of tests. will be diverted by a waste management company. 5.303.3.4.6 Pre-rinse spray value GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse When installed shall meet the requirements in the California Code of Regulations. Title 20 (Appliance Conditions under which the test shall be performed **Exceptions to Sections 5.408.1.1 and 5.408.1.2:** gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference Efficiency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 e. Measurable criteria for acceptable performance. compound with a GWP of one. (d)(7), and shall be equipped with an integral automatic shutoff. 4. Commissioning team information Excavated soil and land-clearing debris. 5. Commissioning process activities, schedules and responsibilities. Plans for the completion of 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the FOR REFERENCE ONLY: The following table and code section have been reprinted from the California commissioning shall be included. facilities capable of compliance with this item do not exist Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities 5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14. installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing 5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does TABLE H-2 HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a each of the building components tested, the testing methods utilized, and include any readings and adjustments not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requiremen hdrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a as approved by the enforcing agency. GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 **5.408.1.4 Documentation.** Documentation shall be provided to the enforcing agency which demonstrates 5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, necessary and shall be accessible during construction for examination by the enforcing agency. Title 8, Section 5142, and other related regulations. with a radius 1.5 times the pipe diameter. MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] **LOW-GWP REFRIGERANT.** A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than **5.410.2.5.1 Systems manual. [N]** Documentation of the operational aspects of the building shall be Product Class 1 (≤ 5.0 ozf) 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, completed within the systems manual and delivered to the building owner or representative. The 1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" sec.82.3 (as amended March 10, 2009). Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 systems manual shall include the following: located www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-1. Site information, including facility description, history and current requirements. Resources-List-Folder/CALGreen may be used to assist in documenting compliance with the waste MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2–1999. Product Class 3 (> 8.0 ozf) 1.28 2. Site contact information. 3. Basic operations and maintenance, including general site operating procedures, basic Mixed construction and demolition debris processors can be located at the California Department of MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a 5.303.4 COMMERCIAL KITCHEN EQUIPMENT troubleshooting, recommended maintenance requirements, site events log. Resources Recycling and Recovery (CalRecycle). compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to Major systems. hundreths of a gram (g O³/g ROC). **5.303.4.1 Food Waste Disposers.** Disposers shall either modulate the use of water to no more than 1 gpm **5.408.2 UNIVERSAL WASTE. [A]** Additions and alterations to a building or tenant space that meet the scoping 5. Site equipment inventory and maintenance notes. when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no 6. A copy of verifications required by the enforcing agency or this code. provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited 7. Other resources and documentation, if applicable. article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of Note: This code section does not affect local jurisdiction authority to prohibit or require disposer Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste product (excluding container and packaging). materials shall be included in the construction documents. **5.410.2.5.2 Systems operations training. [N]** A program for training of the appropriate maintenance **PSIG.** Pounds per square inch, guage. **5.303.5 AREAS OF ADDITION OR ALTERATION**. For those occupancies within the authority of the California staff for each equipment type and/or system shall be developed and documented in the commissioning Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/universalwaste/ Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply report and shall include the following: **REACTIVE ORGANIC COMPOUND (ROC).** Any compound that has the potential, once emitted, to contribute to to new fixtures in additions or areas of alteration to the building. 1. System/equipment overview (what it is, what it does and with what other systems and/or **5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS.** 100 percent of trees, stumps, rocks and associated ozone formation in the troposphere. equipment it interfaces) vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such 5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed 2. Review and demonstration of servicing/preventive maintenance. material may be stockpiled on site until the storage site is developed. SCHRADER ACCESS VALVES. Access fittings with a valve core installed. in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 3. Review of the information in the Systems Manual. of the California Plumbing Code and in Chapter 6 of this code. **Exception:** Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation. 4. Review of the record drawings on the system/equipment. SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter. **SECTION 5.304 OUTDOOR WATER USE** 5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the 5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water design and construction phases of the building project shall be completed and provided to the owner or 1. If contamination by disease or pest infestation is suspected, contact the County Agricultural or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected Efficient Landscape Ordinance (MWELO), whichever is more stringent. Commissioner and follow its direction for recycling or disposal of the material. to remote compressor units or condensing units. 2. For a map of know pest and/or disease quarantine zones, consult with the California Department of 5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of **VOC.** A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with Food and Agriculture. (www.cdfa.ca.gov) vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a) Title 23, Chapter 2.7, Division 2. alteration subject to Section 303.1. 2. MWELO and supporting documents, including a water budget calculator, are available at: Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition https://www.water.ca.gov/. 5.410.4.2 (Reserved) included in that specific regulation is the one that prevails for the specific measure in question. 5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including SECTION 5.503 FIREPLACES landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of **SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS** heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well 5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter **5.410.1 RECYCLING BY OCCUPANTS.** Provide readily accessible areas that serve the entire building and are as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)3 for additional testing requirements of specific shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35. Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. **5.503.1.1 Woodstoves.** Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance **Exception**: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the 5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified prescriptive measures contained in Appendix D of the MWELO. **Exception**: Rural jurisdictions that meet and apply for the exemption in Public Resources included for testing and adjusting shall include at a minimum, as applicable to the project: to meet the emission limits. Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section. **5.304.6.1** Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet. 1. Renewable energy systems. **5.410.1.1 Additions.** All additions conducted within a 12-month period under single or multiple permits, SECTION 5.504 POLLUTANT CONTROL resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. Landscape irrigation systems. 5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if **5.304.6.2 Rehabilitated landscapes.** Rehabilitated landscape projects with an aggregate Water reuse systems. necessary to condition the building or areas of addition or alteration within the required temperature range for landscape area equal to or greater than 1,200 square feet. **Exception**: Additions within a tenant space resulting in less than a 30% increase in the tenant space



→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NO MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

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material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.

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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE.

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3,

Division 30 of the *Public Resources Code*. Chapter 18 is known as the California Solid Waste Reuse and

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the

Recycling Access Act of 1991 (Act).

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's

Council National Standards or as approved by the enforcing agency.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning

system serving a building or space is operated for normal use, the system shall be balanced in

accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National

Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance

specifications and applicable standards on each system.

NOT APPLICABLE

→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NO MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

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5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where

applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such

products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds

aerosol products as specified in subsection 2, below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing

(chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for

Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER. THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF

Less Water and Less Exempt Compounds in Grams	s per Liter
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

COATING CATEGORY	CURRENT VOC LIMIT
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of

the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification 2. Field verification of on-site product containers

5.504.4.4 Carpet Systems.

All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." Version 1.2, January 2017 (Emission testing method for California

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, "Version 1.2, January 2017 (Emission testing method for California Specifications

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 e seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1 Product certifications and specifications.

Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.).

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the

Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S

5. Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS ₁				
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION				
PRODUCT	CURRENT LIMIT			
HARDWOOD PLYWOOD VENEER CORE	0.05			
HARDWOOD PLYWOOD COMPOSITE CORE	0.05			
PARTICLE BOARD	0.09			
MEDIUM DENSITY FIBERBOARD	0.11			
THIN MEDIUM DENSITY FIBERBOARD2 0.13				
VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN	· · · · · · · · · · · · · · · · · · ·			

ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

5.504.4.6 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits

Comply with the requirements of the California Department of Public Health, "Standard Method of the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, "Version 1.2, January 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.7.1 Verification of compliance. Documentation shall be provided verifying that thermal insulation materials meet the pollutant emission

5.504.4.8 Acoustical ceiling and wall panels. Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs.

5.504.4.8.1 Verification of compliance. Documentation shall be provided verifying that acoustical finish materials meet the pollutant emission limits

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions: Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking. prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building a already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

5.506.3 Carbon dioxide (CO2) monitoring in classrooms. (DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of the California Energy Code, shall be equipped with a carbon dioxide monitor or sensor that meets the following requirements:

The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 and 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor or

sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the carbon dioxide readings shall be available to and regularly monitored by facility personnel

A monitor shall provide notification though a visual indicator on the monitor when the carbon dioxide levels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have

The monitor or sensor shall measure carbon dioxide levels at minimum 15- minute intervals and shall maintain a

record of previous carbon dioxide measurements of not less than 30 days duration. The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxide

levels with a range of 400ppm to 2000ppm or greater. The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon dioxide concentration and shall be certified by the manufacturer to require calibration no more frequently than

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

1. Lan or CNEL for military airports shall be determined by the facility Air Installation Compatible

Land Use Zone (AICUZ) plan. 2. Ldn or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

2. Within the 65 CNEL or Ldn noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eg} - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record. 5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant

spaces and public places shall have an STC of at least 40. Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not **5.508.1.2 Halons.** Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the

value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in

refrigerant systems except as noted below. **5.508.2.1.1 Threaded pipe.** Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place. **5.508.2.2.2.1 Chain tethers.** Chain tethers to fit ovr the stem are required for valves

Exception: Valves with seal caps that are not removed from the valve during stem 5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and

salt shall have evaporator coils of corrosion-resistant material, such as stainless steel: or be coated to prevent **5.508.2.3.1 Coil coating.** Consideration shall be given to the heat transfer efficiency of coil coating to

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device tha indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and **5.508.2.5.1 Minimum pressure.** The system shall be charged with regulated dry nitrogen and

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30

with a maximum drift of 100 microns over a 24-hour period.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.

maximize energy efficiency.

2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.

Successful completion of a third party apprentice training program in the appropriate trade.

4. Other programs acceptable to the enforcing agency.

5. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

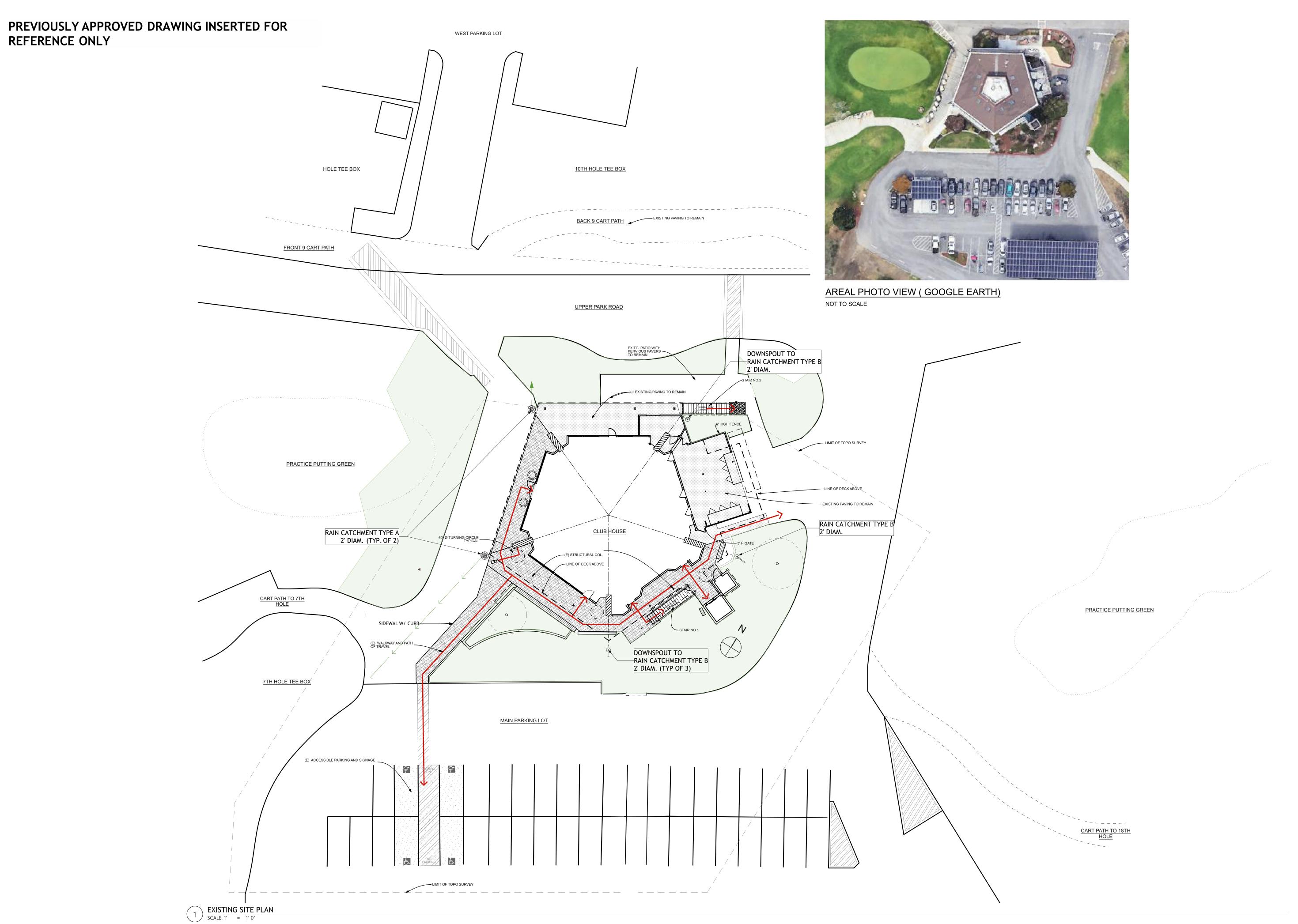
[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM). DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE CALIFORNIA GREEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE.



REFERENCE ONLY





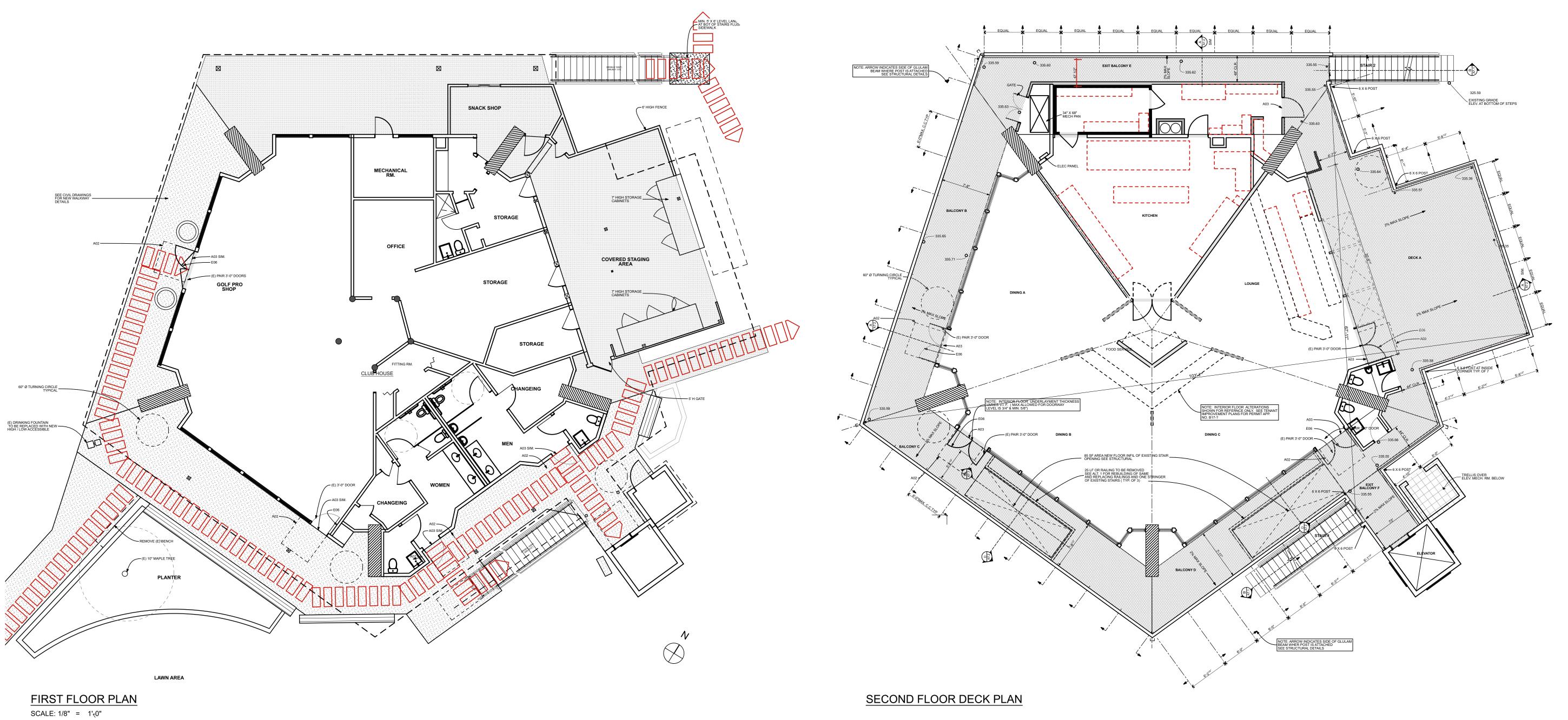
→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY REVISIONS

01/15/2025 AS NOTED 24-13

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PREVIOUSLY APPROVED DRAWING INSERTED FOR REFERENCE ONLY







CITY OF SANTA CRUZ
3: 401 UPPER PARK RD, SANTA CRUZ, CA
95060
4: 009-47-101

PERMIT SHALL NOT BE
CONSTRUED AS A GUARANTEE
THAT ALL CODE REQUIREMENTS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THE PROJECT
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT THE FINISHED PRODUCT
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

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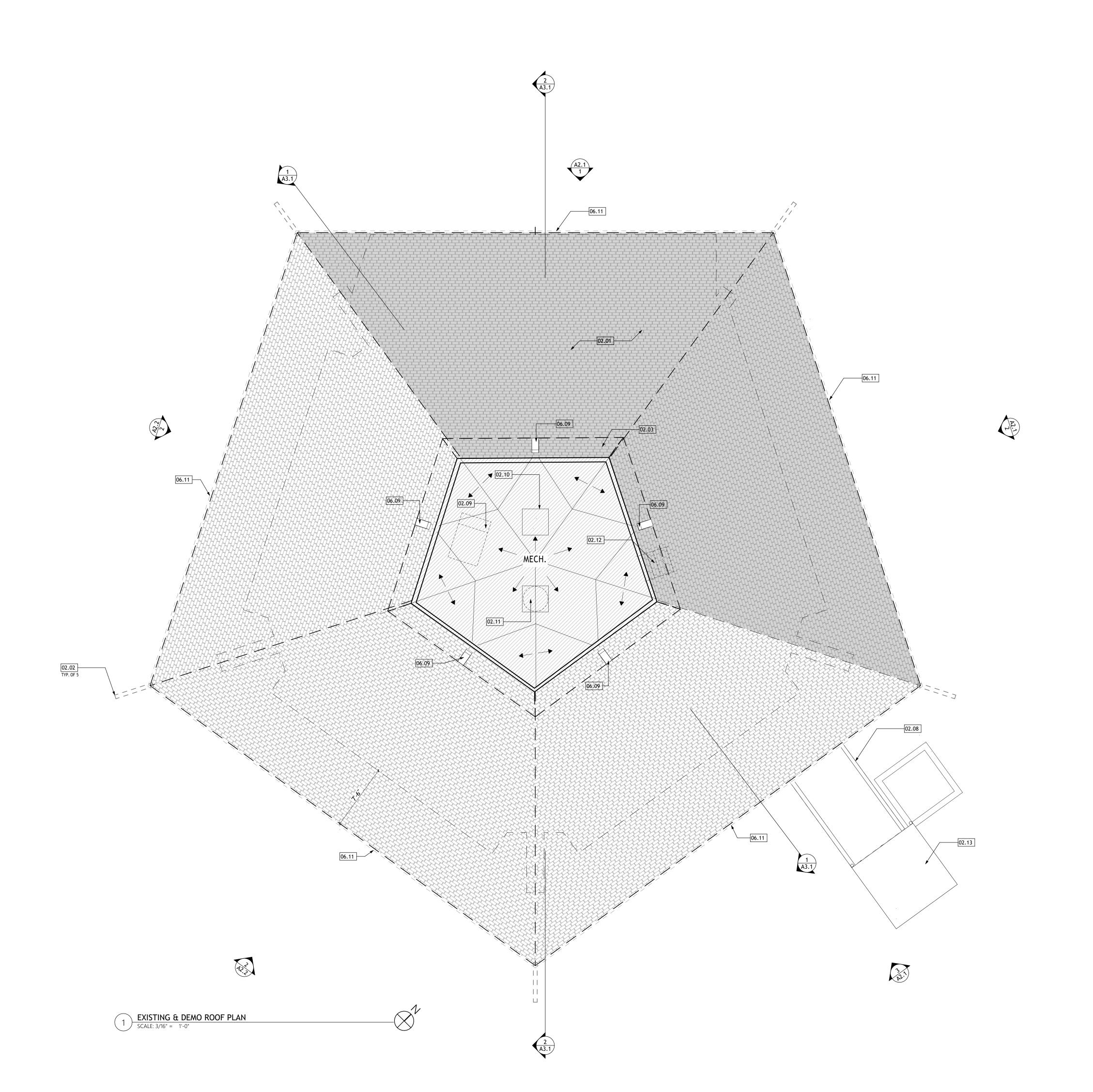
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EXIST-DEMO ROOF PLAN KEYNOTES

- 02.02 SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)
- 02.03 REMOVE (E) METAL PARAPET COPING. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF NEW COPING)
- 02.08 (E) FIRE RATED AWNING, REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (COORDINATE WITH AWNING CONTRACTOR FOR N.I.C. AWNING REPLACEMENT)
- 02.09 (E) ROOF TOP AIR HANDLING EQUIP TO REMAIN.

02.10 (E) ROOF HATCH DOOR TO REMAIN.

02.11 (E) TO REMAIN.

02.12 (E) ROOF ACCESS LADDER & RAILINGS TO REMAIN, PAINT TO MATCH ROOF COLOR.

COMPOSITION TO EXPOSE (E) ROOF DECK SUBSTRATE. REMOVE COPING AND FLASHING AS 02.13

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EXISTING ELEVATORTOWER ROOF - REMOVE (E) BUILT UP ROOFING MEMBRANES,

- EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING
 06.09 (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH
- REMOVE PORTIONS OF 2 1/2" T & G ROOF DECKING, PLYWOOD AND BLOCKING AS NECESSARY TO RESTORE ROOF EDGE TO RECEIVE NEW ROOFING, FLASHING, GUTTERS AND O6.11 STRUCTURAL ELEMENTS AS SHOWN ON SHEET A5. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVAL AND REPLACEMENT TO RECEIVE NEW FRAMING ELEMENTS. SEE SPECIFICATIONS FOR SELECTIVE DEMOLITION AND UNIT COSTS REQUIREMENT FOR REPLACEMENT OF ELEMENTS DEEMED DAMAGED AFTER EXPOSED FOR INSPECTION.





ROOF PLAN LEGEND

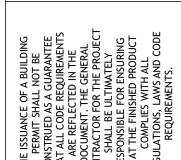
EXTERIOR WALL OF BUILDING BELOW

(E) ROOF AREA TO REMAIN

(E) ROOF AREA TO BE REMOVED

(N) ROOF AREA





→1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED,

AFFECTING ALL LABELED SCALES.

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT PORTIONS OF THE (E) STRUCTURE TO REMAIN
 CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK

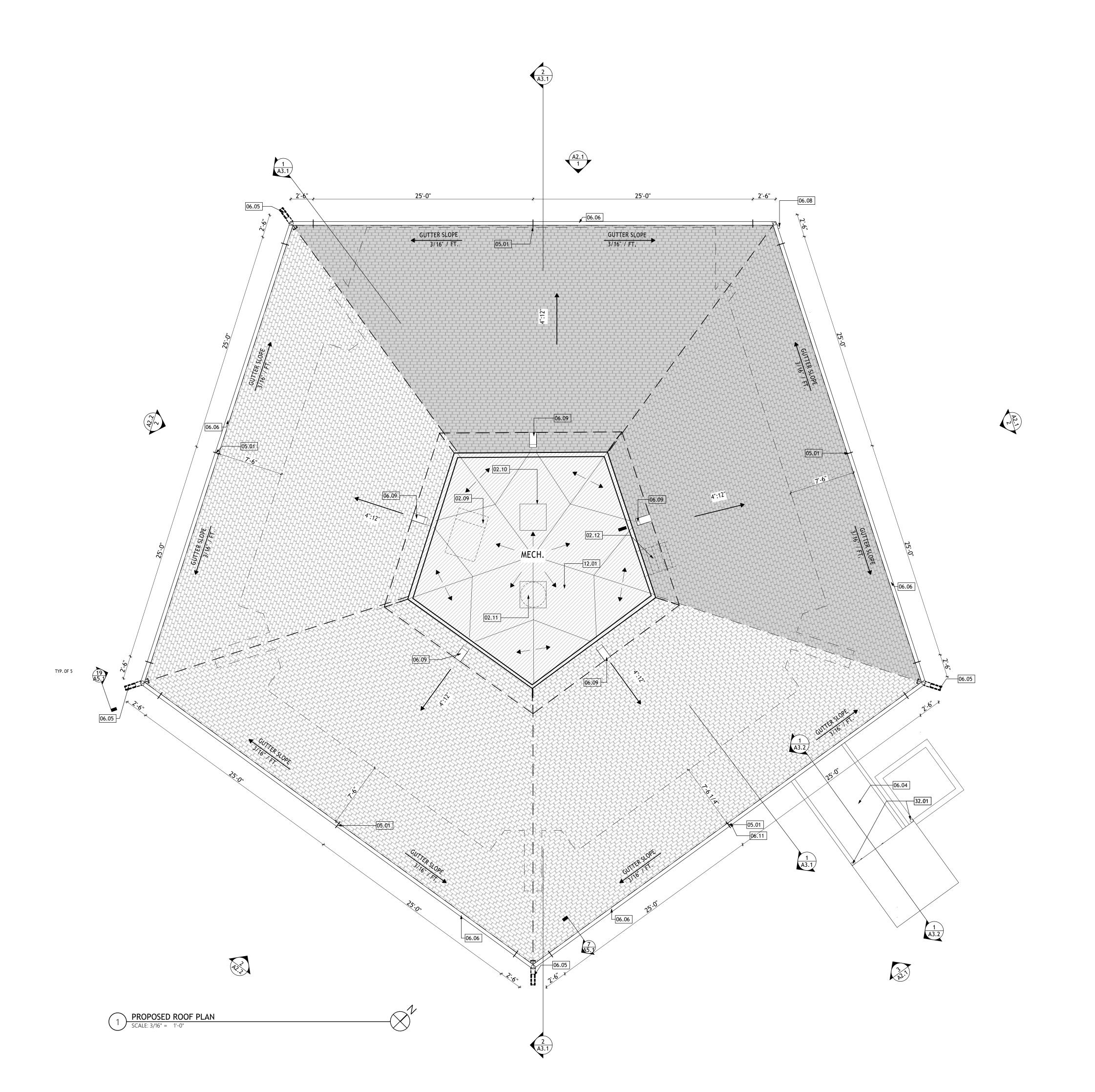
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- 3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY AND SAFETY OF
- ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT, RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
 RECYCLE AND/ OR SALVAGEFOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE, PER CALIFORNIA GREEN BUILDING CODE.
 DOCUMENTATION DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS ON THE HOLD SEAR SEASON OF ELEMENTS, INCLUDING ASBESTOS AND PCBS. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELYAND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.
 SEE GENERAL NOTES ON GO.1 FOR ADDITIONAL INFORMATION
 DURING CONSTRUCTION, SITE OR AREA MUST BE CLEANED UP AT THE END OF THE DAY IN ORDER TO PROVIDE FIREFIGHTER ACCESS IN THE BUILDING IN THE EVENT OF A FIRE
 COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDING. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT WORK PER 2022 CFC SECTION 3304.2
 MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OILY RAGS, SHALL BE STORED IN A LISTED DISPOSABLE CONTAINER PER 2022 CFC SECTION 3304.2.4

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PROPOSED ROOF PLAN KEYNOTES

02.09 (E) ROOF TOP AIR HANDLING EQUIP TO REMAIN.

02.10 (E) ROOF HATCH DOOR TO REMAIN.

02.11 (E) TO REMAIN.

02.12 (E) ROOF ACCESS LADDER & RAILINGS TO REMAIN, PAINT TO MATCH ROOF COLOR.

05.01 THERMAL EXPANSION JOINT @ CENTER LINE OF GUTTER LENGTH

06.04 (E) FIRE RATED AWNING, REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (REPLACEMENT N.I.C.)

06.05 LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM

06.08 (N) 3" DOWNSPOUT PIPE ATTACHED TO FACIA AND FIRST FLOOR WALL

06.06 (N) 5"X6" BOX GUTTER W/ROOF STRAPS @3'-0" C.C. MAX

EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING 06.09 (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH

12.01 RECOAT MEMBRANE ROOFING & SCUPPER INLETS (TYP. OF 5)

32.01 GUTTER & DS FOR AWNING ROOF BY OTHERS (SEE DEMO NOTES)



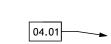


ROOF PLAN LEGEND

EXTERIOR WALL OF BUILDING BELOW

(E) ROOF AREA TO REMAIN

(E) ROOF AREA TO BE REMOVED



(N) ROOF AREA

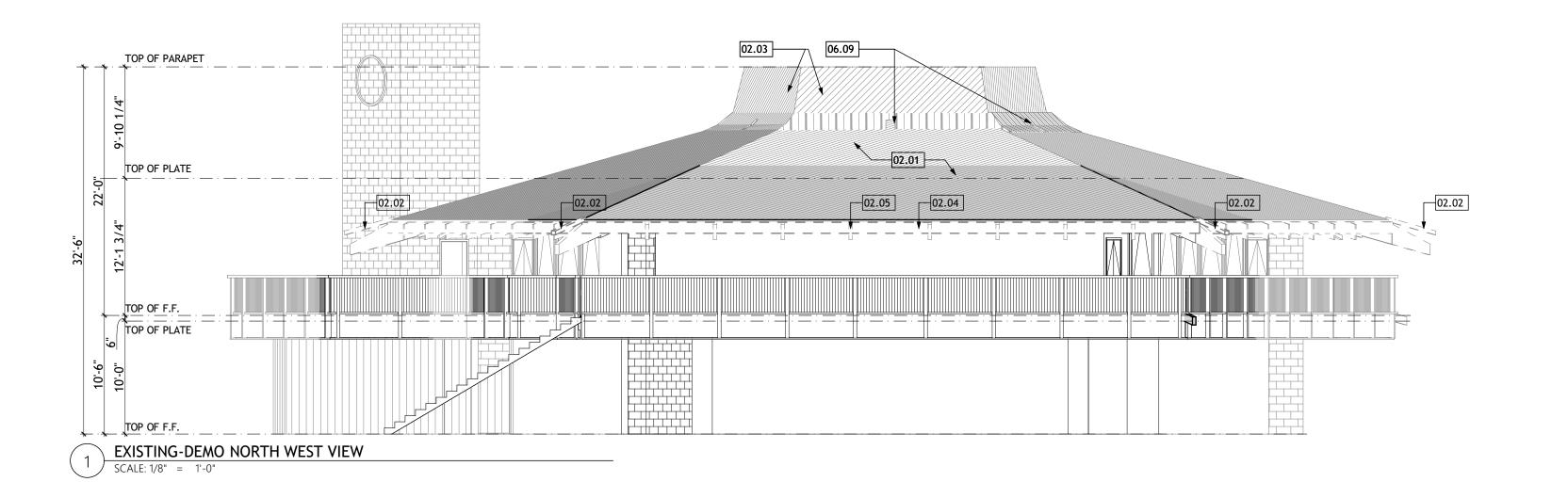
→1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

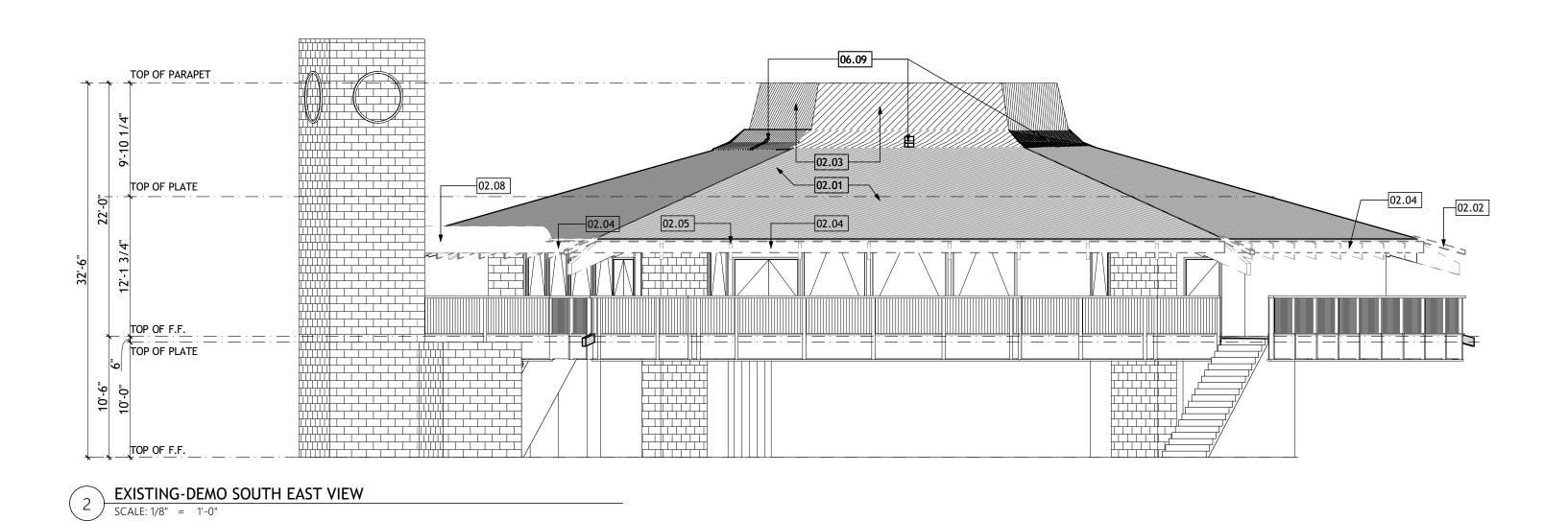
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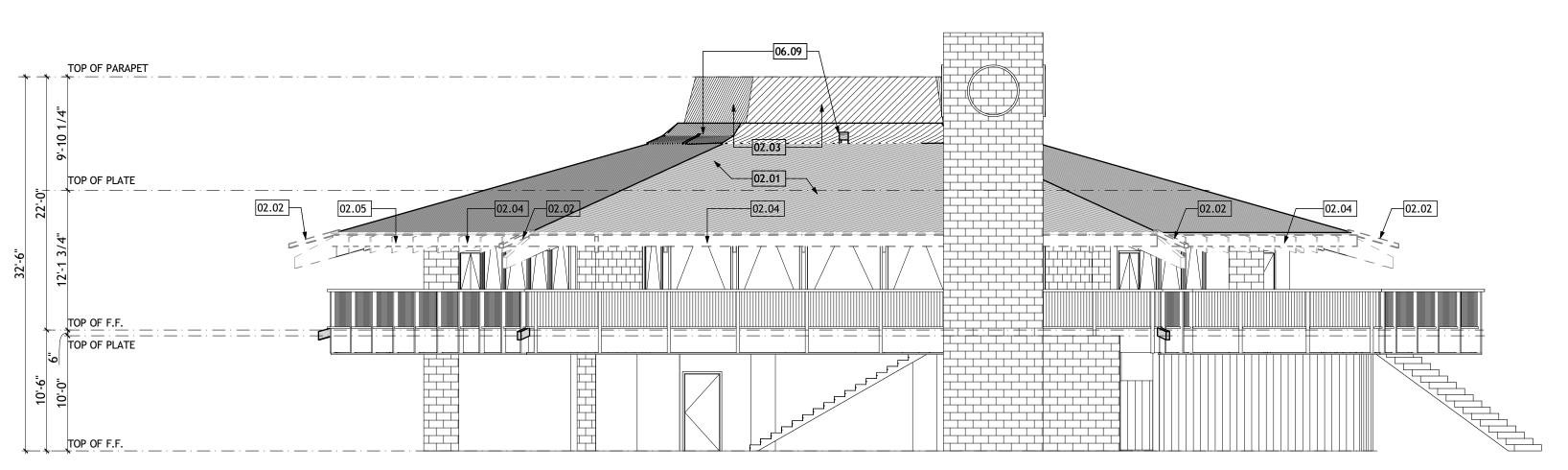
GENERAL NOTES

- 1. EXISTING CONDITIONS TO REMAIN U.N.O.
 2. SEE CONSULTANT DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION.
 ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES. 3. REF G0.1 FOR MORE INFORMATION
- ALL GOLLTON MORE INFORMATION
 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT, RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
- 6. DOCUMENTATION DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING ASBESTOS AND PCBS. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIA ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELYAND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.
- DURING CONSTRUCTION, SITE OR AREA MUST BE CLEANED UP AT THE END OF THE DAY IN ORDER PROVIDE FIREFIGHTER ACCESS IN THE BUILDING IN THE EVENT OF A FIRE 8. COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDING. COMBUSTIBLE DEBRIS RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT WORK PER CFC SECTION 3305.2
- MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OILY RAGS, SHALL BE STORED IN A LISTED DISPOSABLE CONTAINER PER CFC SECTION 3305.2.4
 REFER TO ENERGY REPORT FOR MORE INFORMATION REGARDING INSPECTION AND VERIFICATION
- REQUIREMENTS.
- 11. ALL PENETRATIONS PROTRUDING THROUGH THE EXTERIOR WALLS TO HAVE QUICK FLASHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

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3 EXISTING-DEMO EAST ELEVATION

SCALE: 1/8" = 1'-0"

EXIST-DEMO ELEVATION KEYNOTES

- 02.01 DEMO (E) COMPOSITION SHINGLE ROOFING & WATER DAMAGED PLYWOOD UNDERLAYMENT TO BE REMOVED.
- 02.02 SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)
- 02.03 REMOVE (E) METAL PARAPET COPING. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF NEW COPING)
- 02.04 (E) BEAM TO BE REMOVED, REF. STRUCTURAL.
- 02.05 PORTION OF RAFTER TO BE REMOVED SEE DETAIL A5.1/7, TYP.
- 02.08 (E) FIRE RATED AWNING, REMOVE AS REQUIRED TO MAKE ROOF MODIFICATIONS. (COORDINATE WITH AWNING CONTRACTOR FOR N.I.C. AWNING REPLACEMENT)
- EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING

 (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.

PLAN > DESIGN > 509 Seabright Ave. 2B • Santa Cru



ELEVATION LEGEND

02.01 ► KEYNOTE

CITY OF SANTA CRUZ	401 UPPER PARK RD, SANTA CRUZ, 0

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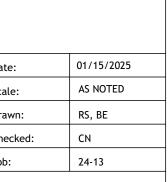
GENERAL NOTES

1. EXISTING CONDITIONS TO REMAIN U.N.O.
2. GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
3. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH SIDING TO MATCH EXISTING ADJACENT CONDITIONS.

THE ISSUANCE OF A BUILDING
PERMIT SHALL NOT BE
CONSTRUED AS A GLARANTEE
THAT ALL CODE REQUIREMENT'S
ARE REFLECTED IN THE
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CONTRACTOR FOR THE PROJEC
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT THE FINISHED PRODUCT
COMPLIES WITH ALL
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODI

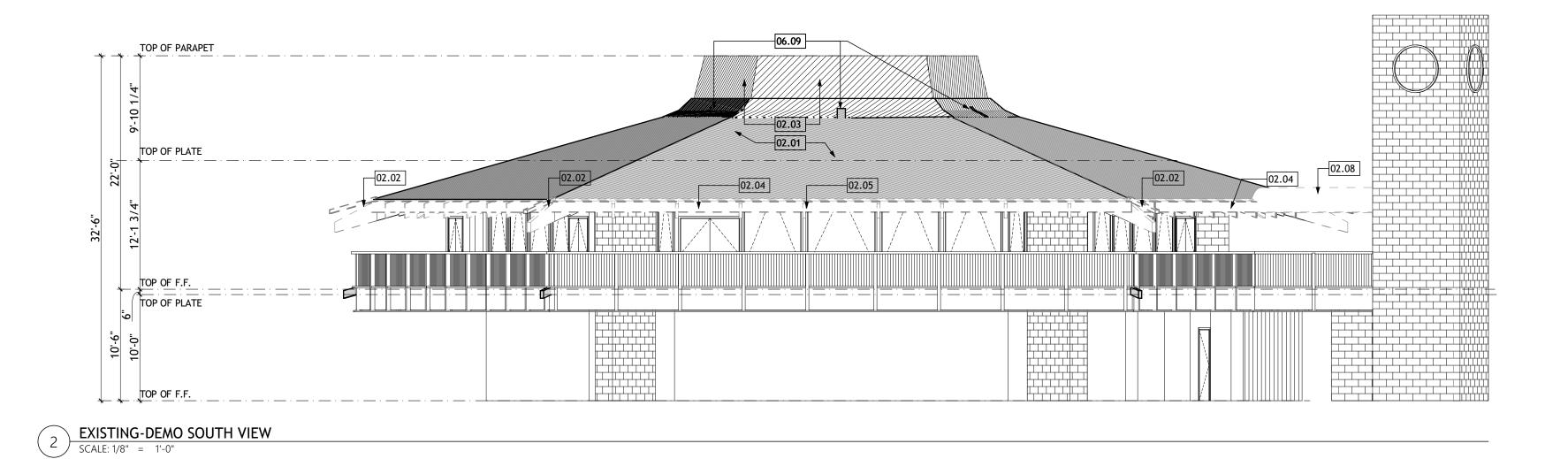
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

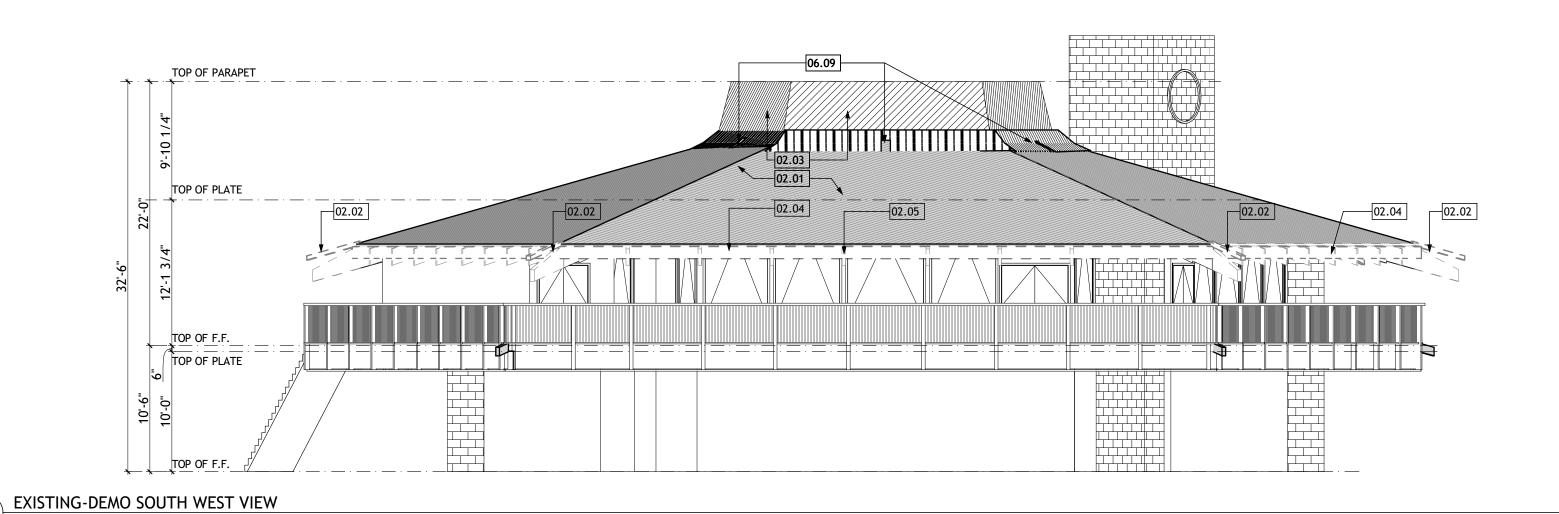
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2 SCALE: 1/8" = 1'-0"

EXIST-DEMO ELEVATION KEYNOTES

02.02 SECTION OF GLULAM BEAM AND METAL SCUPPER TO BE REMOVED, TYP. (SEE DETAIL 7 & 21/A5.1 FOR FINAL CONFIGURATION OF EXISTING MEMBERS)

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EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING

(CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.





ELEVATION LEGEND

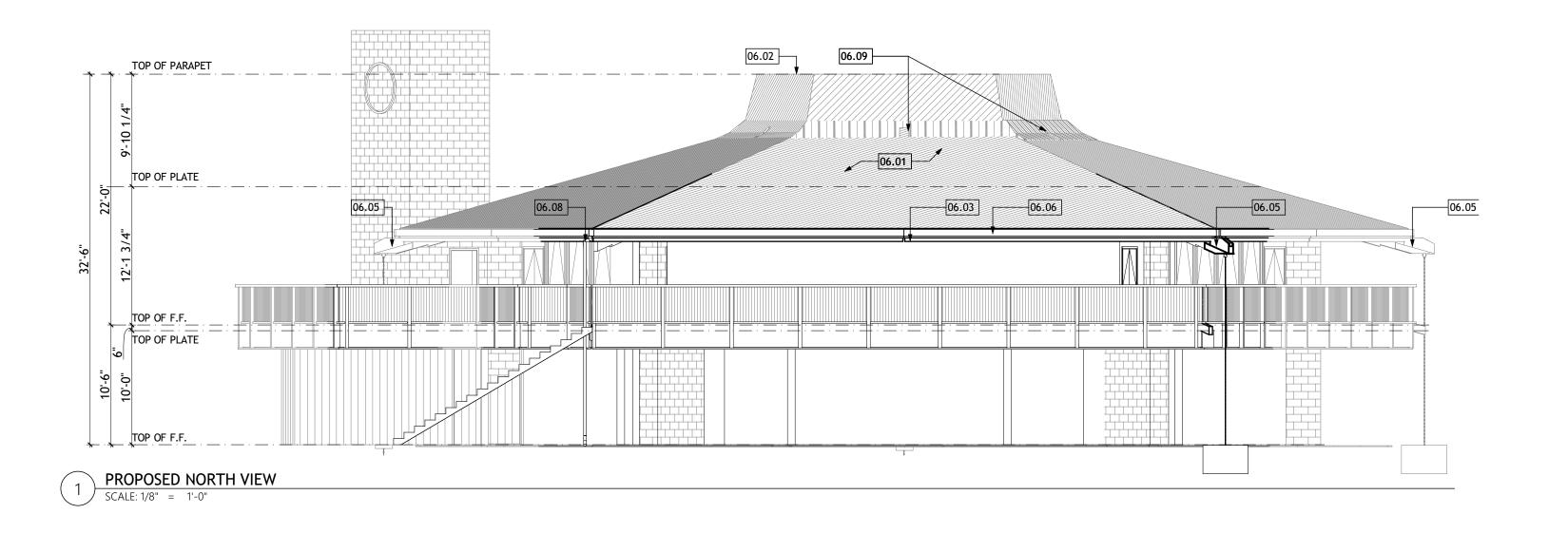
GENERAL NOTES

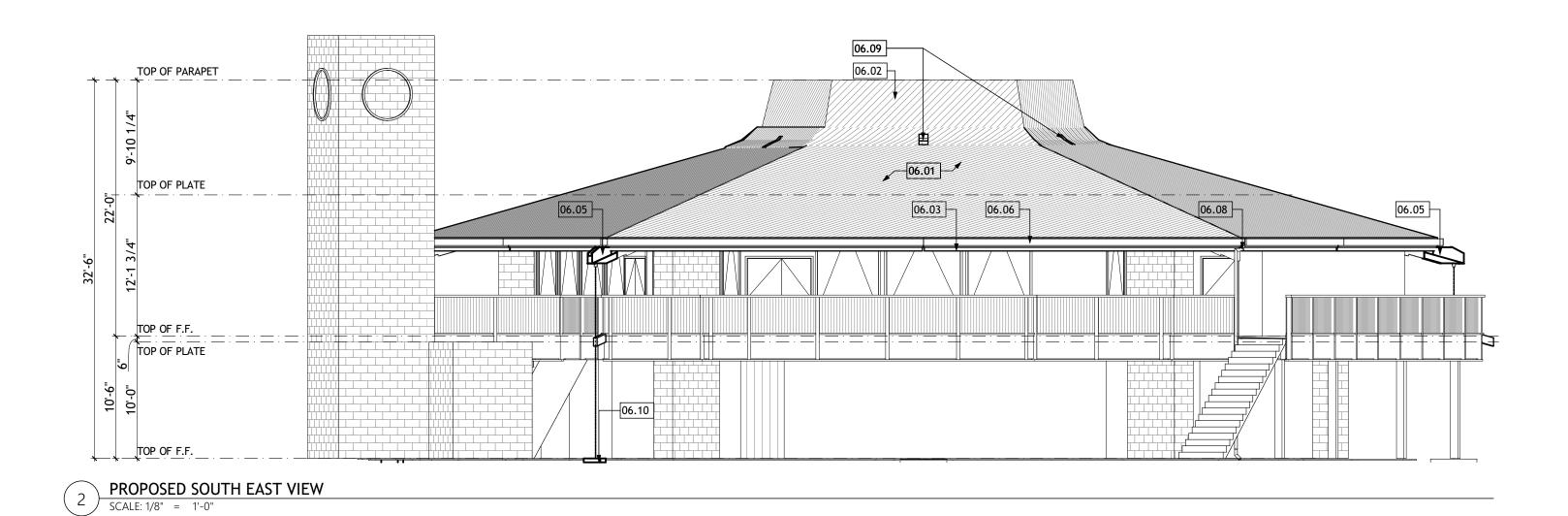
1. EXISTING CONDITIONS TO REMAIN U.N.O.
2. GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH 3. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH SIDING TO MATCH EXISTING ADJACENT CONDITIONS.

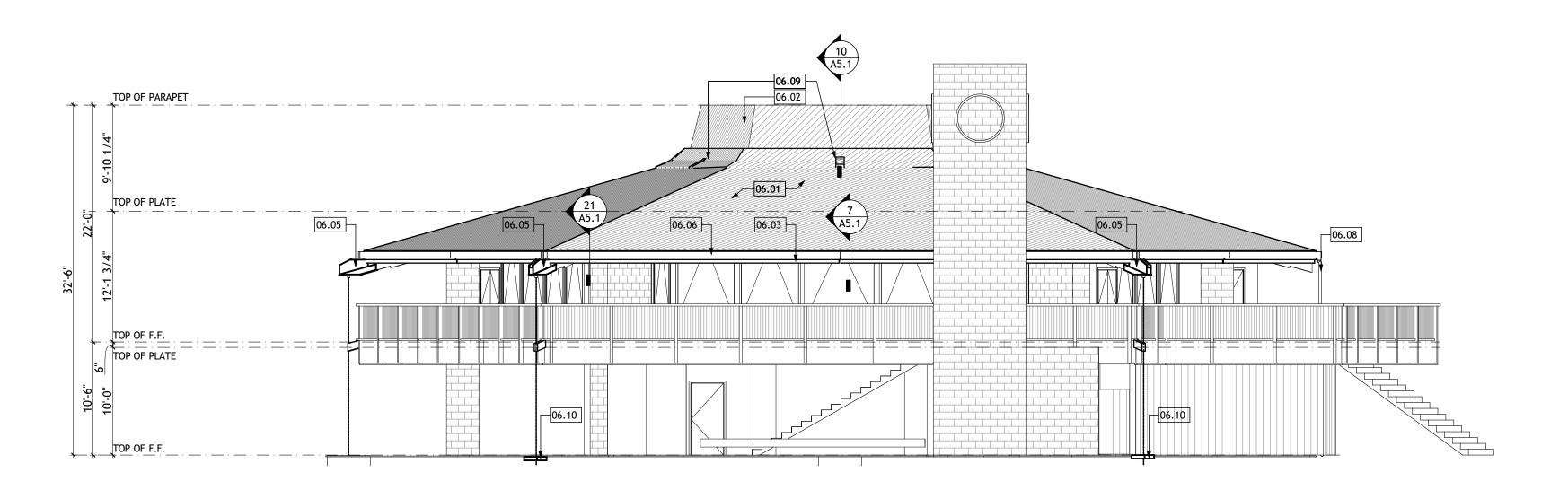
→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

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PROPOSED ELEVATION KEYNOTES

06.01 (N) ROOFING & SHEATING (UNDERLAYMENT AS REQUIRED)

06.02 (N) SHEET METAL PARAPET COPING TYP. SEE DETAIL A5.1/11

06.03 (N) FACIA BEAM, TRIM & G.I. GUTTER SEE DETAIL A5.1/7

06.05 LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM

06.06 (N) 5"X6" BOX GUTTER W/ROOF STRAPS @3'-0" C.C. MAX

06.08 (N) 3" DOWNSPOUT PIPE ATTACHED TO FACIA AND FIRST FLOOR WALL

EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING

06.09 (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH ROOF COLOR.

06.10 (N) SPLASH BLOCK INTO (E) ROCK PILE IN LANDSCAPING





ELEVATION LEGEND

02.01 ► KEYNOTE

GENERAL NOTES

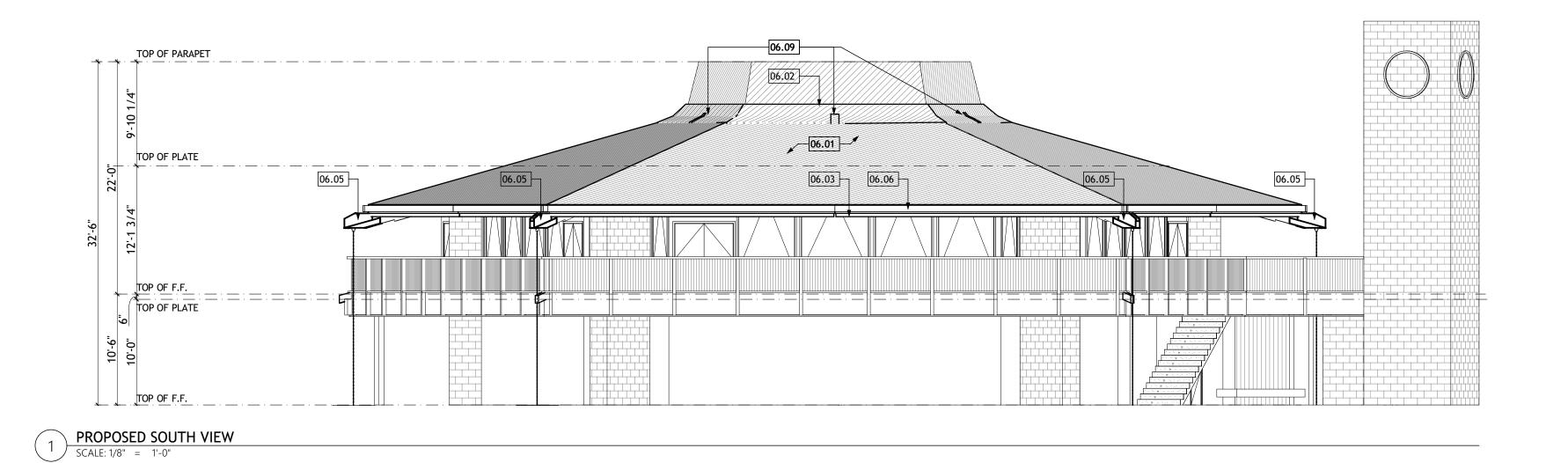
1. EXISTING CONDITIONS TO REMAIN U.N.O.
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3. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
4. CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

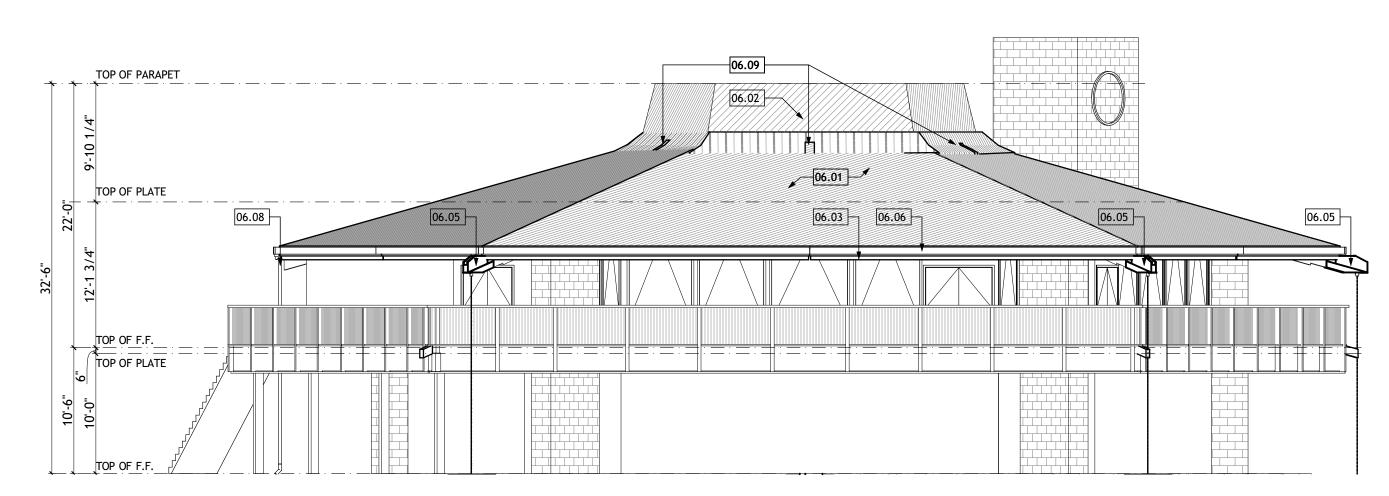
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PROPOSED SOUTH WEST VIEW

SCALE: 1/8" = 1'-0"

PROPOSED ELEVATION KEYNOTES

06.01 (N) ROOFING & SHEATING (UNDERLAYMENT AS REQUIRED)

06.02 (N) SHEET METAL PARAPET COPING TYP. SEE DETAIL A5.1/11

06.03 (N) FACIA BEAM, TRIM & G.I. GUTTER SEE DETAIL A5.1/7

06.05 LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM

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EXISTING THRU WALL SCUPPER FLASHING AND SHINGLE SLOPE CHANGE FLASHING
06.09 (CONTINUOUS) TO REMAIN. REPLACE PERFORATED OR DAMAGED AND REPAINT TO MATCH
ROOF COLOR.

06.10 (N) SPLASH BLOCK INTO (E) ROCK PILE IN LANDSCAPING





ELEVATION LEGEND

02.01 ► KEYNOTE

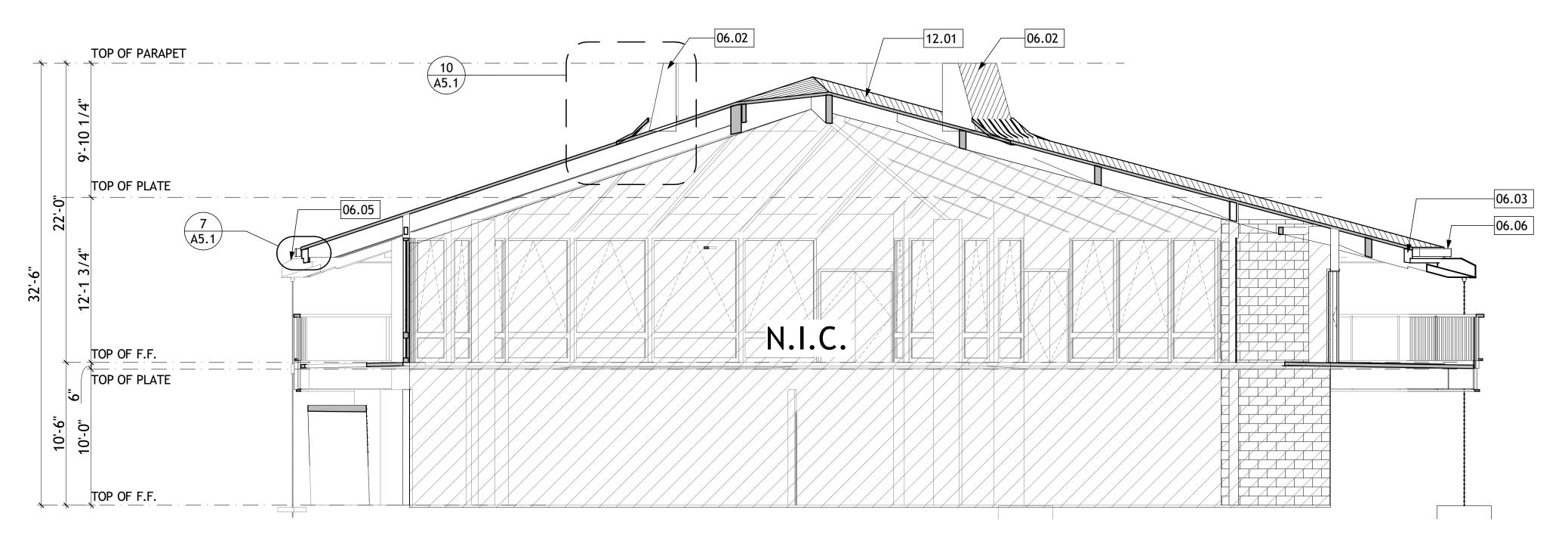
GENERAL NOTES

1. EXISTING CONDITIONS TO REMAIN U.N.O.
2. GC TO MATCH EXISTING MATERIALS AT AREAS OF PATCHING. FINISH FINISH & COLOR REF: FINISH SCHEDULE
3. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT ON REMOVING EXTRANEOUS ITEMS FROM THE EXTERIOR WALLS SUCH AS UNUSED CONDUIT, PIPING, UTILITY BOXES, PLYWOOD PANELS, ETC. CONTRACTOR TO PATCH SIDING TO MATCH EXISTING ADJACENT CONDITIONS.
4. CONTRACTOR TO PAINT UTILITY BOXES, CONDUIT, PIPING, AND VENTS TO MATCH ADJACENT WALL.

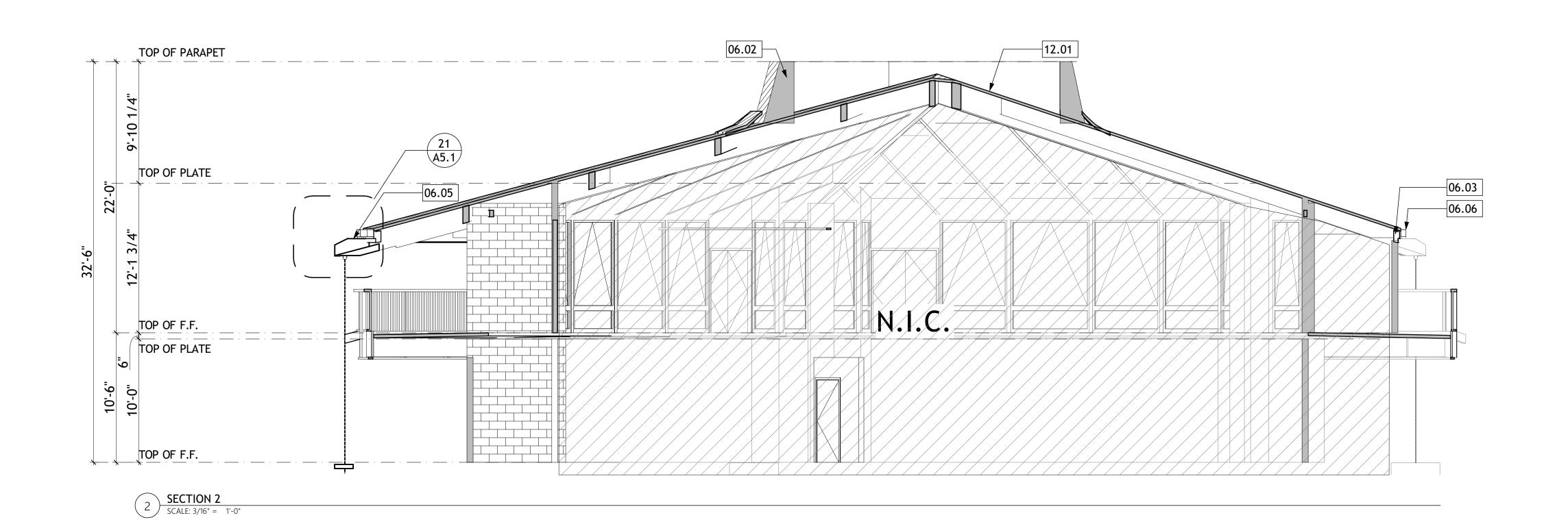
→1" ACTUAL
→ IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY REVISIONS Date

		<u>ں</u>
Date:	01/15/2025	2
Scale:	AS NOTED	Ē
Drawn:	RS, BE	\
Checked:	CN	6
Job:	24-13	ᆸ
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PROPOSED SECTION KEYNOTES

06.02 (N) SHEET METAL PARAPET COPING TYP. SEE DETAIL A5.1/11

06.03 (N) FACIA BEAM, TRIM & G.I. GUTTER SEE DETAIL A5.1/7

06.05 LEADER BOX W/ CHAIN & SCUPPER ATTACHED TO END OF GLULAM BEAM

06.06 (N) 5"X6" BOX GUTTER W/ROOF STRAPS @3'-0" C.C. MAX 06.10 (N) SPLASH BLOCK INTO (E) ROCK PILE IN LANDSCAPING

12.01 RECOAT MEMBRANE ROOFING & SCUPPER INLETS (TYP. OF 5)



SECTION LEGEND

02.01 ► KEYNOTE

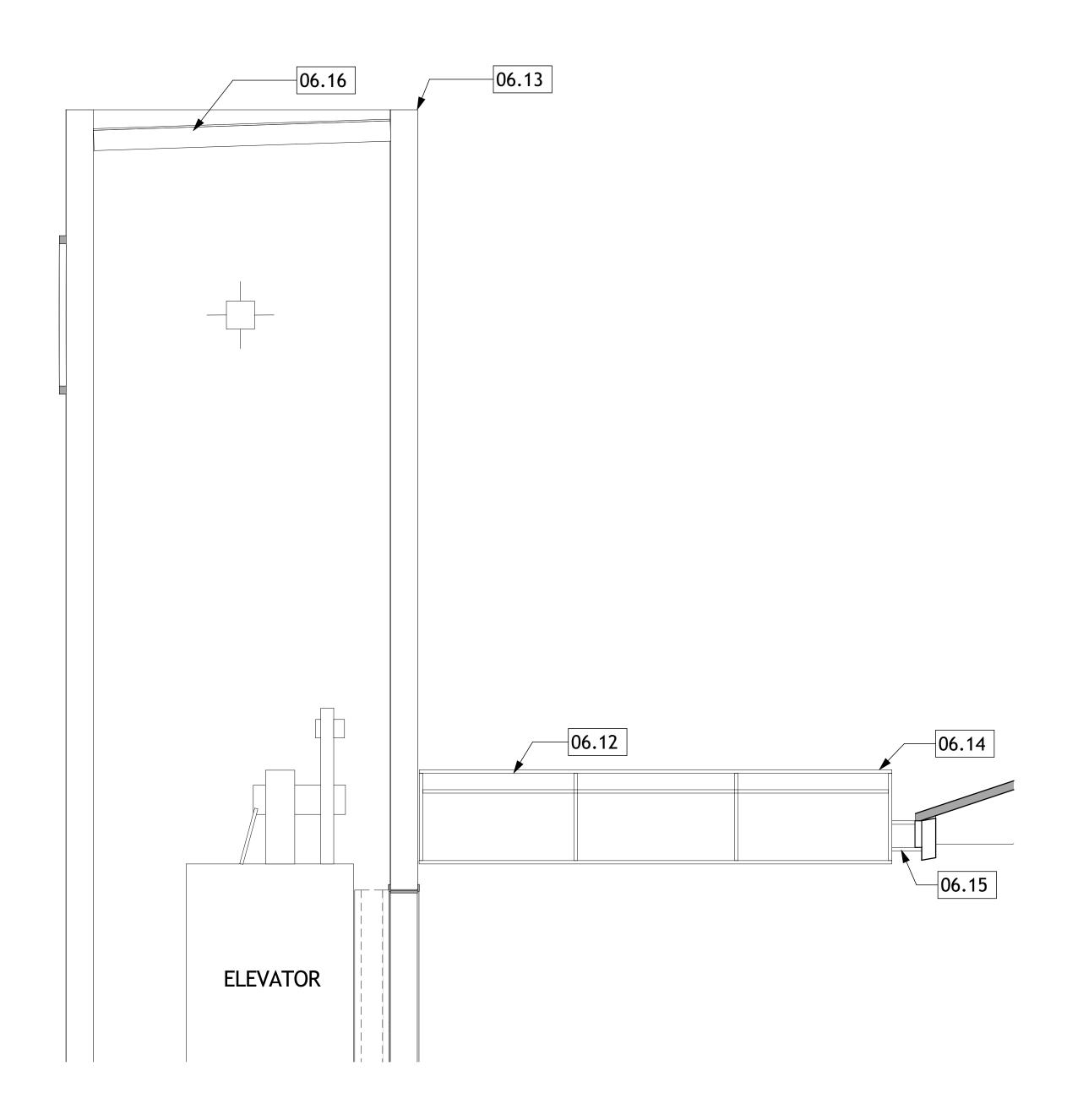
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→ 1" ACTUAL → IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

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SCALE: 1/2" = 1'-0"

ELEVATOR ROOF KEYNOTES

06.12 EXISTING AWNING PIPE FRAME ATTACHED TO BLK ELEV. SHAFT & REMODELED FACIA SHOP DRAWINGS AND ATTACHMENT DETAIL TO BE SUPPLIED BY AWNING CONTRACTOR

06.13 MEMBRANE ROOFING TO LAP UNDER WALL CAP SEE A5.1/6

AWNING PIPE FRAME TO BE REMOVED, MODIFIED & REINSTALLED TO SUIT NEW ROOF EDGE CONDITION AND FIELD MEASURE & INSTALLED BY AWNING CONTRACTOR. SHOP DRAWINGS & CONNECTION DETAILS TO BE SUPPLIED BY THE AWNING CONTRACTOR. ATTENTION TO THE WEATHER SEAL @ THE BLOCK WALL & AT THE WOOD FASCIA MUST BE APPROVED BY THE ARCHITECT. ATTACHMENT TO STRUCTURE MUST BE APPROVED BY STRUCTURAL ENGINEER

06.15 ATTACHAWNING TO NEW ROOF EDGE FRAMING

VERIFY CONDITION OF ROOF FRAMING: 2X6 JOIST 24" O.C. W/ ½" CDX PLYWD NAILED 6"
06.16 O.C. @ THE LEDGER & ALL EDGES & 12" IN THE FIELD W/ BD COMMON NAILS. LEDGERS ARE HELD WITH W/ MIN. OF 3 ANCHOR BOLTS / SIDE





SECTION LEGEND

02.01 ► KEYNOTE

CITY OF SANTA CRUZ	401 UPPER PARK RD, SANTA CRUZ,
<u>::</u>	S.

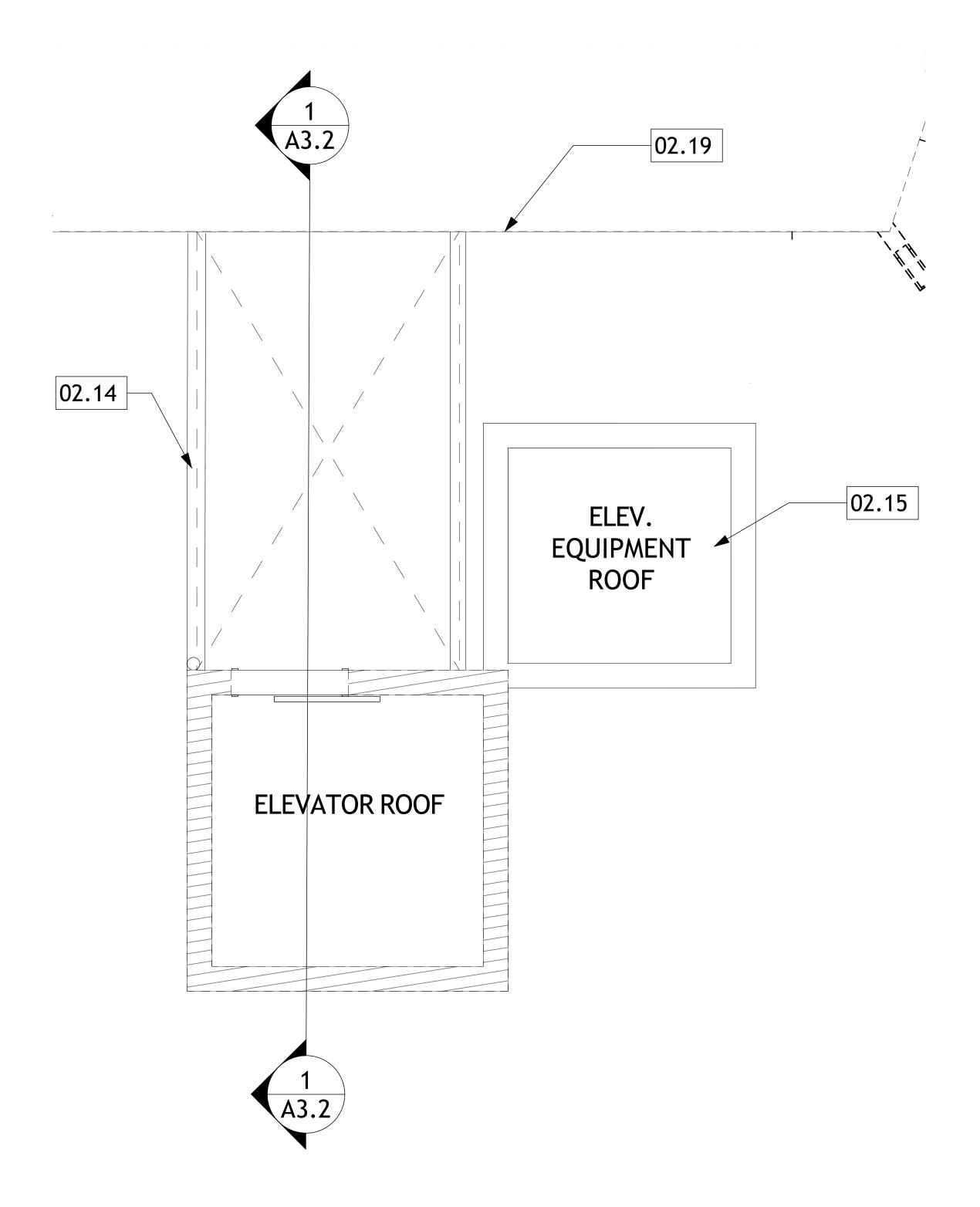
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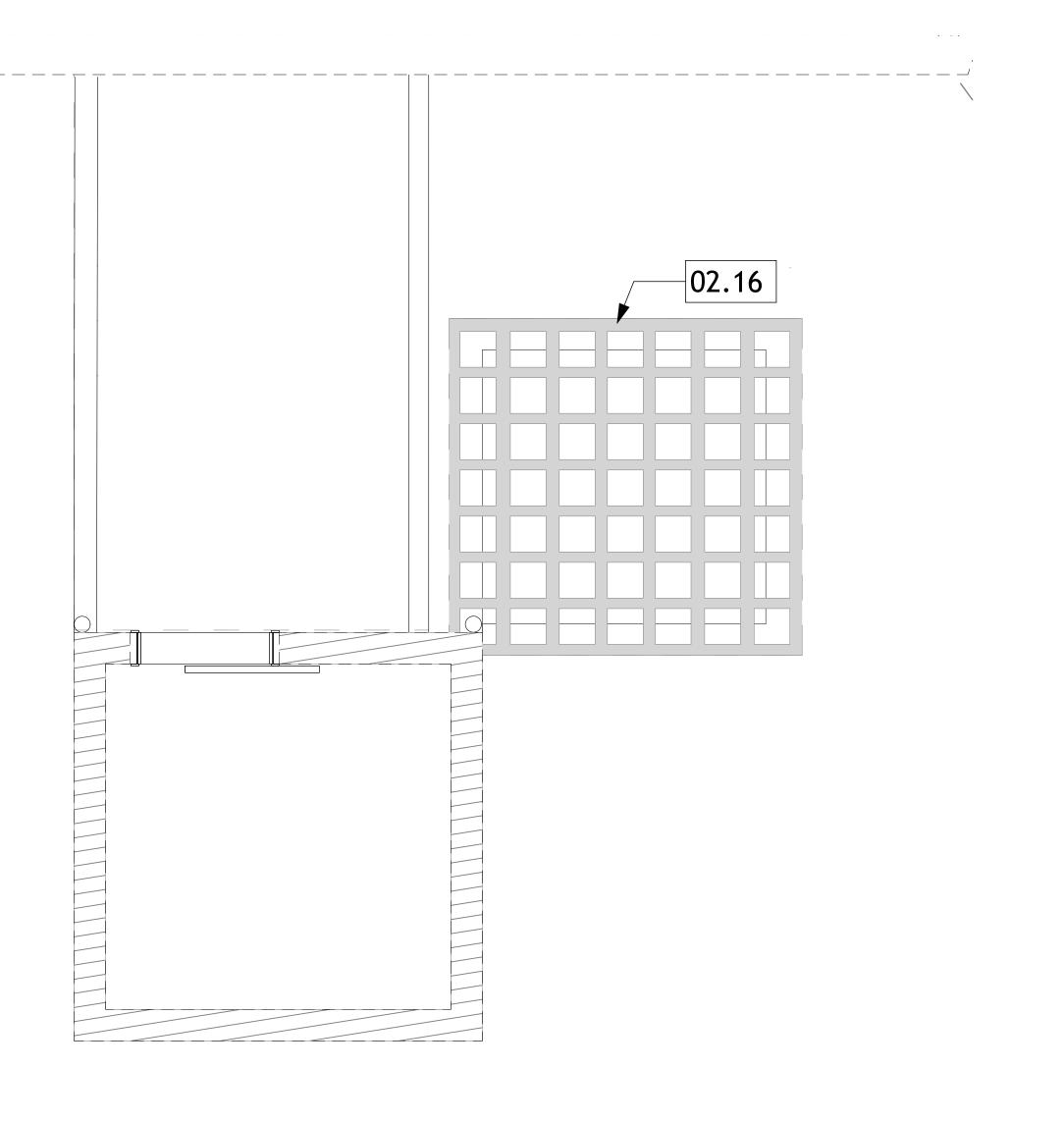
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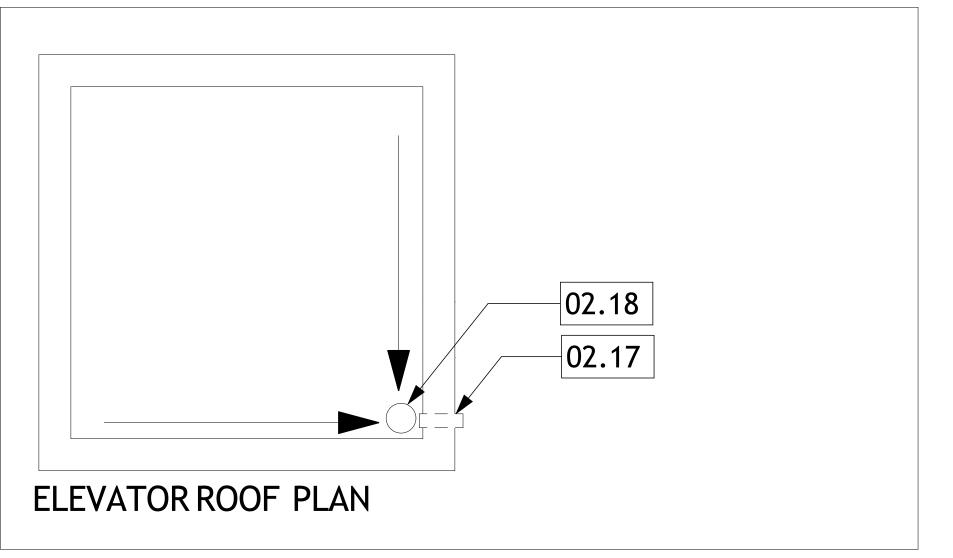
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1 ENLARGED ELEVATOR PLAN
SCALE: 1/2" = 1'-0"





MECH ROOF PLAN

SCALE: 1/2" = 1'-0"

ELEVATOR ROOF KEYNOTES

- (E) AWNING TO BE REMOVED & REPLACED BY AWNING FAB. & REINSTALLED AFTER

 02.14 MODIFICATION FOR NEW ROOF EDGE DETAIL (COORDINATE W/SUB CONTRACTOR FOR AWNING FRAME MODIFICATION AS REQUIRED)
- 02.15 (E) EQUIPMENT ROOM ROOF, DRAIN TO EAST RE ROOF W/E.P.D.M. .060" RETURN MIN, 4" DN V.I.F.
- 02.16 REMOVE WOOD GRID & REINSTALL AFTER ROOFING WORK IS COMPLETED
- 02.17 (E) SCUPPER LOCATION SEE A5.1/12
- 02.18 (E) ROOF DRAIN SEE A5.1/17
- 02.19 EDGE OF NEW ROOF FACIAAND GUTTER





ENLARGED PLAN LEGEND

02.01 ► KEYNOTE

: DELAVEAGA ROOFING REPAIRS

-: CITY OF SANTA CRUZ

5: 401 UPPER PARK RD, SANTA CRUZ, CA

95060

THE ISSUANCE OF A BUILDING
PERMIT SHALL NOT BE
CONSTRUED AS A GUARANTEE
THAT ALL CODE REQUIREMENTS
ARE REFLECTED IN THE
DOCUMENT. THE GENERAL
CONTRACTOR FOR THE PROJECT
SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THAT THE FINISHED PRODUCT
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

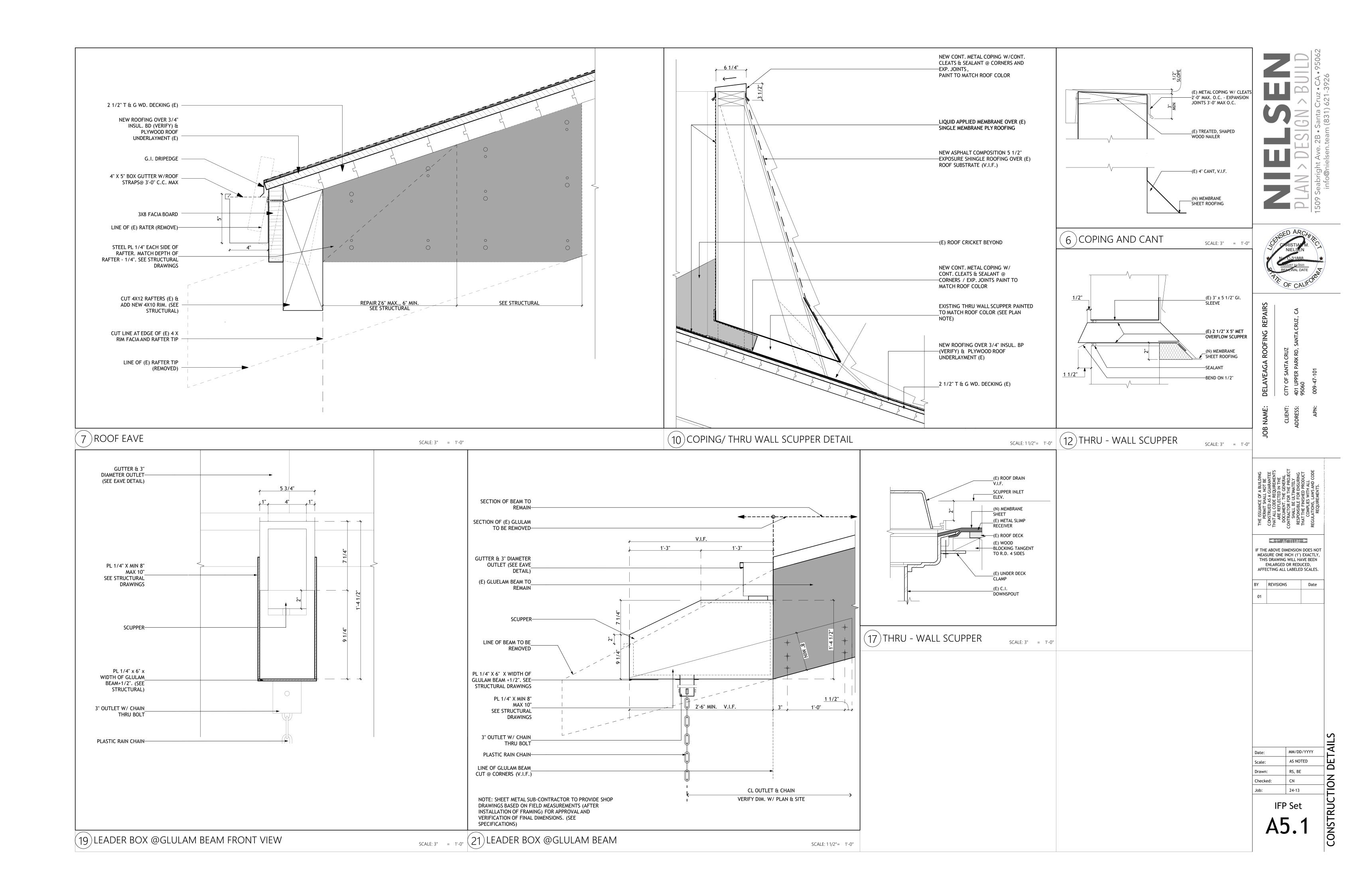
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A4.1



STRUCTURAL NOTES & SPECIFICATIONS

GENERAL

The Contractor shall examine carefully the site of work contemplated, the Plans and Specifications therefore. The submission of a bid shall be conclusive evidence that the contractor has investigated and is satisfied as to the conditions to be encountered, as to the character, quality, and scope of work to be performed, the quantities of materials to be furnished and as to the requirements of the Plans and these Specifications.

The job site shall be maintained in a clean, orderly condition free of debris and litter, shall not be unreasonably encumbered with any materials or equipment and shall be cleaned at the end of each working day.

Construction and materials shall be as specified and as required by the latest edition of the California Building Code (CBC), the California Building Code Standards, locally enforced codes and authorities. All articles, materials and equipment shall be installed, applied and connected as directed by the manufacturer's latest written specifications except where otherwise noted. Material notes on the drawings shall take precedence over these Specifications.

In the event certain features of the construction are not fully shown, their construction shall be as shown for similar features. All dimensions shall take precedence over scale shown on the Plans.

It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, formwork, etc., as required for the protection of life and property during construction.

The Contractor shall examine and check all existing conditions, dimensions, levels and materials and notify the Engineer of any discrepancies before proceeding with the work. Should a discrepancy appear in the Specifications or Drawings, or in the work done by others from the contract documents that affect any work, notify the Engineer or Engineer at once for instruction on how to proceed. If the Contractor proceeds with the work affected without instructions from the Engineer, the Contractor shall make good any resulting damage or defect to the satisfaction of the Engineer. Should a conflict occur in or between Drawings and Specifications, or where detail references on the Drawings have been omitted, the Contractor is deemed to have estimated the most expensive materials and construction method involved, unless a written decision of the Engineer has been obtained which describes an alternate method and/or materials.

Materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

The Contractor shall do all cutting, fitting, or patching of his work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, or otherwise altering the total work or any part of it. Contractor shall exercise care to protect any existing construction so that integrity and finish are not impaired. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with appropriate materials so the surfaces replaced will, upon completion match surrounding similar surfaces.

Provide all necessary blocking, backing and framing for accessories, equipment and all other items requiring support.

See architectural, electrical and mechanical drawings for size and location of pipe, vent, duct and other openings and details not shown on the structural drawings. Structural drawings, details, dimensions, etc. shall be checked and verified, by the Contractor, with the architectural drawings. Discrepancies shall be brought to the attention of the Engineer for resolution before proceeding with the work.

STRUCTURAL STEEL & MISCELLANEOUS IRON

Work done under this section shall conform to the requirements of the AISC Specifications and Code of Standard Practice, latest edition. Steel shall conform to the following requirements:

Fasteners - attachment to wood

Weld Metal

Simson Products specified on plans Fexx=70 ksi

All steel material, assemblies and fasteners exposed to earth or weather in the completed structure shall be hot dipped galvanized after fabrication or have Simpsons Double Barrier system. Paint per Architectural Specifications.

A fabricator approved by the Building Department shall perform all shop welds.

Welding shall be done by welders certified for the welds to be made using E70XX electrodes in conformance with the requirements of AISC Specifications and Code of Standard Practice or AWS "Structural Welding Code." Full penetration welds are to be inspected during welding by a special inspector approved by the building department having jurisdiction over this project.

To assure the proper amperage and voltage of the welding process, the use of a hand held calibrated amp and voltmeter shall be used. The fabricator, erector and the inspectors shall use this equipment. Amperage and voltage shall be measured at the arc with this equipment. Travel speed and electrode stick out shall be verified to be in compliance with the electrode manufacturer's recommendations.

Where minimum AISC fillet weld thickness requirement exceeds welds shown on details, provide minimum AISC

After fabrication, all steel shall be cleaned free of rust, loose mill, scale and oil.

The Contractor shall be responsible for the control of all erection procedures and sequences with relation to temperature differentials and weld shrinkage.

Contractor shall submit shop drawings to the Engineer for approval prior to the fabrication of any parts or assemblies.

WOOD

Wood construction shall conform to Section 2304, "General Construction Requirements" of Chapter 23 of the CBC unless noted otherwise in the plans or these specifications.

No structural member shall be cut or notched unless specifically shown, noted, or approved by the Engineer. Holes in wood sills or plates of shear or bearing walls shall be placed in the center of the piece. Holes in excess of 1 inch diameter are not permitted in any member of a shear wall nor in any 2x4 double top plates. 2x6 double top plates may have up to two-inch diameter holes unless noted otherwise. Holes larger than noted above may be bored in sills providing the sill is considered cut in two and anchor bolts placed accordingly.

Wood species for all framing members shall be of Douglas Fir unless noted otherwise and shall be of the grade specified in these specifications unless noted otherwise in the plans, manufactured and graded per WWPA Grading Rules, latest edition. Solid sawn lumber shall have a maximum of 19% moisture content at time of installation.

Rafters up to 4x - DF No. 1, 6x - DF No. 1

Blocking - DF #1

Exposed Beams - Glulam (as noted on plans)

Glulam (Glued-laminated) beams and columns shall conform to the requirements of American National Standard ANSI/AITC Standard A190.1 and ASTM 3737, Structural Glued Laminated Timber. Provide Douglas Fir with combination symbol 24F-V8 where members are continuous or cantilever over supports and 24F-V4 otherwise U.N.O. on the plans. Furnish glulam beams with standard camber U.N.O. Moisture content to be per section 2303 in the 2022 California Builling Code. Provide AITC certificate for all glulams to the the Engineer. Glulam beams shall bear on an approved column cap or hanger unless noted otherwise on plans.

Use common type nails where nails are indicated on our details or plans. Nails shall be hot dipped galvanized where exposed to the weather. The minimum nailing requirements of CBC Table 2304.9.1 (latest edition) apply wherever fasteners for connecting wood members have not been specified. Fasteners for pressure-preservative treated or fire retardant treated wood shall be hot-dipped galvanized or stainless steel.

WOOD PRESERVATIVES

All new wood at exterior, except wood naturally resistant to decay, shall be pressure-treated with a water-borne preservative of the Contractor's choice subject to the Owner's approval. All treatment shall be in accordance with the latest edition of the American Wood Preservers Association standards for ground and human contact. Cutting, notching or boring of any wood to be buried in the earth is not permitted.

All field cuts, notches or holes in preservative treated wood shall receive at least three brush or dip applications of Jasco Termin-8 copper naphthenate wood preservative.

REMOVAL AND REPLACEMENT OF EX LUMBER AND PLYWOOD

All lumber and plywood exposed during selective demolition shall be observed by the Structural Engineer prior to removal or application of obscuring finishes.

Damaged or deteriorated wood framing or sheathing shall be replaced in kind, unless noted otherwise on the plans. Repair of existing framing will be at the discretion of the engineer.

Deteriorated structural framing to remain and be repaired in place shall be repaired with a borate/epoxy system (End Rot by System Three, ph: 800-333-5514) or equal with prior approval by the engineer. All deteriorated wood shall be removed to sound substrate. Dry rot inhibiting compounds and repair products shall be installed per manufacturer's recommendations.

Lumber and plywood shall be carefully removed in such a way as to not damage the adjacent framing to remain. Any beams, studs, plates, posts, plywood or other framing damaged during removal shall be replaced in like kind at the contractor's expense.

Contractor is required to provide additional nailing or removal and replacement of damaged plywood in areas of overdriven nails as directed by Structural Engineer.

Contractor is required to provide additional framing where existing framing does not match the expected framing as shown in details and plans or as directed by Structural Engineer.

Existing plywood nailing to be field verified and brought into conformance with similar adjacent nailing or 8d @ 1/2

Plywood shall be removed and replaced in sheets no smaller than 2' X 4'.

STRUCTURAL OBSERVATIONS

Structural observation is required by the Engineer at the following construction milestones:

- Wood Construction: Repair of existing wood framing as indicated on the plans
- 2. Project Completion: At completion of all work indicated on the structural drawings, prior to placement of

SUBMITTALS

- Submittals shall be sent to the Engineer for review in the following areas of work:
- 1.1. Structural Steel Steel fabrications shown on the structural drawings
- 1.2. For all substitutions
- Substitution of Alternative manufactured items shall be submitted to the Engineer and to the Authority Having Jurisdiction for approval prior to commencing work. The contractor shall prepare and provide the engineering design for all alternatives and substitutions.
- The submittal documents shall include calculations and drawings as required to verify the adequacy of the
- Alternatives and substitution submittals shall be signed and sealed by a Professional Engineer who is licensed in the State of California.
- All submittals shall be reviewed and checked by the Contractor prior to submittal to Engineer for review. Contractor shall stamp and sign each submittal indicating they have reviewed, checked and approved the submittal for compliance with all the requirements of the plans and specifications.

STRUCTURAL DESIGN CRITERIA

ASCE 7-16, 2022 CBC CODES USED:

GRAVITY DESIGN CRITERIA: ROOF DEAD LOAD

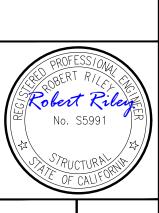
21 PSF

ROOF LIVE LOAD 20 PSF, 300 LB POINT LOAD

ABBREVIATIONS

AB	Anchor Bolt	HDR	Header
ACI AISC	American Concrete Institute American Institute of Steel Construction	HORIZ ID	Horizontal Inside Diameter
AITC	American Institute of Timber Constr.	IN	Inch
ALT	Alternate	JST(S)	Joist(s)
APA	American Plywood Association	KP `´	King Post
APPROX	Approximately	L	Angle
ARCH	Architect	LB 	Pound
ASTM	American Society for Testing & Materials	LL LTWT	Live Load
AVG BLDG	Average Building	MAX	Light Weight Maximum
BLK(G)	Block(ing)	MB	Machine Bolt
BM	Beam	MECH	Mechanical
BN	Boundary nailing	MISC	Miscellaneous
BOT	Bottom	MIN	Minimum
BTWN	Between	MTL	Metal
BVL	Bevel	NS&FS NTS	Near Side And Far Side Not To Scale
C CANT	Channel Cantilever	OC	On Center
CB	Carriage Bolt	OD	Outside Diameter
CBC	California Building Code	P	Post
CC	Center to Center	PERT	Pre-Engineered Roof Truss
CJ	Control Joint	PJP	Partial Joint Penetration
CL	Center Line	PL	Plate
CLG	Ceiling	PLY	Plywood
CLR	Clear, Clearance	PMR PSF	Per Manufacturers Recommendation Pounds per Square Foot
CMU COL	Concrete Masonry Unit Column	PSI	Pounds per Square Inch
CJP	Complete Joint Penetration	PTDF	Preservative Treated Douglas Fir
CONC	Concrete	R	Radius
CONN	Connection	RC	Relative Compaction
CONT	Continuous	REINF	Reinforcement
CTR	Center	REQD	Required
CVR	Cover	RET R&R	Retaining Remove And Replace
DBL DEG	Double Degree	RR	Roof Rafter
DET	Detail	RS	Rough Sawn
DF	Douglas Fir	RWD	Redwood
DIA	Diameter	SAD	See Architectural Drawings
DIAG	Diagonal	SCH	Schedule
DIM	Dimension	SECT	Section
DL DN	Dead Load	SEL SF	Select Square Foot
DWG	Down Drawing	SHRWL	Shear wall
EA	Each	SHTG	Sheathing
EF	Each Face	SIM	Similar
EL	Elevation	SPEC	Specifications
ELEV	Elevation	SQR	Square
EN	Edge Nail	STD	Standard
ENGR EOR	Engineer Engineer Of Record	STL STRUCT	Steel Structural
ES	Engineer Of Record Each Side	T	Tee Section
EW	Each Way	T&G	Tongue And Groove
EX	Existing	T&B	Top And Bottom
EXT	Exterior	TN	Toe Nail
FG	Finish Grade	TOC	Top Of Concrete
FJ	Floor Joist	TOF	Top Of Footing
FLR FN	Floor Field nailing	TOS TOW	Top Of Steel Top Of Wall
FDN	Foundation	TYP	Typical
FOC	Face Of Concrete	UNO	Unless Noted Otherwise
FOS	Face Of Steel/Stud	VERT	Vertical
FRMG	Framing	VIF	Verify In Field
FT	Foot or Feet	W	Wide flange steel beam
FTG	Footing	W/	With
GA GALV	Gauge	W/O	Work Point
GALV	Galvanized Glulam Beam	WP WWF	Work Point Welded Wire Fabric
HD	Holdown	V V V I	VVCIDED VVIIC I ADIIC

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NOTES

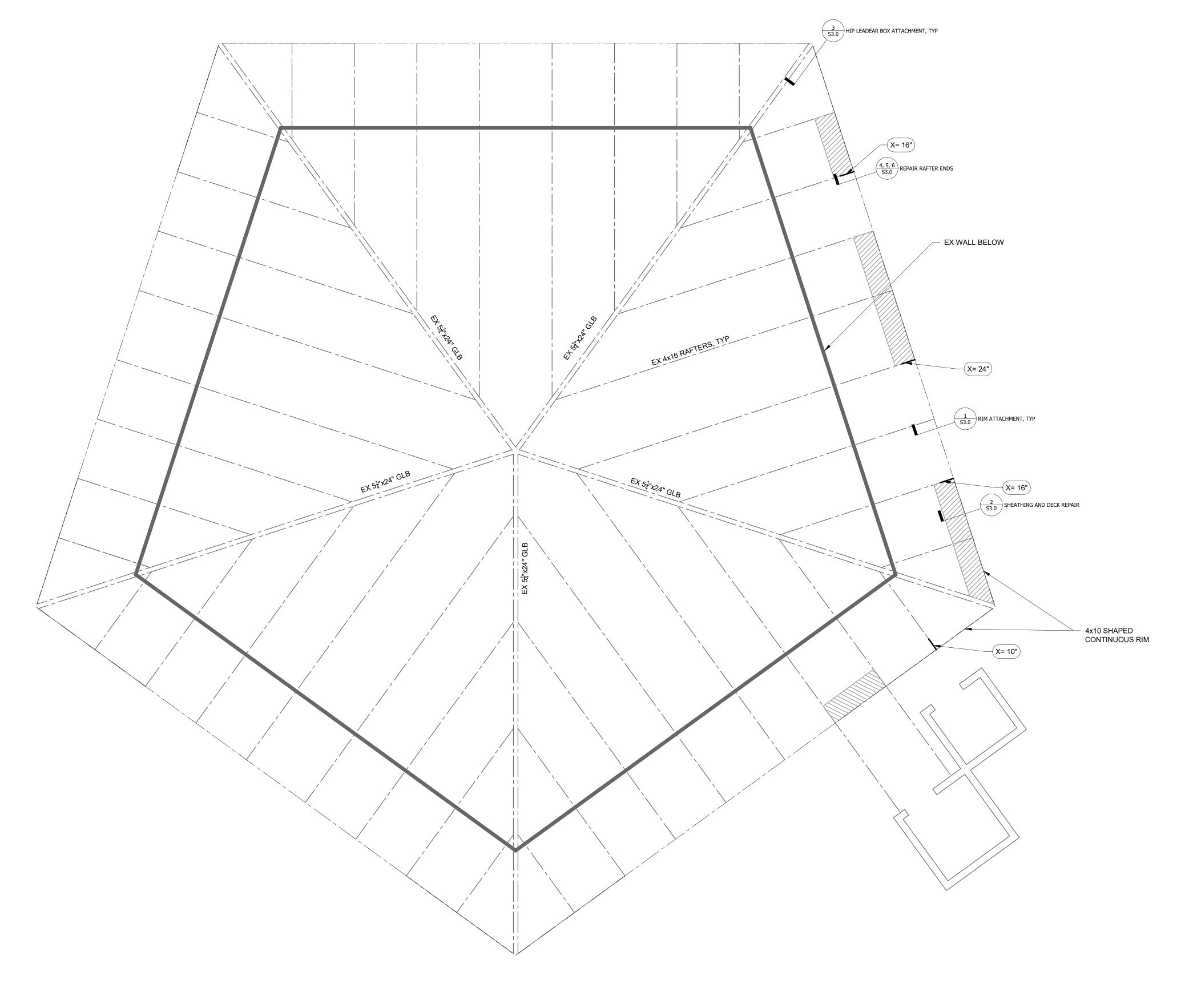
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 2. NOTIFY ENGINEER IF REPAIR LENGTHS EXCEED THOSE PROVIDED ON THE PLAN. DO NOT PROCEED WITH FABRICATION OF REPAIR PLATES IF REPAIR LENGTHS EXCEED THOSE GIVEN IN THE DETAILS.
- 3. MEMBERS BEING REMOVED SHALL BE REPLACED ONLY WITH MEMBERS OF EQUAL LIKE AND
- KIND, UNO.4. SEE SPECIFICATIONS SHEET S1.0 FOR ADDITIONAL INFORMATION

LEGEND

DAMAGED ROOF DECKING AND SHEATHING, REPLACE PER DETAIL 2/S3.0

REPLACE PER DETAIL 2/33.0

REPAIR RAFTER END PER DETAIL 4/S3.0.
"X = 16" IS THE RAFTER REPAIR LENGTH.
VIF, BEFORE FABRICATION



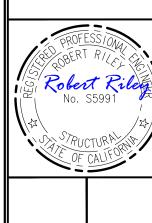
ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"



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COORDINATION SET COORDINATION SET PERMIT SUBMITTAL	DESCRIPTION	ВУ	DATE
4 4		BR	11/26/202
		BR	12/18/202
4			





DELAVEAGA ROOF REPAIR

PREPARED AT THE REQUEST OF
DANIEL HIMAN
CITY OF SANTA CRUZ

ROOF FRAMING PLAN

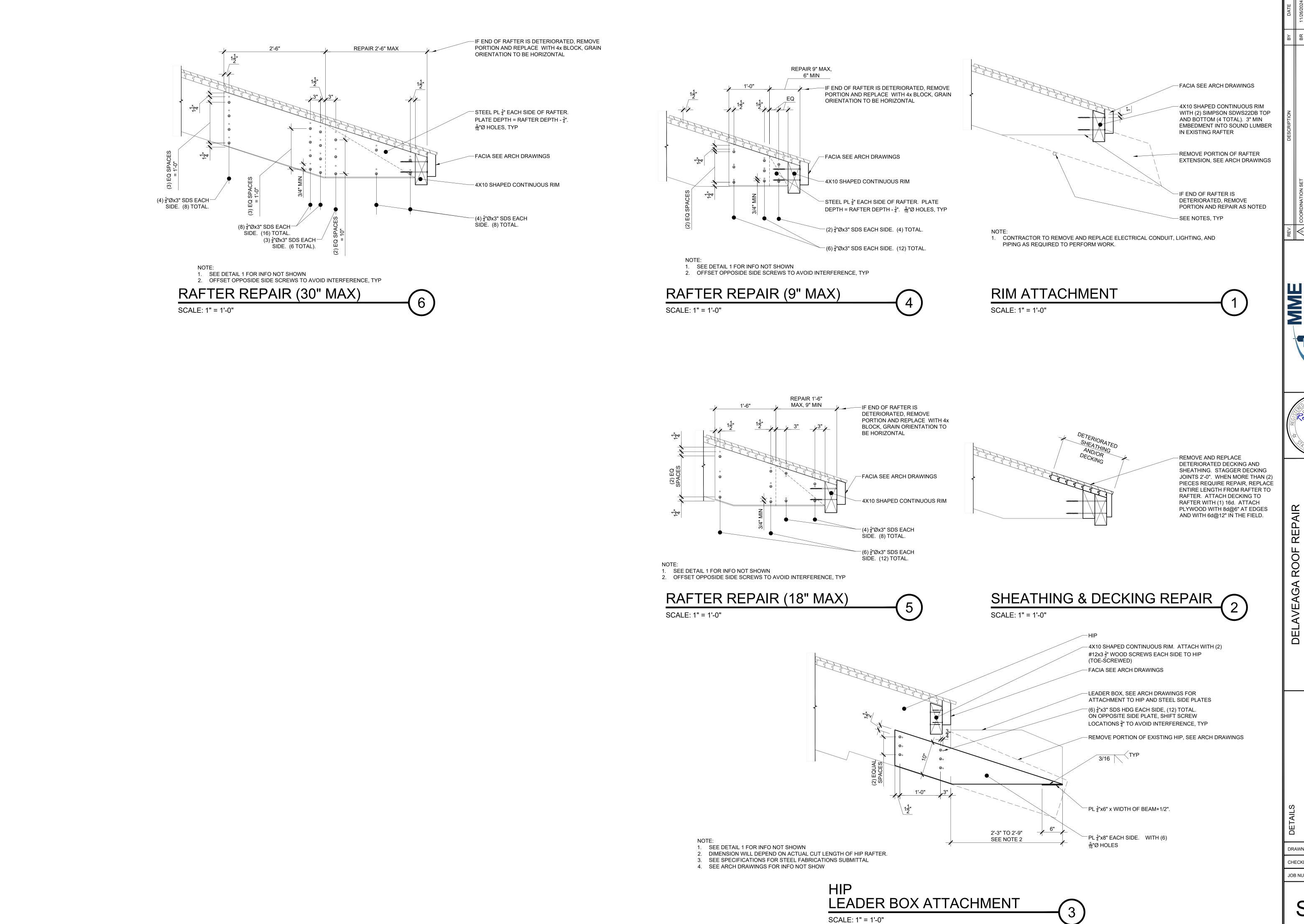
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CHECKED BY: BR

JOB NUMBER: 23152

SHEET

S2



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S3.0

SHEET